



CITY OF PITTSBURG PLANNING COMMISSION AGENDA

FEBRUARY 24, 2026

CITY HALL COUNCIL CHAMBER
65 CIVIC AVENUE, PITTSBURG, CA

REGULAR MEETING
7:00 PM

Planning Commission Members

Sarah Foster, Chair
Donna Smith, Vice-Chair
Elissa Robinson, Commissioner
Jennifer Ingram Commissioner
Deandra Stokes, Commissioner
Ivelina Popova, Commissioner
Reilly Kent, Commissioner

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

This agenda was posted in City Hall on Thursday, February 19, 2026

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

COMMENTS FROM THE AUDIENCE

CONSENT

1. Minutes
Minutes of November 25, 2025
Minutes of January 27, 2026

PRESENTATION

2. Planning Project Updates

ZONING ADMINISTRATOR REPORTS

3. Notice of Intent to Exercise Delegated Design Review Authority

The Zoning Administrator submits two Notices of Intent to Exercise Delegated Design Review Authority.

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

NOTICE TO PUBLIC

GENERAL INFORMATION

Copies of the open session agenda packets, as distributed to the City Council, are on file in the office of the City Clerk, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning 72 hours in advance, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except City holidays). Full agenda packets are also located on the City's website at www.pittsburgca.gov. If any reports or documents, which are public records, are distributed to the City Council less than 72 hours before the meeting, those reports or documents will be available for public inspection in the City Clerk's Office and on the day of the meeting in the Council Chamber at the public counter area below the dais.

SPEAKER'S CARD

Members of the audience who wish to address the City Council on issues that are not scheduled for the agenda and on any items listed as part of the agenda should complete a Speaker's Card available at the dais. Please read the card carefully in order to fill out the card properly. Submit the completed card to the City Clerk before the item is called, preferably before the meeting begins. Individuals will be given up to three minutes to address the Council unless additional time is allowed as provided for spokespersons. Speakers are not permitted to yield their time to another speaker. Prior to speaking, each member of the public shall state their name and business and City of residence in a clear and audible tone of voice. Pursuant to the Brown Act, no action may be taken by the City Council on items not already scheduled on the agenda; however, the City Council may refer your comments/concerns to staff or request that the item be placed on a future agenda.

PUBLIC HEARINGS

Persons who wish to speak on Public Hearings listed on the agenda will be heard when the Public Hearing is opened, except on Public Hearing items previously heard and closed to public comment. After the public has commented, the item is closed to public comment and brought to the Council/Agency level for discussion and action. Further comment from the audience will not be received unless requested by the Council/Agency.

There is a 90-day limit for the filing of a challenge in the Superior Court to certain City administrative decisions and orders which require a hearing by law, the receipt of evidence, and the exercise of discretion. The 90-day limit begins on the date the decision is final (Code of Civil Procedure Section 1094.6). Further, if you challenge an action taken by the City Council in court, you may be limited, by California law, including but not limited to Government Code Section 65009, to raising only those issues you or someone else raised in the public hearing, or in written correspondence delivered to the City Council prior to or at the public hearing. The City Council may be requested to reconsider a decision if the request is made prior to the next City Council meeting, regardless of whether it is a regular or special meeting.

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the City of Pittsburg will provide special assistance for disabled residents. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Council meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at (925) 252-4850. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

DISRUPTIVE CONDUCT

The Council requests that you observe the order and decorum of our Council Chamber by turning off or setting to vibrate all cellular telephones and electronic devices, and that you refrain from making personal, impertinent, or slanderous remarks. Boisterous and disruptive behavior while the Council is in session, and the display of signs in a manner which violates the rights of others or prevents others from watching or fully participating in the Council meeting, is a violation of our Municipal Code and any person who engages in such conduct can be ordered to leave the Council Chamber by the Mayor.

LIVE MEDIA BROADCASTING ADVISEMENT

City Council meetings are webcast live on the City's website at www.pittsburgca.gov on the Agendas and Live Meetings page. Past meetings and approved minutes are also archived on that webpage. Watch the live meeting via the City's webcast (www.pittsburgca.gov - Agendas and Live Meetings), on Comcast Channel 24 Delta TV, AT&T U-Verse Channel 99 Delta TV. Contact the City Clerk's office at (925) 252-4850 for more information

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG PLANNING COMMISSION**

November 25, 2025

A regular meeting of the Pittsburg Planning Commission was called to order by Chair Foster at 7:00 p.m. on Tuesday, November 25, 2025, in the Council Chambers at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Chair Foster, Vice-Chair Smith, Commissioners Ingram, Kent, Popova, Robinson, Stokes

Staff: City Attorney Donna Mooney, Assistant Director of Community and Economic Development John Funderburg, Senior Planner Maurice Brenyah-Addow, Administrative Analyst I Candace Hatch

PLEDGE OF ALLEGIANCE

Commissioner Popova led the Pledge of Allegiance.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

CONSENT ITEM

1. Minutes
Minutes of October 14, 2025

On a motion by Commissioner Robinson, approving the consent item(s), seconded by Commissioner Popova:

AYES: Foster, Kent, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: Ingram
ABSENT: None

PRESENTATION

2. Planning Project Updates

Staff presented to the Planning Commission updates on the current planning projects.

ZONING ADMINISTRATOR REPROTS

The Zoning Administrator submitted two Notices of Intent to Exercise Delegated Design Review Authority.

STAFF COMMUNICATIONS

The City Attorney provided an update on the Brown Act Amendments and informed the Planning Commission that they will receive copies of the Brown Act via email in early 2026.

Secretary Funderburg updated the Commissioners on the upcoming Holiday Parade.

Secretary Funderburg informed the Planning Commission that there are no items scheduled for the month of December.

COMMITTEE REPORTS

There were no committee reports.

ADJOURNMENT

The meeting was adjourned at 7:54 p.m. to December 9, 2025.

Respectfully Submitted,

John Funderburg, Secretary

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG PLANNING COMMISSION**

January 27, 2026

A regular meeting of the Pittsburg Planning Commission was called to order by Chair Foster at 7:00 p.m. on Tuesday, January 27, 2026, in the Council Chambers at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Chair Foster, Vice-Chair Smith, Commissioners Ingram, Kent, Robinson

Absent: Commissioner Popova, Stokes

Staff: Assistant Director of Community and Economic Development John Funderburg, Senior Planner Maurice Brenyah-Addow, Senior Planner Alison Spells, Administrative Analyst I Candace Hatch

PLEDGE OF ALLEGIANCE

Commissioner Smith led the Pledge of Allegiance.

DELETIONS, WITHDRAWALS OR CONTINUANCES

There were no deletions, withdraws or continuances.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

CONSENT ITEM

1. 24-Month Time Extension Request for SFBA Carbon Capture & Mineralization Pilot Program, AP-19-1412 (UP)

To allow a 24-month time extension of a use permit (AP-19-1412) to temporarily operate a carbon capture and mineralization pilot facility on a 2.5-acre site located at 895 E. 3rd Street in the IG (General Industrial) District, Assessor's Parcel No. 0730-020-019.

2. 36-Month Time Extension Request for Project Oakstone Northern California Expansion Project, AP-23-0046 EXT (UP, DR, VA)

To allow a 36-month time extension of Use Permit, Design Review and Variance application for the Oakstone Northern California Expansion Project at Linde Inc. existing facility located at 2000 Loveridge Road. The property is located in the Industrial General Plan Land Use classification and General Industrial Zoning District (IG). Assessor's Parcel No. 073-190-035.

On a motion by Commissioner Ingram, approving the consent item(s), seconded by Commissioner Kent:

AYES: Foster, Ingram, Kent, Robinson, Smith
NAYES: None
ABSTAIN: None
ABSENT: Popova, Stokes

PUBLIC HEARINGS

3. Home 2 Suites – Freestanding Sign, AP-25-0122 (SR)

A public hearing on a request for Sign Review approval to place a freestanding monument sign at the entrance to the Home 2 Suits Hotel located at 2112 Loveridge Road in the CC (Community Commercial) Zoning District. Assessor’s Parcel No. 088-240-080.

Senior Planner Alison Spells gave a presentation.
Applicant spoke on behalf of the project.
Chair Foster opened the public hearing.
There being no public comments, Chair Foster closed the public hearing item.

On a motion by Commissioner Robinson, adopt a resolution approving the Sign Review application AP-25-0122 (SR), subject to conditions, seconded by Commissioner Smith:

AYES: Foster, Ingram, Kent, Robinson, Smith
NAYES: None
ABSTAIN: None
ABSENT: Popova, Stokes

ZONING ADMINISTRATOR REPROTS

There were no zoning administrator reports.

STAFF COMMUNICATIONS

There were no staff communications.

COMMITTEE REPORTS

There were no committee reports.

ADJOURNMENT

The meeting was adjourned at 7:45 p.m. to February 10, 2026.

Respectfully Submitted,

John Funderburg, Secretary

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
February 24, 2026**

ITEM: Notice of Intent to Exercise Delegated Design Review Authority

ORIGINATED BY: City of Pittsburg, Zoning Administrator, 65 Civic Avenue, Pittsburg, CA 94565

SUBJECT: The Zoning Administrator submits two Notice of Intent to Exercise Delegated Design Review Authority

RECOMMENDATION:

Staff recommends that the Planning Commission acknowledge receipt of the attached Notices of Intent to Exercise Delegated Design Review Authority

BACKGROUND:

Delegated Design Review Authority

Delegated Design Review Authority: Planning Commission Resolution No. 9444, as later amended by Resolution No. 9918, allows for delegation of nine categories of design review applications from the Planning Commission to the Zoning Administrator, as follows:

1. Freestanding signs: Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
2. Wireless Communication Equipment: New or replacement antennas on existing poles and their related equipment.
3. Minor Building Remodels: Limited to changes in building colors, awnings, fenestration, and finishes.
4. Changes to Existing Parking Lots.
5. Changes to Existing Landscaping.
6. Additions to Existing Buildings: Additions must be smaller than 2,500 square feet and designed to complement existing building architecture.
7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.

Planning Commission Staff Report
Notice of Intent to Exercise Delegated Design Review Authority

8. Ancillary Structures: Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in the Industrial Districts.

The intent of the delegation is to allow a more efficient approval process for non-controversial design review applications, without compromising the integrity of the design review process or removing from public scrutiny those projects that would be most visible or of high interest to the general public. Prior to approving any delegated design review application, the Zoning Administrator must notify the Commission of his or their intent to exercise delegated design review authority. Copies of resolutions approving any delegated design review application must also be provided to the Commission.

PROJECT DESCRIPTION:

Since the last Commission meeting, staff has received two applications requiring Delegated Design Review Authority under Resolution No. 9918:

1. U.A. Local 342 – Site Modifications (AP-24-0119 [ADR])

This is an application requesting Administrative Design Review approval of an Administrative Design Review application to install an office at the existing project site located at 630 W. 10th Street. The proposed project also includes improvements to the existing parking lot and landscaping. The property is located within the CS-O (Commercial Service-Overlay) District. Assessor's Parcel No.: 085-270-038.

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

2. 7 Brew Coffee – Re-façade and Site Modifications (AP-25-0126 [ADR])

This is an application requesting Administrative Design Review approval to reduce the size of the existing building, upgrade the façade to include high-quality building materials, and modify the existing site located at 2155 Railroad Avenue. Site modifications include extension of the drive-through lane, installation of a trash and recycling enclosure, on-site directional signage, and improvements to the landscaping. The site is located within the Railroad Avenue Specific Plan (RASP). Assessor's Parcel No.: 088-183-011.

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

Planning Commission Staff Report
Notice of Intent to Exercise Delegated Design Review Authority

GENERAL PLAN/CODE COMPLIANCE:

Delegated Design Review Authority: Resolution No. 9918 established nine categories of design review applications upon which the Commission would authorize the Zoning Administrator to act. Resolution No. 9918, and PMC section 18.10.100, direct staff to notify the Planning Commission of intent to exercise delegated design review authority on any application that falls within one of those nine categories, prior to approving the application. Upon receiving such notification, a majority of the Commission may direct that the matter be scheduled for future consideration by the entire Commission.

Resolution No. 9918 also directs staff to keep the Commission informed about delegated design review application approvals by providing copies of resolutions adopted by the Zoning Administrator.

ANALYSIS:

Not applicable.

ACTION REQUIRED:

Acknowledge receipt of the attached Notices of Intent.

ATTACHMENTS:

1. U.A. Local 342 – Site Modifications (AP-24-0119 [ADR]), NOI
2. Brew Coffee – Re-façade and Site Modifications (AP-25-0126 [ADR]), NOI
3. PC Resolution No. 9918

Prepared by: John Funderburg, Zoning Administrator



Community and Economic Development Department – Planning Division

PROJECT REFERRAL & REQUEST FOR COMMENTS/CONDITIONS

Project Name:	U.A. Local 342
Project No: AP-24-0119	Application Type: Administrative Design Review (ADR)
Project Description: Application submitted by Luke Simeona of Dome Construction on behalf of the U.A. Local 342 requesting approval of an Administrative Design Review application to install an office at the existing project site located at 630 W. 10 th Street. The proposed project also includes improvements to the existing parking lot and landscaping. The property is located within the CS-O (Commercial Service-Overlay) District. Assessor’s Parcel No.: 085-270-038.	
Applicant:	Luke Simeona
Mailing Address:	6261 Hollis St, Emeryville, CA 94608
Phone: (925) 914-0924	E-mail: lsimeona@domebuilds.com

Instructions for the Referral Agency:

Enclosed are plans for the project identified above which is proposed in the City of Pittsburg. Please review plan submittal and provide this office with your feedback on availability of services/potential design or code conflicts/requirements for additional permits and recommended conditions of project approval.

Deadline for Comments:

Please submit your comments no later than Friday, February 27, 2026.

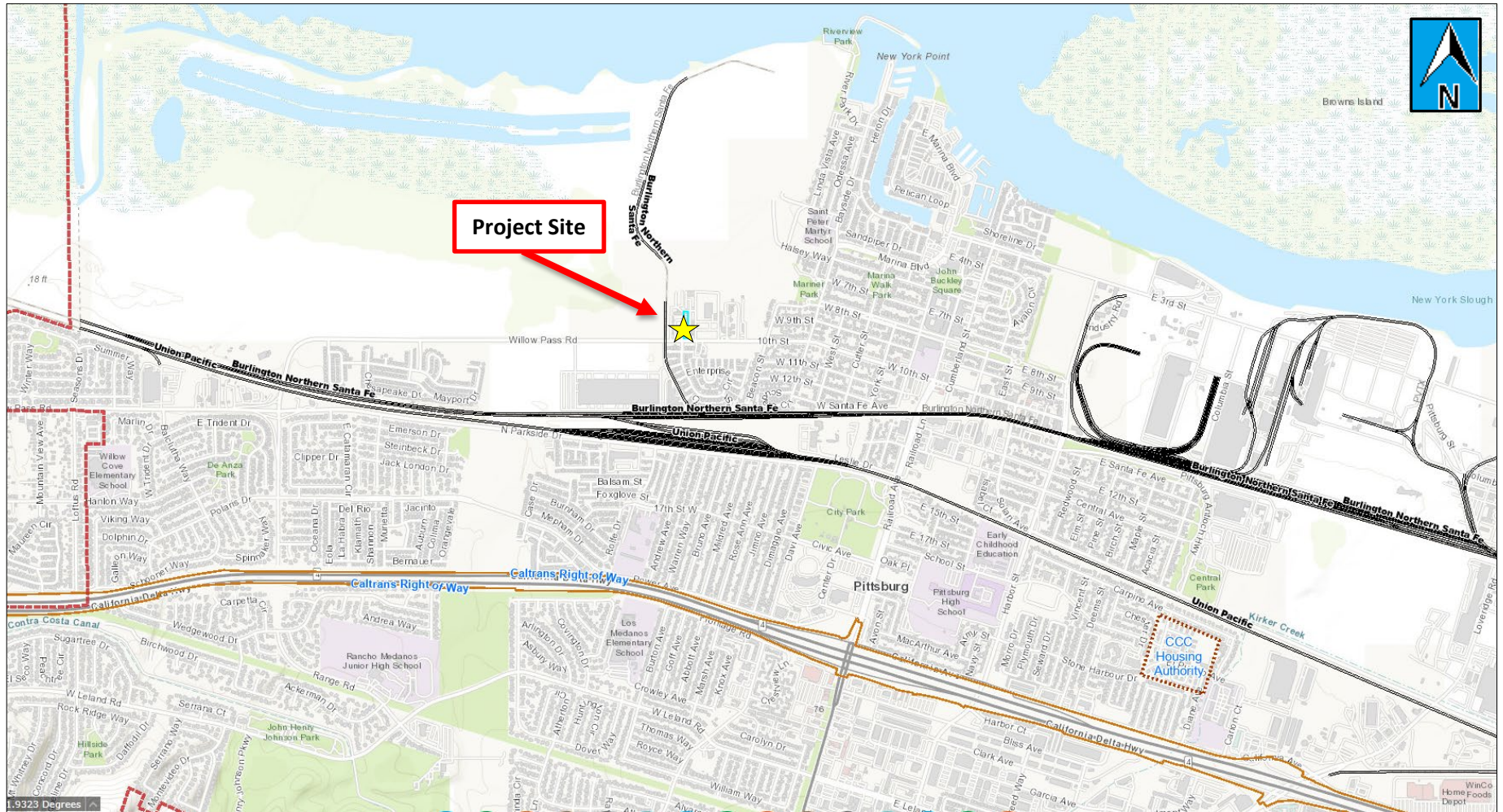
Comments should be sent to **Ariana Ruiz** at the mailing address noted above, through e-mail at: aruiz@pittsburgca.gov, or by fax at: (925) 252-4814. If you have any questions regarding this project, please call **Ariana Ruiz** at (925)252-4029. A list of referral agencies for this project is provided on the back of this sheet.

List of Referral Agencies:

Federal/State/Regional	<input type="checkbox"/> Ambrose Recreation & Park District
<input type="checkbox"/> US Army Corps of Engineers	<input type="checkbox"/> Contra Costa Mosquito & Vector Control District
<input type="checkbox"/> US Fish and Wildlife Service	<input type="checkbox"/> Bay Point Municipal Advisory Comm.
<input type="checkbox"/> Dept. of Fish and Game – Region 3	<input type="checkbox"/> City of Antioch Community Development Department
<input type="checkbox"/> State RWQCB	<input type="checkbox"/> City of Concord Planning Division
<input type="checkbox"/> US Postal Service – Pittsburg	<input type="checkbox"/> City of Concord Transportation Department
<input type="checkbox"/> Caltrans - District 4	<input type="checkbox"/> Antioch Unified School District
<input type="checkbox"/> Sonoma State - Historical/Archaeological	<input type="checkbox"/> Mt. Diablo Unified School District
<input type="checkbox"/> Association of Bay Area Governments	<input type="checkbox"/> Pittsburg Unified School District
<input type="checkbox"/> Bay Area Air Quality Management District	City of Pittsburg
<input type="checkbox"/> East Bay Regional Park District	<input checked="" type="checkbox"/> Planning Division
<input type="checkbox"/> Native American Heritage Commission	<input checked="" type="checkbox"/> Building Division
Contra Costa County	<input checked="" type="checkbox"/> Engineering Division
<input type="checkbox"/> Assessor's Office	<input checked="" type="checkbox"/> Transportation Division
<input type="checkbox"/> Community Development Department	<input checked="" type="checkbox"/> Public Works Division
<input checked="" type="checkbox"/> Environmental Health	<input checked="" type="checkbox"/> Waste Reduction Coordinator
<input checked="" type="checkbox"/> Fire Protection District	<input type="checkbox"/> Successor Agency
<input type="checkbox"/> Flood Control District	<input checked="" type="checkbox"/> Economic Development
<input type="checkbox"/> Health Services Department	<input type="checkbox"/> City Attorney
<input type="checkbox"/> Hazardous Materials Programs	<input checked="" type="checkbox"/> City Manager
<input type="checkbox"/> LAFCO	<input checked="" type="checkbox"/> Police Dept.
<input type="checkbox"/> Library (Pittsburg Branch)	<input type="checkbox"/> HCP Coordinator
<input type="checkbox"/> Public Works Dept. (Transportation Eng.)	<input checked="" type="checkbox"/> NPDES Coordinator
Transportation	Utilities
<input type="checkbox"/> BART Planning/Environmental Compliance Division	<input checked="" type="checkbox"/> Contra Costa Water District
<input type="checkbox"/> Central Contra Costa Transit Authority	<input checked="" type="checkbox"/> Delta Diablo Sanitation District
<input type="checkbox"/> Metropolitan Transportation Commission	<input type="checkbox"/> AT&T
<input type="checkbox"/> Tri-Delta Transit	<input checked="" type="checkbox"/> PG&E – 1-877-259-8314 for utility easements
<input type="checkbox"/> TRANSPLAN	<input checked="" type="checkbox"/> Pittsburg Disposal Service
<input type="checkbox"/> Contra Costa Transportation Authority	<input type="checkbox"/> Comcast Cable Communications, Inc.
<input type="checkbox"/> TRANSPAC	<input type="checkbox"/> Other:
Local	<input type="checkbox"/> Other:
<input type="checkbox"/> Supervisor Federal Glover	<input type="checkbox"/> Other:

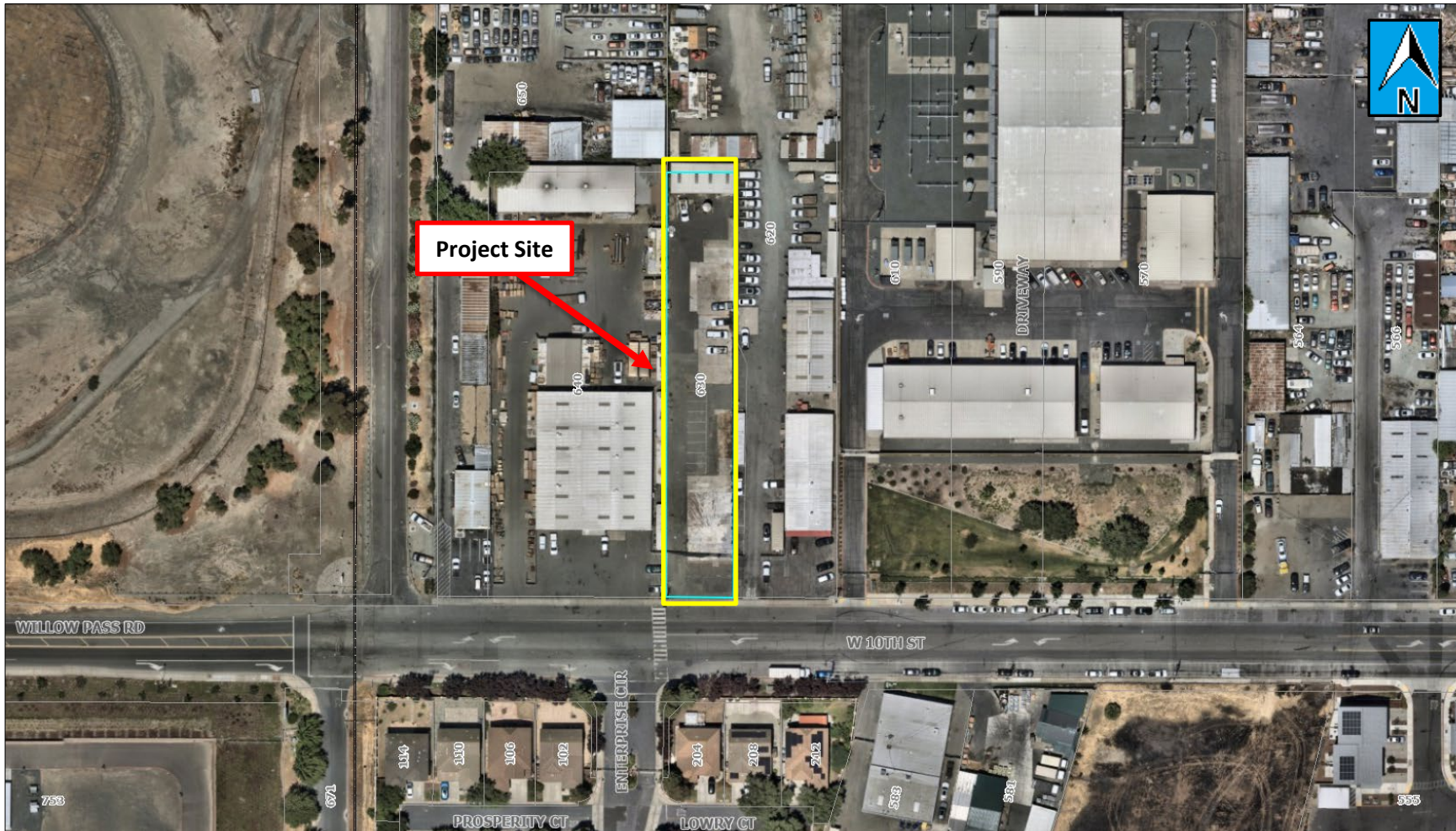
U.A. Local 342 (ADR) – Aerial View

AP-24-0119 Administrative Design Review	630 W. 10 th Street APN: 085-270-038
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U.A. Local 342 (ADR) – Aerial View

AP-24-0119 Administrative Design Review	630 W. 10 th Street APN: 085-270-038
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CONSTRUCTION NOTES

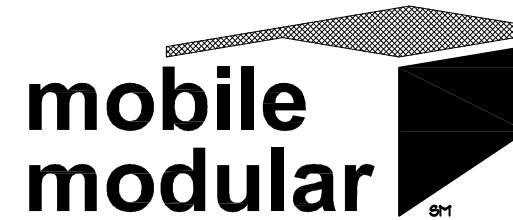
- 1.) ALL WORK SHALL CONFORM TO 2022 CBC AND/OR LOCAL BUILDING CODES.
- 2.) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES
- 3.) ALL LUMBER IN CONTACT WITH OR WITHIN 8" OF SOIL TO BE PRESERVATIVE TREATED.
- 4.) ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
- 5.) ADJACENT GROUND SURFACES SHOULD BE SLOPED AWAY FROM STRUCTURE AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. DRAINAGE OF SURROUNDING AREA SHALL BE PROVIDED TO PREVENT ACCUMULATION OF SURFACE WATER.
- 6.) SKIRTING (IF USED) MUST BE SELF SUPPORTING & MAY NOT TRANSFER ANY LOAD.
- 7.) IF SKIRTING IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FOOT FOR EA. 150 SQ. FEET OF FLOOR AREA. OPENINGS MUST BE COVERED w/ CORROSION RESISTANT MESH w/ OPENINGS OF 1/4 INCH.
- 8.) IF SKIRTING IS USED, AN ACCESS OPENING w/ DIMENSIONS NOT LESS THAN 18" x 24" SHALL BE PROVIDED.
- 9.) HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 48".
- 10.) ALL UTILITY/RAMP/STAIR DESIGN AND SITE/UTILITY/GRADING DESIGN BY OTHERS.
- 11.) ALL EARTH ANCHORS SHALL HAVE A TOLERANCE OF 10 DEGREES (VERTICALLY & HORIZONTALLY).
- 12.) EARTH ANCHORS SHALL BE MANUFACTURED BY 'ABESCO' (OR APPROVED EQUAL) STATE OF CALIFORNIA APPROVAL NUMBER E.T.S.-106C
- 13.) EARTH ANCHOR TIE STRAP MUST CONFORM TO ANSI STD. #A225.1.
- 14.) STEEL PIERS MUST BE MANUFACTURED BY 'SEDCO' OR APPROVED EQUAL. (PIER DESIGN CAPACITY TO BE 3000* UNLESS NOTED)
- 15.) THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS, EARTH ANCHORS, TIE STRAPS, ETC.
- 16.) MODULAR BUILDING TO BE CALIFORNIA HCD APPROVED COMMERCIAL MODULAR.
- 17.) ACUMEN ENGINEERING HAS NOT INVESTIGATED THE SOILS SUPPORTING THIS BUILDING. THE ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 1500 PSF & THE ALLOWABLE ANCHOR PULLOUT CAPACITY IS ASSUMED TO BE 2962 LBS. IF ACTUAL SOIL CONDITIONS AT THIS SITE ARE KNOWN TO VARY FROM THESE ASSUMPTIONS, THEN ACUMEN ENGINEERING MUST BE NOTIFIED IMMEDIATELY.
- 18.) ACUMEN ENGINEERING WILL NOT INSPECT THE INSTALLED PAD/PIER/ANCHOR SYSTEM. THE OWNER OF THIS BUILDING AGREES TO INDEMNIFY ACUMEN ENGINEERING FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.
- 19.) THESE DRAWINGS MAY NOT BE USED FOR BUILDINGS WITH ANY OF THE FOLLOWING ELEMENTS: PARAPETS, FIRE RATED EXTERIOR WALLS, STUCCO EXTERIOR FINISH OR ROOF PITCH GREATER THAN 2:12.
- 20.) THIS DESIGN IS NOT INTENDED FOR USE IN FLOOD HAZARD AREAS.

SHEET INDEX

- 1 COVER SHEET
- 2A PAD/PIER/ANCHOR PLAN (44' MAX LENGTH)
- ~~2B PAD/PIER/ANCHOR PLAN (60' MAX LENGTH)~~
- 3 PAD/PIER/ANCHOR DETAILS

DESIGN CRITERIA

ROOF LIVE LOAD: 20 PSF
 FLOOR LIVE LOAD: 50 PSF
 PARTITION LOAD: 15 PSF
 DESIGN CODE: 2022 CBC
 IMPORTANCE FACTOR: 1.0
 RISK CATEGORY: II
 ULT. WIND SPEED/ EXPOSURE: 115 MPH, EXP 'C'
 MAPPED SPECTRAL RESPONSE ACCELERATION: $S_s=1.500g$ (PER ASCE 7-16 SECTION 12.14.8) $S_1=0.600g$
 SITE CLASS: D (DEFAULT)
 SPECTRAL RESPONSE COEFFICIENTS: $SDS=1.400$ $SDI=0.630$
 SEISMIC DESIGN CATEGORY: D
 BASIC SEISMIC FORCE RESISTING SYSTEM: LT FRAMED WALL SYSTEM USING FLAT STRAP BRACING
 DESIGN BASE SHEAR: 0.490W
 SEISMIC RESPONSE COEFFICIENT: (C_s) 0.350
 RESPONSE MODIFICATION FACTOR: (R) 4
 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE ANALYSIS
 REDUNDANCY FACTOR: 1.3
 PACKAGE TYPE: 12/H3/OR



Your Project - Our Commitment

11450 MISSION BLVD.
MIRA LOMA, CA. 91752
(951) 360 - 6600

5700 LAS POSITAS RD.
LIVERMORE, CA. 94551
(925) 606 - 9000

810 N. PLEASANT AVENUE
FRESNO, CA. 93728
(559) 233 - 5596

2725 FITZGERALD DR.
DIXON, CA. 95620
(707) 678 - 6100

**12' WIDE
COMMERCIAL MODULAR
PAD/PIER/ANCHOR PLANS**

THE INFORMATION IN THESE DRAWINGS IS PROPRIETARY. THESE DRAWINGS MAY NOT BE REPRINTED, DISTRIBUTED OR USED FOR ANY PURPOSE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF MOBILE MODULAR MANAGEMENT CORPORATION.

SEAL



Digitally signed by Adam M. Nieman
Reason: I am approving this document.
Date: 2024.05.17 09:35:58-07'00'

BLDG SIZE (1) 12' x 44'

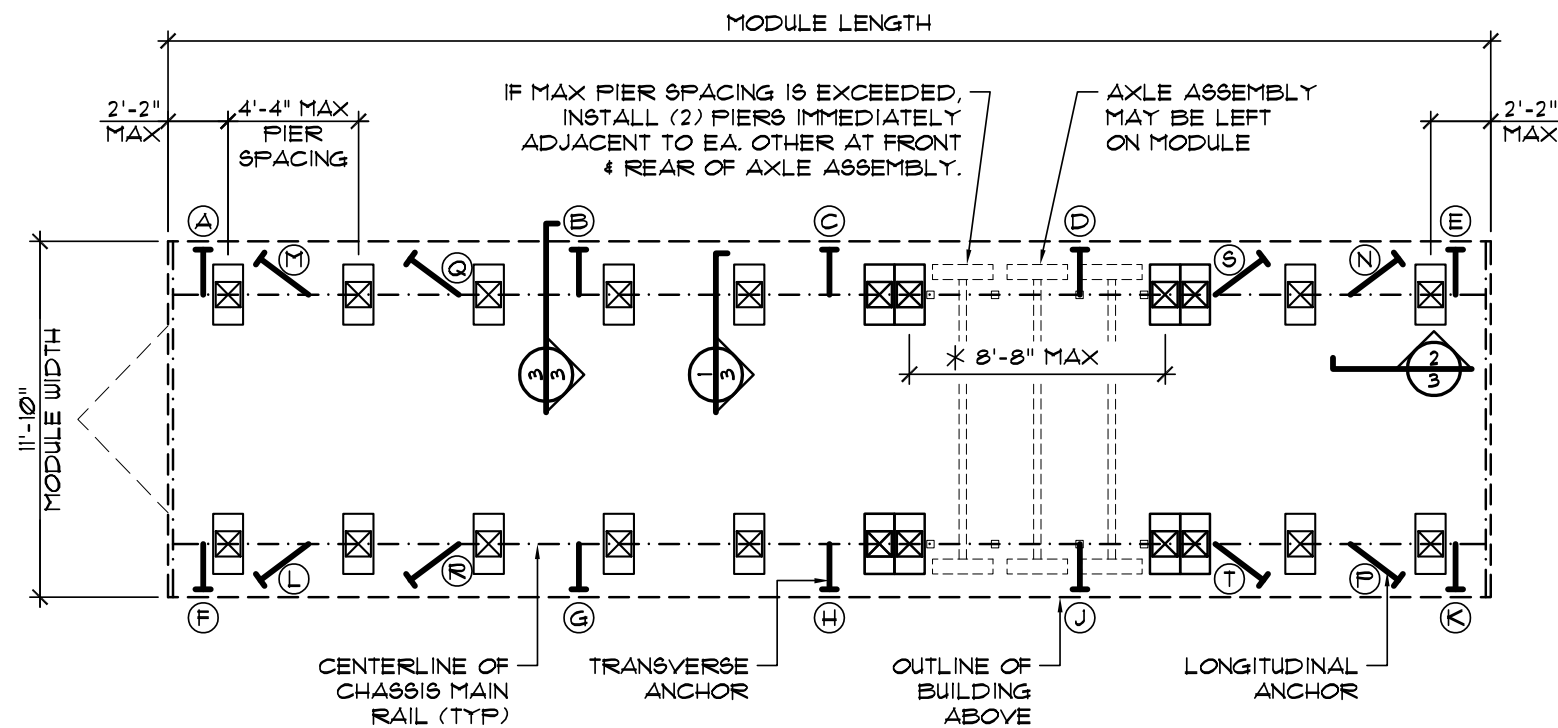
ADDRESS OF INSTALLATION

DOMESTIC CONSTRUCTION CORPORATION
630 WEST 10TH STREET
PITTSBURG, CALIFORNIA 94565

COVER SHEET

DRAWN BY	FS	DATE	01/2024
SCALE	NOTED	JOB	240519

SHEET 1 OF 3 SHEETS



NOTE:

1.) IF ACTUAL MODULE LENGTH IS NOT SHOWN IN ANCHOR SCHEDULE, USE NEXT LARGEST LENGTH.

ANCHOR REQUIREMENTS		
BLDG SIZE	TRANSVERSE	LONGITUDINAL
12' x 32'	A,G,E, F,H,K	L,M,Q N,P,T
12' x 40'	A,G,E, F,H,K	L,M,Q N,P,T
12' x 42'	A,G,E, F,H,K	L,M,Q N,P,T
12' x 44'	A,B,D,E, F,G,J,K	L,M,Q,R N,P,S,T

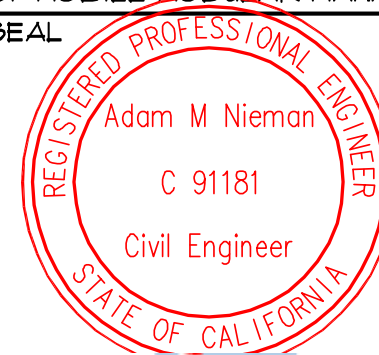
PAD/PIER/ANCHOR PLAN
(44' MAX LENGTH)



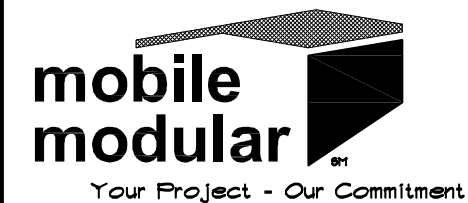
* IF MAX IS NOT ACHIEVABLE, 1 OR MORE AXLES MAY NEED TO BE REMOVED.

THE INFORMATION IN THESE DRAWINGS IS PROPRIETARY. THESE DRAWINGS MAY NOT BE REPRINTED, DISTRIBUTED OR USED FOR ANY PURPOSE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF MOBILE MODULAR MANAGEMENT CORPORATION.

SEAL



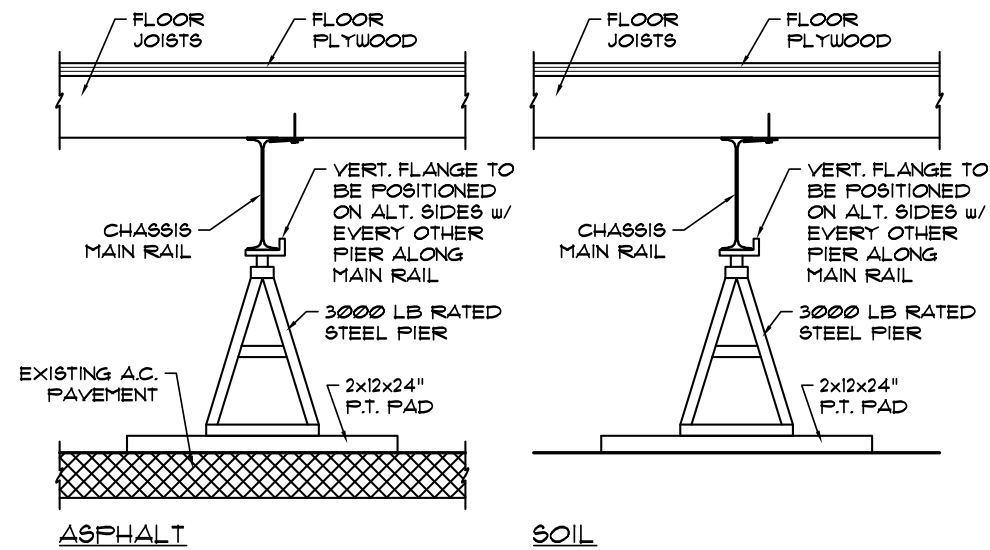
Digitally signed by Adam M. Nieman
Reason: I am approving this document.
Date: 2024.05.17 09:35:58-07'00'



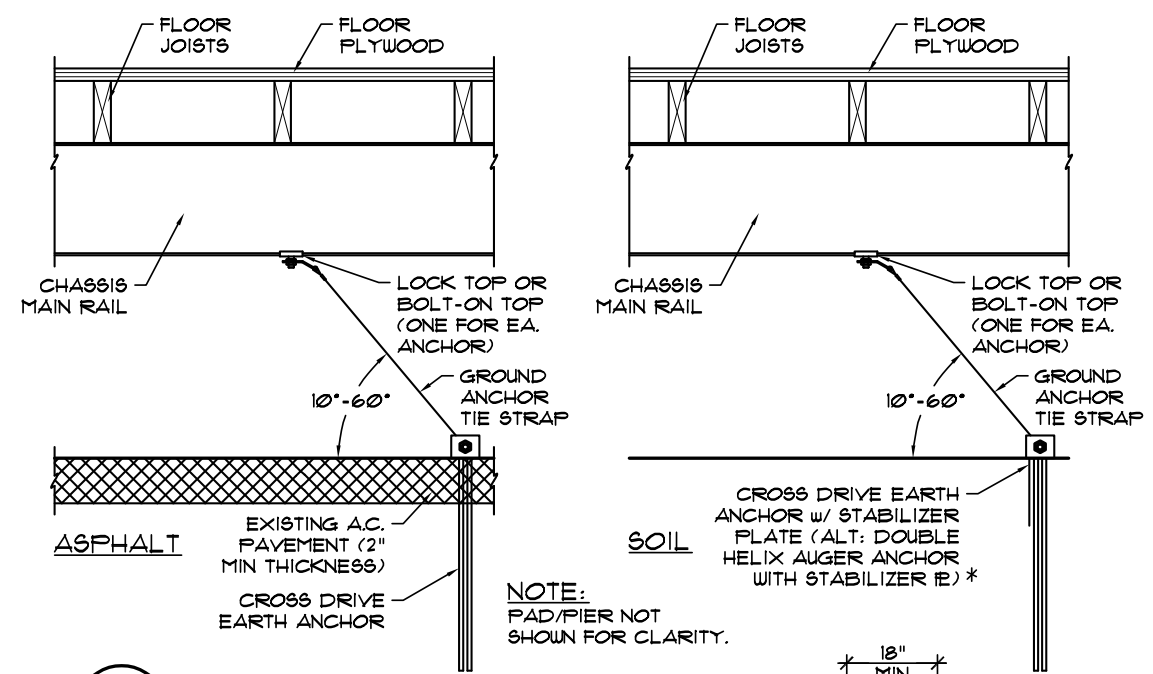
PAD/PIER/ANCHOR PLAN
(44' MAX LENGTH)

DRAWN BY	FS	DATE	01/2024
SCALE	NOTED	JOB	240519

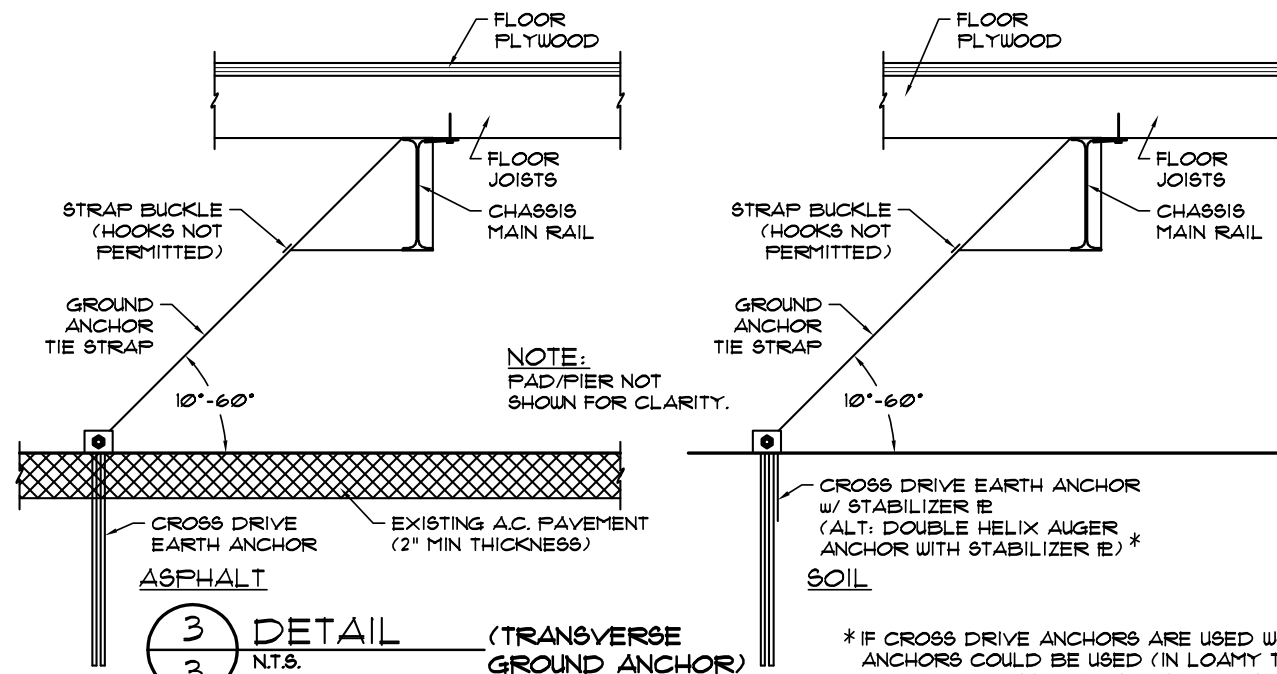
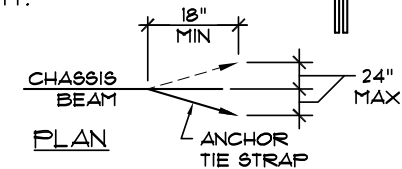
SHEET 2A OF 3 SHEETS



1
3
DETAIL (TYPICAL PIER)
N.T.S.



2
3
DETAIL (LONGITUDINAL GROUND ANCHOR)
N.T.S.



3
3
DETAIL (TRANSVERSE GROUND ANCHOR)
N.T.S.

* IF CROSS DRIVE ANCHORS ARE USED WHERE AUGER ANCHORS COULD BE USED (IN LOAMY TYPE SOIL) THEN TWO CROSS DRIVES MUST BE INSTALLED FOR EACH ANCHOR SHOWN ON THE PLAN. ALL ANCHORS INSTALLED IN SOIL REQUIRE STABILIZER PLATES.

THE INFORMATION IN THESE DRAWINGS IS PROPRIETARY. THESE DRAWINGS MAY NOT BE REPRINTED, DISTRIBUTED OR USED FOR ANY PURPOSE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF MOBILE MODULAR MANAGEMENT CORPORATION.

SEAL

REGISTERED PROFESSIONAL ENGINEER
Adam M Nieman
C 91181
Civil Engineer
STATE OF CALIFORNIA

Digitally signed by Adam M. Nieman
Reason: I am approving this document.
Date: 2024.05.17 09:35:58-07'00'

mobile modular
Your Project - Our Commitment

PAD/PIER/ANCHOR DETAILS

DRAWN BY	FS	DATE	01/2024
SCALE	NOTED	JOB	240519

SHEET 3 OF 3 SHEETS



Electrical Connections

FINAL COLOR OF TRAILER WILL MATCH THE LIGHT AND DARK GRAY AS SHOWN



Plumbing Connection located at RR



Front of proposed modular building



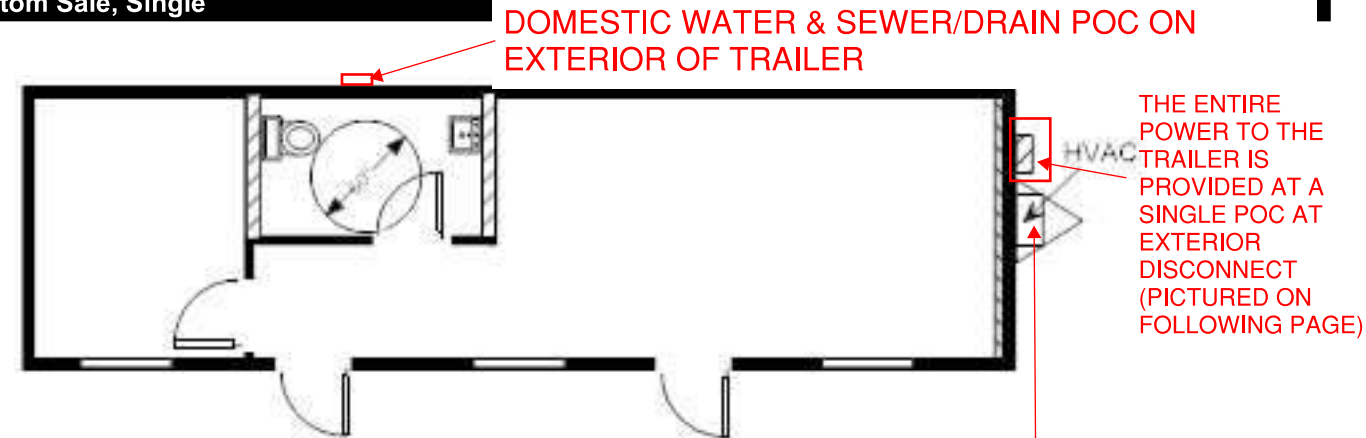
Mobile Modular Management Corporation
 5700 Las Positas Road
 Livermore, CA 94551
 (925) 606-9000 Fax: (925) 453-3201
www.mobilemodular.com

External Floorplan

Building Size: N/A
 Building ID: 97158
 Number of Floors: 1
 A#: 12x44 Wet

Floor Plan

Special Custom Sale, Single



Building Information:
 Manufacturer: **Modtech**
 SN#: 49669
 E-Code: 517653
 Yard Location: A10 YellowBrick

Exterior Information:
 Roof Load: **20**
 Floor Load: **50 PSF**
 Wind Rating: **22.6**
 Height: **13' 7"**
 Width: **11' 11"**

Towbar: **3' Bolted**
 Axles: **3**
 Occupancy: **B1**
 Exterior Finish: **T-1-11 8"**
 Exterior Color: **Sand/Frost**

HVAC Volts: **220**
 Power Panel: **125**
 Roof Type: **Stand Seam**
 Window Type: **Horiz XO**
 Door Type: **Hollow Metal**

Interior Information:
 Interior Finish: **Panel,HampGy**
 Flooring: **Tile,1/8**
 Flooring Color: **Sanddrift**
 HVAC Return:

Ceiling Type: **Random Fiss**
 Ceiling Height: **95"**
 Max Span: **N/A**

Plumbing Information:
 Urinals: **0** Water Heater: **Tankless**
 Toilets: **1** Showers: **0**
 Sinks: **1**

Accessories Information:

UA LOCAL 342 PITTSBURG PIPELINE YARD



DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043 650-943-1660
 755 Sansome Street, 5th Floor, San Francisco, CA 94111 415-477-2700
 2550 Fifth Avenue, Suite 115, San Diego, CA 92103 619-685-3990
 1720 8th Street, Sacramento, CA 95811 916-441-6800

CONSULTANTS

Contractor
 - DOME Construction
 - Hailey Russell
 - (925) 812-2042
 - hrussell@domebuilds.com

Civil Engineer

- CSW | ST2
 - Kirk Bovitz
 - (415) 884-6464
 - kirkb@csstw2.com

Plumbing Engineer

- ACCO Engineered Systems
 - Danny Skadden
 - (510) 292-1531
 - dskadden@accoes.com

Electrical Engineer

- McMillan Electric
 - Bradley Onstad
 - (415) 826-5100
 - bonstad@mcmillanco.com

STAMP



A	ISSUED FOR PERMIT	06-03-2024
NO.	DESCRIPTION	DATE

CLIENT		
PROJECT	UA LOCAL 342 PITTSBURG PIPELINE YARD	
ADDRESS	630 W 10TH STREET PITTSBURG, CA 94565	
PROJECT NO.	60681476	
SCALE	NONE	
TITLE		

**COVER SHEET,
DRAWING INDEX, &
SYMBOL LEGEND**

P0.00

PLUMBING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	LINE TYPE	DESCRIPTION	LINE TYPE	DESCRIPTION
[END CAP	[X]	BALL VALVE	[PT]	PRESSURE TRANSDUCER	---	DOMESTIC COLD WATER (DCW)	---	GREASE WASTE UNDERGROUND (GWUG)
D	CONCENTRIC REDUCER	[BV]	BUTTERFLY VALVE	[A]	AREA DRAIN	---	DOMESTIC HOT WATER (DHW)	---	GREY WATER WASTE UNDERGROUND
[>	FLOW ARROW	[CV]	CHECK VALVE	[FC]	FLOOR CLEANOUT	---	DOMESTIC HOT WATER RETURN (DHW-R)	---	GREY WATER WASTE (GWW-SLUDS)
—○	PIPE DROP	[CB]	CIRCUIT BREAKER	[FD]	FLOOR DRAIN	---	RECLAIMED/RECYCLED WATER	---	GREY WATER WASTE SLUDS
—○	PIPE RISER	[GV]	GATE VALVE	[FS]	FLOOR SINK, SQUARE OR ROUND	---	INDUSTRIAL COLD WATER	---	SEWAGE EJECTOR PUMPED DISCHARGE
—○	TEE UP	[GV]	GLOBE VALVE	[HD]	HUB DRAIN	---	INDUSTRIAL HOT WATER	---	SUMP PUMP DISCHARGE
—○	TEE DOWN	[NV]	NEEDLE VALVE	[OD]	OVERFLOW DRAIN	---	INDUSTRIAL HOT WATER RETURN	---	CONDENSATE DRAIN
[U]	UNION	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	IRRIGATION WATER	---	ARGON
[T]	P-TRAP	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	TEMPERED WATER	---	COMPRESSED AIR
[+]	HOSE BIBB	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	TRAP PRIMER	---	CLEAN DRY AIR
[G]	GAS COCK	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	FILTERED WATER	---	INSTRUMENT AIR
[GM]	GAS METER	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	FUEL OIL FILL	---	LAB AIR
[A]	AQUASTAT	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	FUEL OIL RETURN	---	NITROGEN
[BFP]	BACKFLOW PREVENTER	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	FUEL OIL SUPPLY	---	OXYGEN
[DC]	DOUBLE CONTAINMENT PIPE SLEEVE	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	FUEL OIL VENT	---	SPECIALTY GAS
[FC]	FLEX CONNECTION	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SOFT COLD WATER	---	LAB VACUUM
[HA]	HAMMER ARRESTOR	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	NATURAL GAS	---	PROCESS VACUUM
[FM]	FLOW METER TURBINE	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	NATURAL GAS - MEDIUM PRESSURE	---	HOUSE VACUUM
[P]	PUMP	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	NATURAL GAS - HIGH PRESSURE	---	DEIONIZED WATER RETURN
[T]	THERMOMETER	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	NATURAL GAS VENT	---	DEIONIZED WATER SUPPLY
[VB]	VACUUM BREAKER	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SANITARY WASTE UNDERGROUND (SWUG)	---	REVERSE OSMOSIS RETURN
[I]	INSULATION	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SANITARY WASTE (SW)	---	REVERSE OSMOSIS SUPPLY
[TS]	TEMPERATURE SENSOR & THERMOWELL	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SANITARY WASTE SLUDS (SW-SLUDS)	---	PROCESS COOLING WATER RETURN
[FM]	FLOW METER INLINE	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SANITARY VENT UNDERGROUND (SVUG)	---	PROCESS COOLING WATER SUPPLY
[T]	PETE'S PLUG	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	SANITARY VENT (SV)	---	LAB WASTE UNDERGROUND
[AC]	AUTO FLOW CONTROL	[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	STORM DRAIN UNDERGROUND (SDUG)	---	LAB WASTE
		[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	STORM DRAIN (SD)	---	LAB VENT
		[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	OVERFLOW DRAIN UNDERGROUND (ODUG)	---	
		[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	OVERFLOW DRAIN (OD)	---	
		[RV]	RELIEF VALVE	[RD]	ROOF DRAIN	---	GREASE WASTE	---	

DRAWING INDEX

SHEET NO	SHEET TITLE	REVISION	DATE
P0.00	COVER SHEET, DRAWING INDEX, & SYMBOL LEGEND		06-03-2024
P2.00	PLUMBING NEW CONSTRUCTION PLAN		

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[]	NOT INCLUDED WITH ISSUE	[]	
[]	NEW OR REVISED	[]	
[]	NO CHANGES	[]	

ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
AD	AREA DRAIN	MH	MANHOLE
AFF	ABOVE FINISHED FLOOR	MS	MOP SINK
AHJ	AUTHORITY HAVING JURISDICTION	N	NEW
AP	ACCESS PANEL	NC	NORMALLY CLOSED
AW	AUTOMATIC CLOTHES WASHER	NC	NOT IN CONTRACT
BFF	BELOW FINISHED FLOOR	NO	NORMALLY OPEN
BOP	BOTTOM OF PIPE	NPT	NATIONAL PIPE THREAD
BT	BATH TUB	NTS	NOT TO SCALE
CF	CAP FOR FUTURE	OD	OVERFLOW DRAIN
COTG	CLEAN OUT TO GRADE	PD	PLANTER DRAIN
CTE	CONNECT TO EXISTING	POC	POINT OF CONNECTION
DF	DRINKING FOUNTAIN	PRV	PRESSURE REDUCING VALVE
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DN	DOWN	PSIG	POUNDS PER SQUARE INCH(GAUGE)
E	EXISTING	R	RELOCATED
ED	EMERGENCY DRAIN	RD	ROOF DRAIN
EL	ELEVATION	SD	STORM DRAIN
EW	ELECTRIC WATER HEATER	SE	SEWAGE EJECTOR
EX	EXPANSION TANK	SH	SHOWER
F	FUTURE	SK	BREAK ROOM/COFFEE SINK
FCO	FLOOR CLEAN OUT	SOV	SHUT-OFF VALVE
FD	FLOOR DRAIN	TD	TRENCH DRAIN
FF	FINISH FLOOR	TMV	THERMOSTATIC MIXING VALVE
FS	FLOOR SINK	TP	TRAP PRIMER
GD	GUTTER DRAIN	TYP	TYPICAL
GPM	GALLONS PER MINUTE	UR	URINAL
GRV	GAS REGULATOR VALVE	V	VENT
GW	GREASE WASTE	V	VESSEL
HB	HOSE BIBB	VIF	VERIFY IN FIELD
HD	HUB DRAIN	VTR	VENT THROUGH ROOF
IE	INVERT ELEVATION	WC	WATER CLOSET
IW	INDIRECT WASTE	WCO	WALL CLEAN OUT
JS	JANITOR SINK	WM	WATER METER
KS	KITCHEN SINK		
LV	LAVATORY		
MFS	MEDIA FILTER SYSTEMS		

APPLICABLE CODES

CALIFORNIA PLUMBING PROJECTS:

ALL WORK SHALL BE IN FULL ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, LAWS AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH, BUT NOT LIMITED TO:

- CALIFORNIA CODE OF REGULATIONS (CCR)
- 2022 CALIFORNIA BUILDING CODE - CCR TITLE 24 PART 2
- 2022 CALIFORNIA ELECTRICAL CODE - CCR TITLE 24 PART 3
- 2022 CALIFORNIA MECHANICAL CODE - CCR TITLE 24 PART 4
- 2022 CALIFORNIA PLUMBING CODE - CCR TITLE 24 PART 5
- 2022 CALIFORNIA ENERGY CODE - CCR TITLE 24 PART 6
- 2022 CALIFORNIA FIRE CODE - CCR TITLE 24 PART 9
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE - CCR TITLE 24 PART 11

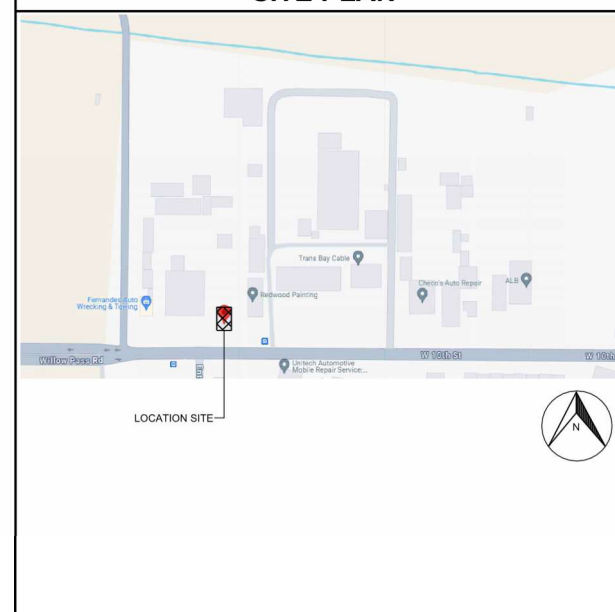
ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING ADDITIONAL GUIDELINES WHERE REQUIRED BY CODE:

- AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE)
- AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)
- AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE)
- AMERICAN SOCIETY OF PLUMBING ENGINEERS (ASPE)
- NATIONAL FIRE PROTECTION AGENCY (NFPA)
- OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
- LOCAL UTILITY GUIDELINES AND REGULATIONS
- LOCAL AIR QUALITY MANAGEMENT DISTRICTS

SCOPE OF WORK

1. CONNECT DOMESTIC COLD WATER & SANITARY SEWER TO MODULAR BUILDING POCs

SITE PLAN



EXISTING PLAN



EXISTING PG&E
POLE



PROPOSED PLAN



NEW "TEMP" PG&E
POLE

NEW 50A
CONNECTION TO
MODULAR
BUILDING

(N) 100A, 120/240V PANEL

(N) MODULAR BUILDING

EXISTING PG&E
POLE





Community and Economic Development Department – Planning Division

PROJECT REFERRAL & REQUEST FOR COMMENTS/CONDITIONS

Project Name:	7 Brew Coffee – Re-façade and Site Modifications
Project No: AP-25-0126	Application Type: Administrative Design Review (ADR)
Project Description: Application submitted by Russ Orsi of Forza Development on behalf of 7 Brew Coffee requesting approval of Administrative Design Review to reduce the size of the existing building, upgrade the façade to include high-quality building materials, and modify the existing site located at 2155 Railroad Avenue. Site modifications include extension of the drive-through lane, installation of a trash and recycling enclosure, on-site directional signage, and improvements to the landscaping. The site is located within the Railroad Avenue Specific Plan (RASP). Assessor’s Parcel No.: 088-183-011.	
Applicant:	Russ Orsi; Contact: <u>Mira Gantzert</u>
Mailing Address:	2180 S 1300 E, Suite 240, Salt Lake City, UT 84106
Phone: (916)765-7270	E-mail: mgantzert@core-states.com

Instructions for the Referral Agency:

Enclosed are plans for the project identified above which is proposed in the City of Pittsburg. Please review plan submittal and provide this office with your feedback on availability of services/potential design or code conflicts/requirements for additional permits and recommended conditions of project approval.

Deadline for Comments:

Please submit your comments no later than Friday, February 20, 2026.

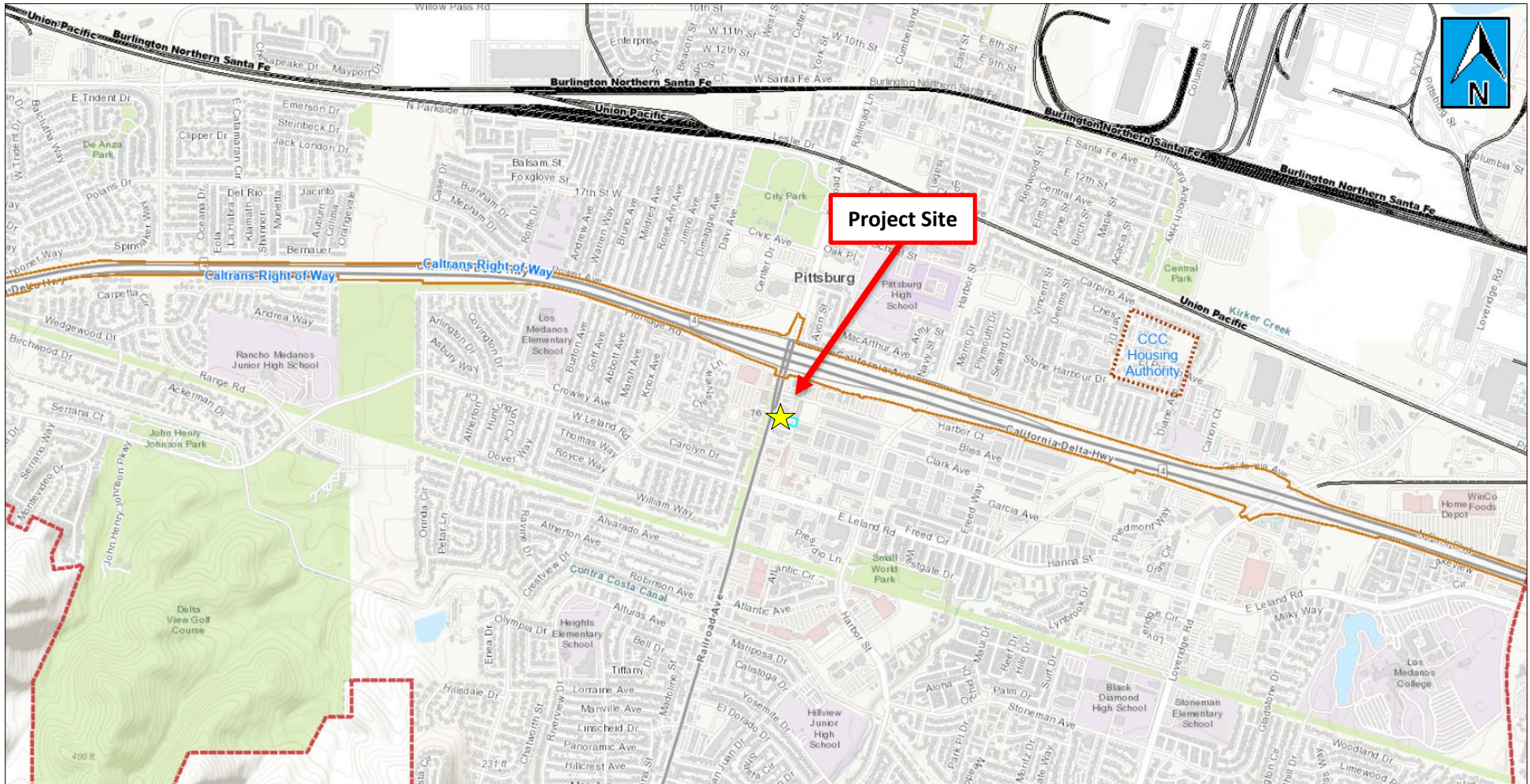
Comments should be sent to **Ariana Ruiz** at the mailing address noted above, through e-mail at: aruiz@pittsburgca.gov, or by fax at: (925) 252-4814. If you have any questions regarding this project, please call Ariana Ruiz at (925)252-4029. A list of referral agencies for this project is provided on the back of this sheet.

List of Referral Agencies:

Federal/State/Regional	<input type="checkbox"/> Ambrose Recreation & Park District
<input type="checkbox"/> US Army Corps of Engineers	<input type="checkbox"/> Contra Costa Mosquito & Vector Control District
<input type="checkbox"/> US Fish and Wildlife Service	<input type="checkbox"/> Bay Point Municipal Advisory Comm.
<input type="checkbox"/> Dept. of Fish and Game – Region 3	<input type="checkbox"/> City of Antioch Community Development Department
<input type="checkbox"/> State RWQCB	<input type="checkbox"/> City of Concord Planning Division
<input type="checkbox"/> US Postal Service – Pittsburg	<input type="checkbox"/> City of Concord Transportation Department
<input type="checkbox"/> Caltrans - District 4	<input type="checkbox"/> Antioch Unified School District
<input type="checkbox"/> Sonoma State - Historical/Archaeological	<input type="checkbox"/> Mt. Diablo Unified School District
<input type="checkbox"/> Association of Bay Area Governments	<input type="checkbox"/> Pittsburg Unified School District
<input type="checkbox"/> Bay Area Air Quality Management District	City of Pittsburg
<input type="checkbox"/> East Bay Regional Park District	<input checked="" type="checkbox"/> Planning Division
<input type="checkbox"/> Native American Heritage Commission	<input checked="" type="checkbox"/> Building Division
Contra Costa County	<input checked="" type="checkbox"/> Engineering Division
<input type="checkbox"/> Assessor's Office	<input checked="" type="checkbox"/> Transportation Division
<input type="checkbox"/> Community Development Department	<input checked="" type="checkbox"/> Public Works Division
<input checked="" type="checkbox"/> Environmental Health	<input checked="" type="checkbox"/> Waste Reduction Coordinator
<input checked="" type="checkbox"/> Fire Protection District	<input type="checkbox"/> Successor Agency
<input type="checkbox"/> Flood Control District	<input checked="" type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Health Services Department	<input type="checkbox"/> City Attorney
<input checked="" type="checkbox"/> Hazardous Materials Programs	<input checked="" type="checkbox"/> City Manager
<input type="checkbox"/> LAFCO	<input checked="" type="checkbox"/> Police Dept.
<input type="checkbox"/> Library (Pittsburg Branch)	<input type="checkbox"/> HCP Coordinator
<input type="checkbox"/> Public Works Dept. (Transportation Eng.)	<input checked="" type="checkbox"/> NPDES Coordinator
Transportation	Utilities
<input type="checkbox"/> BART Planning/Environmental Compliance Division	<input checked="" type="checkbox"/> Contra Costa Water District
<input type="checkbox"/> Central Contra Costa Transit Authority	<input checked="" type="checkbox"/> Delta Diablo Sanitation District
<input type="checkbox"/> Metropolitan Transportation Commission	<input type="checkbox"/> AT&T
<input type="checkbox"/> Tri-Delta Transit	<input checked="" type="checkbox"/> PG&E – 1-877-259-8314 for utility easements
<input type="checkbox"/> TRANSPLAN	<input checked="" type="checkbox"/> Pittsburg Disposal Service
<input type="checkbox"/> Contra Costa Transportation Authority	<input type="checkbox"/> Comcast Cable Communications, Inc.
<input type="checkbox"/> TRANSPAC	<input type="checkbox"/> Other:
Local	<input type="checkbox"/> Other:
<input type="checkbox"/> Supervisor Federal Glover	<input type="checkbox"/> Other:

7 Brew Coffee (ADR) – Aerial View

AP-25-0126 Administrative Design Review	2155 Railroad Avenue APN: 088-183-011
--	--



7 Brew Coffee (ADR) – Aerial View

AP-25-0126	2155 Railroad Avenue
Administrative Design Review	APN: 088-183-011



Project Narrative

7 Brew Coffee – Pittsburg

PREPARED BY
Core States Group

PREPARED FOR

275 Doug & Linda 275 Inc.
Attn: Chris Hatch

CLIENT ADDRESS

2180 South 1300 E #240
Salt Lake City, UT 84106

SITE ADDRESS

2155 Railroad Avenue
Pittsburg, California 94565

PROJECT NO.

24497

DATE

12/22/2025

JURISDICTION

City of Pittsburg

December 22, 2025

City of Pittsburg
65 Civic Avenue
Pittsburg, CA 94565

Re: Site & Architecture Design Review

To Whom It May Concern:

PROJECT NARRATIVE

The proposed project consists of the conversion of an existing 3,171 square-foot KFC restaurant into a 2,300 square-foot drive-through only 7 Brew Coffee with a drive-through lane located at 2155 Railroad Avenue, Pittsburg, California. A total of 21 parking spaces, including two (2) ADA spaces, are proposed based on the Site Plan.

The site fronts Railroad Avenue. Commercial pads exist to the West, East and South. The entrance to the site will be off Railroad Avenue via an existing curb cut.

The site layout includes a drive-through service window on the North side of the structure and a walk-up service window with an associated covered canopy on the South side. On-site circulation improvements will include the construction of a drive-through lane designed to accommodate vehicle stacking for up to 13 vehicles. Additional site improvements will include a trash and recycling enclosure, on-site directional signage, and interior and exterior landscaping.

The typical business hours for 7-Brew Coffee include a 24-hour operation, unless restrictions apply. 7 Brew Coffee will employ and schedule 10-15 employees per shift, with additional employees working per shift as needed during peak hours.

OPERATIONAL CHARACTERISTICS

7 Brew Coffee is a growing drive-through coffee company with more than 500 locations in 35 states. The company's main values include service, speed, quality, energy, and atmosphere. 7-Brew Coffee locations serve a massive, customizable menu of hot and iced drinks, including classic coffees (lattes, mochas, Americanos), "7 Energy" drinks, teas, lemonades, smoothies, shakes, and "7 Fizz" (flavored sparkling water), with over 20,000 combinations using numerous syrups and sauces, plus sugar-free options. Limited packaged food items will be provided, such as muffin tops.

7 Brew Coffee donates yearly to its local communities and non-profit organization through various initiatives, especially during new store openings with "Caffeine for a Cause" events (pay-what-you-want, proceeds to local charities) and through partnerships, donating funds, free coffees for first responders/schools, and supporting disaster relief efforts.

- Average customers/visitors are expected per day: 400
- Frequency of delivery vehicles: 2 times per week

QUEUING AND STACKING

Approximately 13 cars are available to queue behind the proposed drive-through window. 7 Brew Coffee will implement a runner system at the proposed facility that is designed to increase speed and efficiency in serving drive-through customers. 7 Brew Coffee employees travel from vehicle to vehicle to greet customers and take orders. These "runners" utilize a handheld device to transmit customers' orders to the multiple drink stations inside the building. Additionally, runners will charge individuals while in line, so by the time they arrive at the service window they may pick up their order and be on their way. This system decreases wait times, while allowing the runners to have more personal face-to-face interaction with customers. In addition, the layout of the site was designed to create the best possible flow and maximum queuing possible to reduce spillovers onto neighboring properties or the public roads.

ARCHITECTURE

The proposed building is visually interesting and constructed with a variety of high-quality building materials. It will be re-faced with simple, bold colors, and the addition of a signature 7 Brew "hat" element is proposed. Vertical and horizontal façade breaks, building massing, and modulation have all been incorporated into the design of the building. Canopy awnings will be provided over all entrances and service doors. Colorful and visually interesting wall signs depicting the 7 Brew Coffee logos will be installed on all sides of the building.

SIGNS AND LIGHTING

Signs proposed for use at the project site will conform to the City of Pittsburg Zoning Code. Signs proposed to be installed at the project site include wall signs, menu signs, drive-through, parking lot, and directional signs. Signs will be constructed with high-quality materials and properly installed under separate permits.

Site lighting will be provided at the project site for the safety and security of all customers, pedestrians, and employees. Outdoor lighting and illumination at the site will include parking lot security lighting and pedestrian scale lighting. Exterior lighting will be installed on the building façade. The drive-through area will be provided with security lighting. All lights will include shields to direct light toward the project site and keep glare away from the adjacent land uses and rights-of-way.

CONCLUSION

The establishment, maintenance, and operation of the proposed drive-through coffee shop will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the surrounding area, nor will it be detrimental or injurious to property or improvements in the neighborhood or to the general welfare of the City.

The proposed development is a low-intensity food and beverage use, primarily serving take-away coffee and light refreshments, and is inherently compatible with the surrounding commercial context. The scale and nature of the operation are modest and will not give rise to levels of activity or disturbance that would adversely affect nearby occupiers. The use is comparable to other accepted roadside and service-based uses and will integrate appropriately within the existing urban environment.

In terms of residential and workplace amenity, the drive-through element has been carefully designed to ensure that vehicle movements, queuing, and servicing take place entirely within the site. This avoids overspill onto the public highway and prevents obstruction or inconvenience to neighboring properties.

Noise impacts associated with vehicles, ordering, and general operation will be limited and comparable to normal traffic movements already present in the area. Any equipment associated with the use will be appropriately sited and maintained to ensure compliance with environmental health standards. As such, the proposal will not result in harmful noise, vibration, or disturbance.

The development will be operated and managed responsibly, with appropriate waste management, litter control, and site maintenance measures in place to ensure the cleanliness and appearance of the premises and its surroundings. The proposal will not detract from the visual amenity or value of nearby properties and will contribute positively to the vitality and convenience of the area.

The proposed 7 Brew Coffee is a successful business that will promote improvement of the existing commercial area. 7 Brew Coffee locations are known to be clean and well maintained, providing quick service, along with enhanced landscaping areas, lighting, and pedestrian open space at the project site that will benefit all customers and users in the immediate vicinity and the surrounding areas. The above narrative demonstrates how the proposal will increase the overall quality of the project site and positively impact the citizens and businesses of the surrounding community and the City of Pittsburg.

ALTA/NSPS LAND TITLE SURVEY

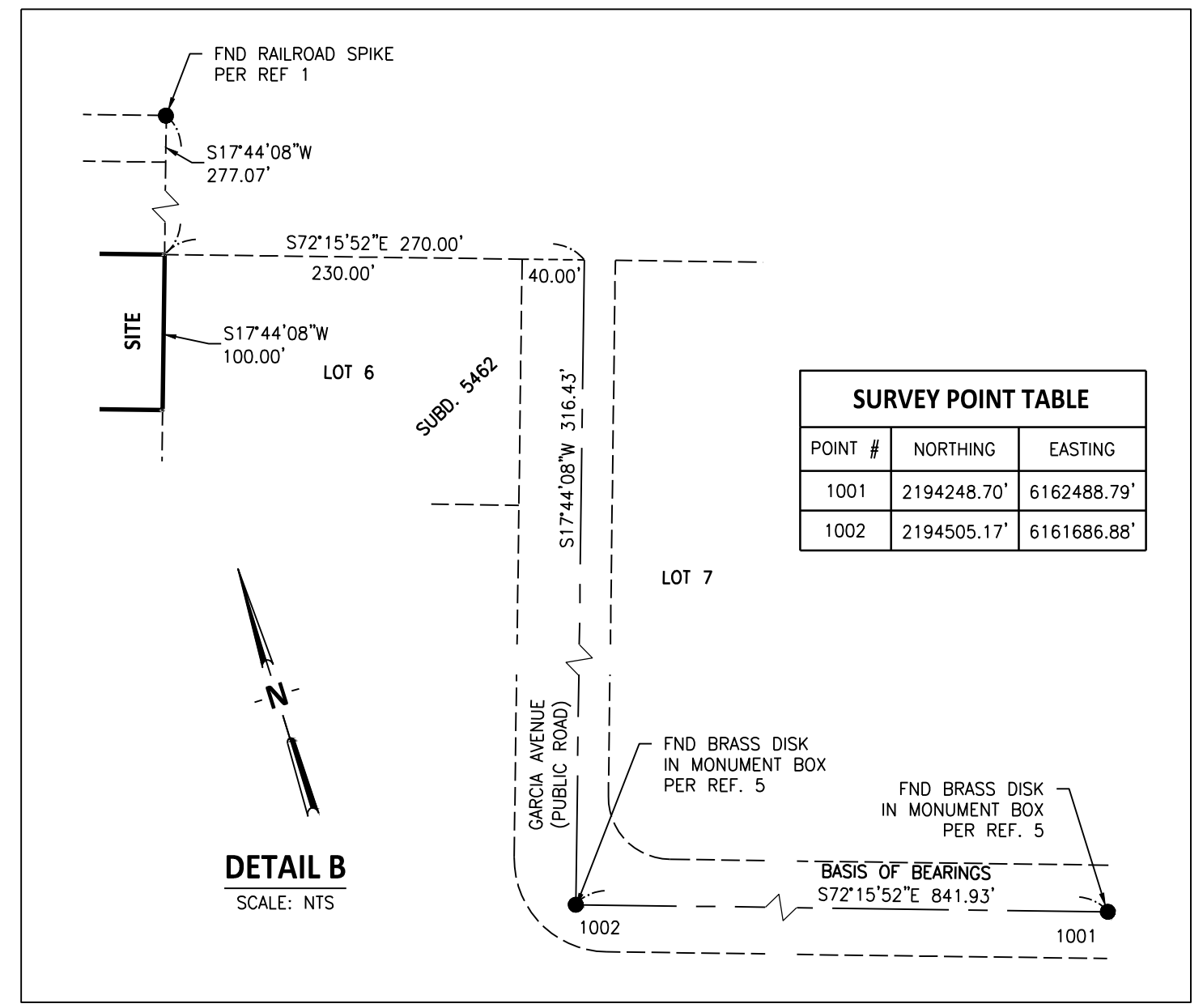
LOCATED IN LOT 5, BLOCK 1 OF THE MAP OF CAMP STONEMAN
TOWNSHIP 2 NORTH, RANGE 1 EAST
MOUNT DIABLO PRINCIPAL MERIDIAN
CONTRA COSTA COUNTY, PITTSBURG, CA
DATE: 10-15-2025

LEGEND

- FOUND MONUMENT, AS NOTED
- DIMENSION POINT NOTHING FOUND OR SET
- ▬ CONCRETE HATCH
- ▬ BUILDING-FOOTPRINT
- ▬ BUILDING-OVERHANG
- ▬ CENTERLINE OF RIGHT-OF-WAY
- ▬ PARCEL LINES
- ▬ BOUNDARY
- ▬ RIGHT-OF-WAY
- ▬ BOUNDARY-EASEMENT
- ▬ CONTOUR-MAJOR
- ▬ CONTOUR-MINOR
- ▬ CURB-VERTICAL
- ▬ FENCE-WIRE
- ▬ FENCE-CHAINLINK
- ▬ FENCE-WOOD
- ▬ GROUND-BREAKLINE
- ▬ GROUND-TOP
- ▬ GROUND-TOE
- ▬ LANDSCAPE
- ▬ ASPHALT
- ▬ SIDEWALK
- ▬ GRAVEL
- ▬ ROAD-CENTERLINE
- ▬ STRIPING
- ⊙ STORM MANHOLE
- ⊕ CATCH BASIN SQUARE
- ⊖ CATCH BASIN ROUND
- ⊙ 0.4"-0.7" DRAIN PIPES
- ⊙ SANITARY MANHOLE
- ⊙ SANITARY CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ LUMINAIRE
- ⊙ ELECTRIC BOX
- ⊙ FENCE GATE POST
- ⊙ SIGN
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ BOLLARD
- ⊙ MAIL BOX
- ⊙ CONIFER TREE
- ⊙ DECIDUOUS TREE
- ⊙ PALM TREE
- ⊙ DISABLED PARKING
- ⊙ RIGHT TURN ONLY
- ⊙ LINE BREAK

ABBREVIATIONS

- FND FOUND
- IR IRON ROD
- N, S, E, W NORTH, SOUTH, EAST, WEST
- PL PROPERTY LINE
- W/YPC WITH YELLOW PLASTIC CAP
- W/RPC WITH RED PLASTIC CAP
- SO. FT. SQUARE FEET
- INV INVERT ELEVATIONS



SURVEY POINT TABLE		
POINT #	NORTHING	EASTING
1001	2194248.70'	6162488.79'
1002	2194505.17'	6161686.88'

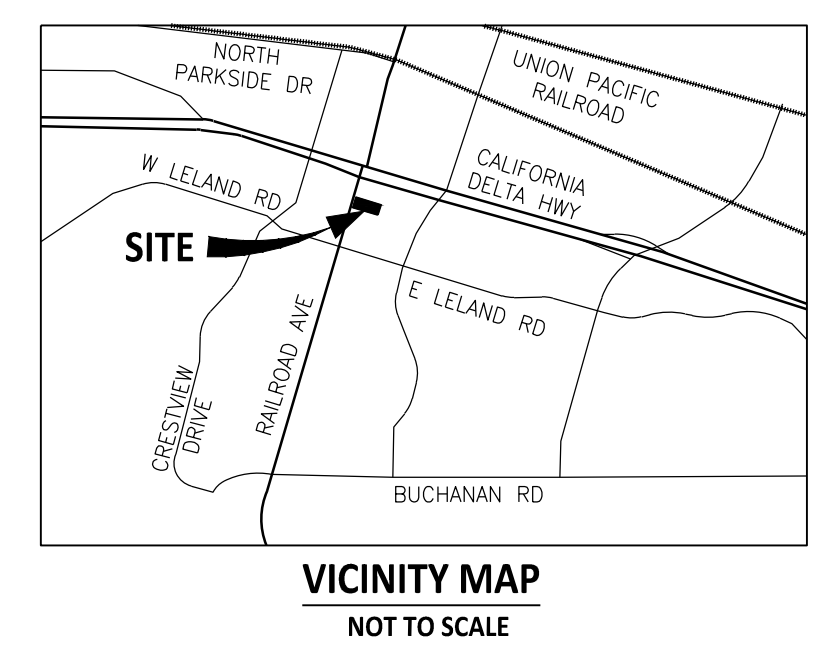
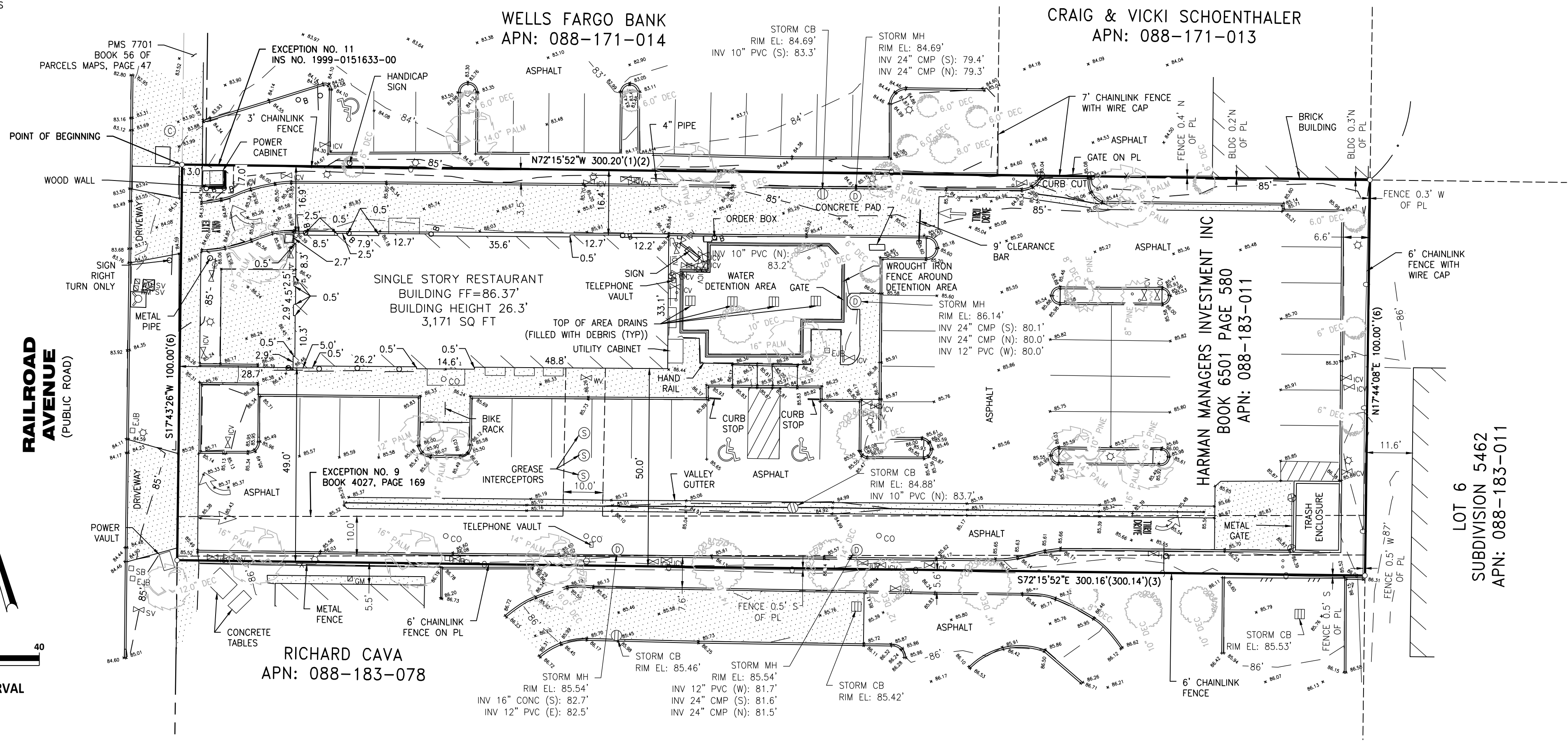


TABLE A ITEMS

- STEWART TITLE GUARANTEE COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM
- TABLE A ITEM 2**
ADDRESS: 2155 RAILROAD AVE, PITTSBURG, CA 94565
- TABLE A ITEM 4**
SUBJECT PARCEL GROSS LAND AREA: 30,019 SQ. FT.
- TABLE A ITEM 5**
VERTICAL BENCHMARK: NGS MON C 563, PID JS1885, NAVD 88, ELEV: 37.7' (FIRST CLASS VERT)
HORIZONTAL DATUM: THE CALIFORNIA STATE PLANE COORDINATE SYSTEM (NAD 83) SYSTEM ZONE 3
THIS IS A GROUND SURVEY. 1" CONTOUR INTERVALS ARE SHOWN HEREON.
- TABLE A ITEM 8**
SUBSTANTIAL FEATURES WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK AND ARE SHOWN HEREON
- TABLE A ITEM 20**
- 20.1 TIES TO ALL CONTROLLING MONUMENTATION
 - 20.2 NORTH ARROW
 - 20.3 SCALE BAR
 - 20.4 SECTION INDEXING INFORMATION
 - 20.5 VICINITY MAP
 - 20.6 CONTOURS (MEETING JURISDICTIONAL REQUIREMENTS)
 - 20.7 SPOT ELEVATIONS (TEXT FOR SPOT ELEVATIONS CAN BE SMALLER THAN OTHER TEXT AS LONG AS IT IS LEGIBLE)
 - 20.8 LEGEND

BASIS OF BEARINGS

THIS SURVEY'S BASIS OF BEARINGS IS SOUTH 72°15'52" EAST, BASED ON THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, NAD 83, ZONE 3, EPOCH 2010. THIS BEARING WAS DETERMINED BY GPS TIES TO MONUMENTS 1001 AND 1002 UTILIZING THE CALIFORNIA SURVEYING AND DRAFTING SUPPLY VIRTUAL STATION NETWORK (CSDS RTN). SAID MONUMENTS WERE SET IN SUBDIVISION 5462, E. PARTNERSHIP INDUSTRIAL PARK. SEE DETAIL B DEPICTING THE MONUMENTS.



LEGAL DESCRIPTION

STEWART TITLE GUARANTEE COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERN LINE OF RAILROAD AVENUE, WITH THE NORTHEASTERN LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDMUND A. LINSCHIED, ET AL., RECORDED FEBRUARY 1, 1962, IN BOOK 4048 OF OFFICIAL RECORDS, PAGE 597; RUNNING THENCE ALONG SAID SOUTHEASTERN LINE OF RAILROAD AVENUE, SOUTH 16° 53' 20" WEST 100 FEET; THENCE SOUTH 73° 06' 40" EAST 300 FEET TO THE SOUTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE, NORTH 16° 53' 20" EAST 100 FEET TO THE NORTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE NORTH 73°06'40" WEST 300 FEET TO THE POINT OF BEGINNING.

CONDITION OF TITLE GUARANTEE EXCEPTIONS

- STEWART TITLE GUARANTEE COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM
- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES, TO BE LEVIED FOR THE FISCAL YEAR 2025 - 2026. NOT A SURVEY RELATED ITEM.
 - GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2024 - 2025:
1ST INSTALLMENT : \$11,479.07
STATUS 1ST : PAID
2ND INSTALLMENT : \$11,479.07
STATUS 2ND : OPEN
PARCEL NO. : 088-183-011-1
CODE AREA / TRACER NO.: 07-004
NOT A SURVEY RELATED ITEM.
 - PRIOR TO RECORDING, THE FINAL AMOUNT DUE FOR TAXES MUST BE CONFIRMED DIRECTLY WITH TAX COLLECTOR. NOT A SURVEY RELATED ITEM.
 - THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA. NOT A SURVEY RELATED ITEM.
 - TAXES AND/OR ASSESSMENTS AFFECTING THE LAND, IF ANY, FOR COMMUNITY FACILITY DISTRICTS INCLUDING MELLO ROOS DISTRICTS WHICH MAY EXIST BY VIRTUE OF ASSESSMENT MAPS OR NOTICES FILED BY SAID DISTRICTS. SAID TAXES AND/OR ASSESSMENTS ARE TYPICALLY COLLECTED WITH THE COUNTY TAXES; HOWEVER, SOME DISTRICTS MAY REMOVE THESE TAXES AND/OR ASSESSMENT FROM THE COUNTY TAXES AND ASSESS AND COLLECT THEM SEPARATELY. NOT A SURVEY RELATED ITEM.
 - WATER RIGHTS, CLAIMS, OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. NOT A SURVEY RELATED ITEM.
 - ANY CLAIM TO (A) OWNERSHIP OF OR RIGHTS TO MINERALS AND SIMILAR SUBSTANCES, INCLUDING BUT NOT LIMITED TO ORES, COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND, AND GRAVEL LOCATED IN, ON, OR UNDER THE LAND OR PRODUCED FROM THE LAND, WHETHER SUCH OWNERSHIP OR RIGHTS ARISE BY LEASE, GRANT, EXCEPTION, CONVEYANCE, RESERVATION, OR OTHERWISE; AND (B) ANY RIGHTS, PRIVILEGES, IMMUNITIES, RIGHTS OF WAY, AND EASEMENTS ASSOCIATED THEREWITH OR APPURTENANT THERETO, WHETHER OR NOT THE INTERESTS OR RIGHTS EXCEPTED IN (A) OR (B) APPEAR IN THE PUBLIC RECORDS OR ARE SHOWN IN SCHEDULE B. NOT A SURVEY RELATED ITEM.
 - ANY INTERESTS (INCLUDING RIGHTS OF THE PUBLIC) IN AND TO ANY PORTION OF THE PROPERTY LYING WITHIN ROADS, STREETS, ALLEYS OR HIGHWAYS. NOT A SURVEY RELATED ITEM.
 - EASEMENT AND RIGHTS INCIDENTAL THERETO FOR WATER AND SANITARY SEWER MAINS, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 3, 1962, IN BOOK 4027 PAGE 169, OF OFFICIAL RECORDS. AFFECTS SAID PARCEL. APPROXIMATE LOCATION PLOTTED HEREON BASED ON EXHIBIT A OF SAID DOCUMENT AND ON SITE SURFACE UTILITIES. NOT A SURVEY RELATED ITEM.
 - DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, AND ANY OTHER OBLIGATIONS SECURED THEREBY:
AMOUNT : \$28,500.00
TRUSTOR : HARMAN MANAGER'S INVESTMENT, INC., A CORPORATION
TRUSTEE : TITLE INSURANCE AND TRUST COMPANY, A CALIFORNIA CORPORATION
BENEFICIARY : ALLEN H. COBB AND FRANCES E. COBB, HIS WIFE AS TO AN UNDIVIDED 1/2 INTEREST;
DOMINIC CAVA AND BETTY CAVA, HIS WIFE, 1/2 INTEREST
RECORDED : OCTOBER 19, 1971, AS INSTRUMENT NO. 89451, IN BOOK 6501 PAGE 588, OF OFFICIAL RECORDS THE BENEFICIAL INTEREST OF ALLEN H. COBB AND FRANCES E. COBB, HIS WIFE AS TO AN UNDIVIDED 1/2 INTEREST; DOMINIC CAVA AND BETTY CAVA, HIS WIFE, 1/2 INTEREST HAVING BEEN ASSIGNED OF RECORD TO BANK OF AMERICA, N.T. & S.A. BY ASSIGNMENT RECORDED ON OCTOBER 19, 1971, AS INSTRUMENT NO. 112661, IN BOOK 6809 PAGE 561, OF OFFICIAL RECORDS.
SAID DEED OF TRUST DOES NOT APPEAR TO BE RECONVEYED OR RELEASED OF RECORD; IT MAY HAVE BEEN PAID OFF THROUGH A PREVIOUS TRANSACTION. PLEASE CONTACT YOUR TITLE OFFICER TO DETERMINE HOW TO ADDRESS THIS OPEN DEED OF TRUST. NOT A SURVEY RELATED ITEM.
 - EASEMENT AND RIGHTS INCIDENTAL THERETO FOR UNDERGROUND COMMUNICATION FACILITIES, AS SET FORTH IN A DOCUMENT RECORDED JUNE 7, 1999, AS INSTRUMENT NO. 1999-0151633-00, OF OFFICIAL RECORDS. AFFECTS AND PLOTTED HEREON. NOT A SURVEY RELATED ITEM.
 - RIGHTS OF THE SUCCESSOR AGENCY(IES) AS TO MATTERS CONTAINED IN THE PROJECT PLAN RECORDED JULY 30, 2007, AS INSTRUMENT NO. 2007-0218065-00, OF OFFICIAL RECORDS. NOT A SURVEY RELATED ITEM.
 - ANY TRUST, RIGHT, INTEREST OR CLAIM THAT MAY EXIST, ARISE, OR BE ASSERTED AGAINST THE TITLE UNDER OR PURSUANT TO THE PERISHABLE AGRICULTURAL COMMODITIES ACT OF 1930, AS AMENDED, 7 U.S.C. §499A, ET SEQ., OR ANY SIMILAR STATE OR FEDERAL LAW. NOT A SURVEY RELATED ITEM.
 - RIGHTS OR CLAIMS OF PARTIES IN POSSESSION WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. NOT A SURVEY RELATED ITEM.

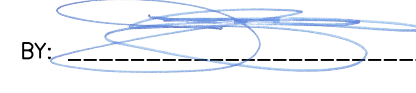
SURVEYOR'S CERTIFICATE

TO: STEWART TITLE GUARANTEE COMPANY, A CORPORATION AND FORZA COMMERCIAL:

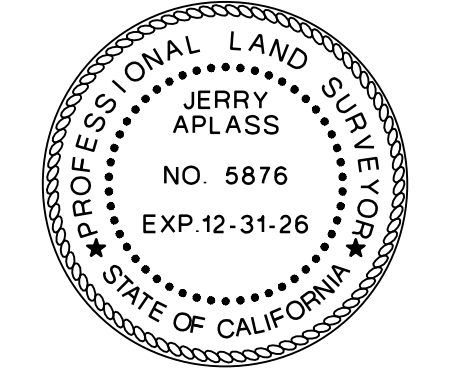
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 8 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 10/07/25.

DATED: 10/27/2025 MACKAY SPOSITO

*USE OF THE WORD "CERTIFY" OR "CERTIFICATION" IS IN ACCORDANCE WITH THE DEFINITION IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA (PROFESSIONAL LAND SURVEYORS' ACT).

BY: 

NAME: JERRY APPLASS, P.L.S.
REGISTRATION NO. 5876
TITLE: PROJECT SURVEYOR



NOTES

- THIS SURVEY WAS PERFORMED OCTOBER 7 AND 8, 2025 UNDER MY DIRECT SUPERVISION.
- NO EVIDENCE OF CEMETERIES OBSERVED ON IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- NO WATER FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

SURVEY REFERENCES

- MAP OF CAMP STONEMAN, RECORDED IN BOOK 111 OF SUBDIVISIONS, PAGES 36-41
- PARCEL MAP RECORDED IN BOOK 56 OF PARCEL MAPS, PAGE 47.
- PARCEL MAP RECORDED IN BOOK 81 OF PARCEL MAPS, PAGES 8-9.
- PARCEL MAP RECORDED IN BOOK 79 OF PARCEL MAPS, PAGES 34-35.
- SUBDIVISION 5462 RECORDED IN BOOK 226 OF SUBDIVISIONS, PAGES 20-22.
- VESTING DEED RECORDED IN BOOK 4048, PAGE 597, OFFICIAL RECORDS OF CONTRA COSTA COUNTY.

PROCEDURE

RTK GPS MEASUREMENTS UTILIZING AN R10 GPS RECEIVER ALONG WITH THE CALIFORNIA SURVEYING AND DRAFTING SUPPLY VIRTUAL STATION NETWORK (CSDS RTN) AND A TRIMBLE SS. 3 SECOND ROBOTIC STATION.

REVISIONS

FORZA COMMERCIAL
ADDRESS: 2155 RAILROAD AVENUE, CITY OF PITTSBURG, CA - APN: 088-183-011

MacKay Sposito
ENERGY PUBLIC WORKS LAND DEVELOPMENT
www.mackaysposito.com

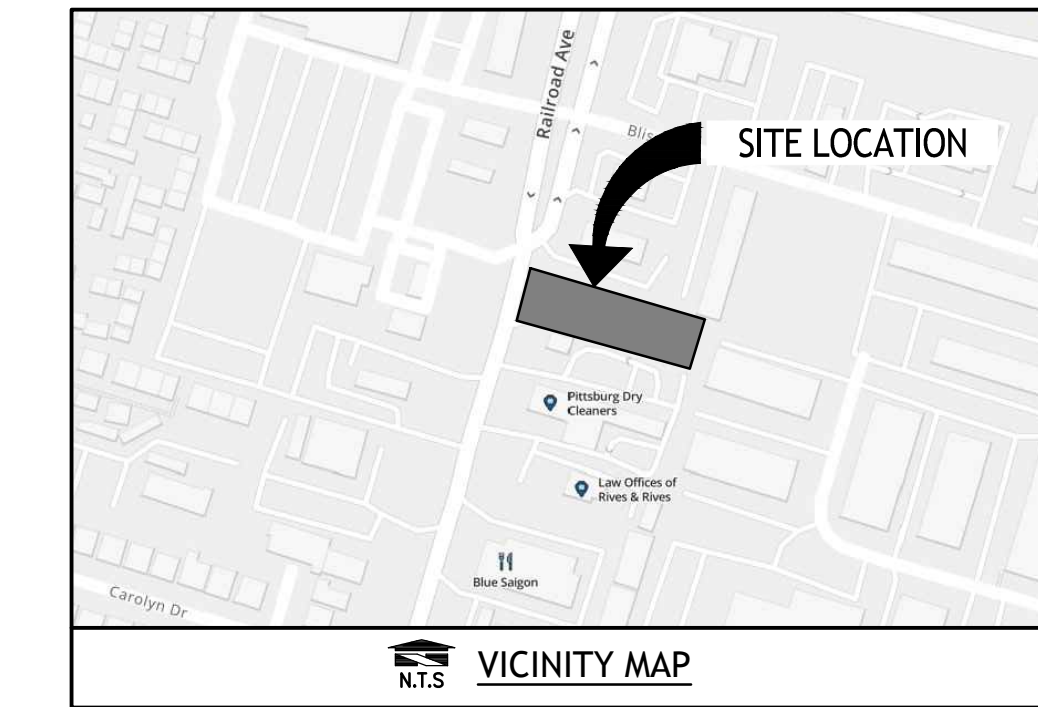
1001 ENTERPRISE WAY, SUITE 100
ROSSVILLE, CA 95078
PHONE: (916) 783-8898

DATE: 10/17/2025
SCALE: 1"=20'
DRAWN BY: GAH/KDB
DATE PLOTTED: 10/27/25
FILE: 2858 XTOPO.DWG

JOB NUMBER: 2858
SHEET: 1 of 1

S:\PROJECTS\2858\DWG\SURVEYING\2858_XTOPO.DWG

PRELIMINARY SITE PLAN



PROJECT DATA

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2155 RAILROAD AVE, PITTSBURG, CA

PARCEL NO. - 088-183-011
PARCEL AREA = 30,019 SF (0.69 AC)

REQUIRED PARKING SPACES:
- RESTAURANT WITH DRIVE-IN SERVICE = 1 PER 50 SQ FT OF SEATING AREA
- SEATING AREA = 0 SF (0 PARKING SPACES REQUIRED)

PROPOSED PARKING SPACES:
- EXISTING PARKING SPACES TO REMAIN = 11
- EXISTING ADA PARKING SPACES TO REMAIN = 2
- PROPOSED PARKING SPACES = 9
TOTAL PARKING = 22

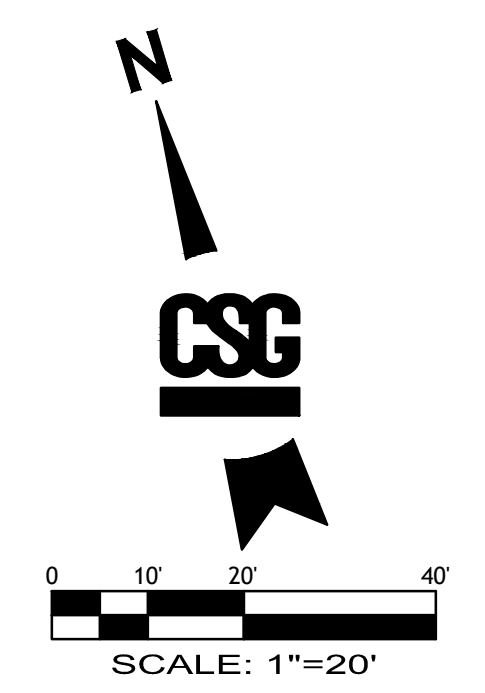
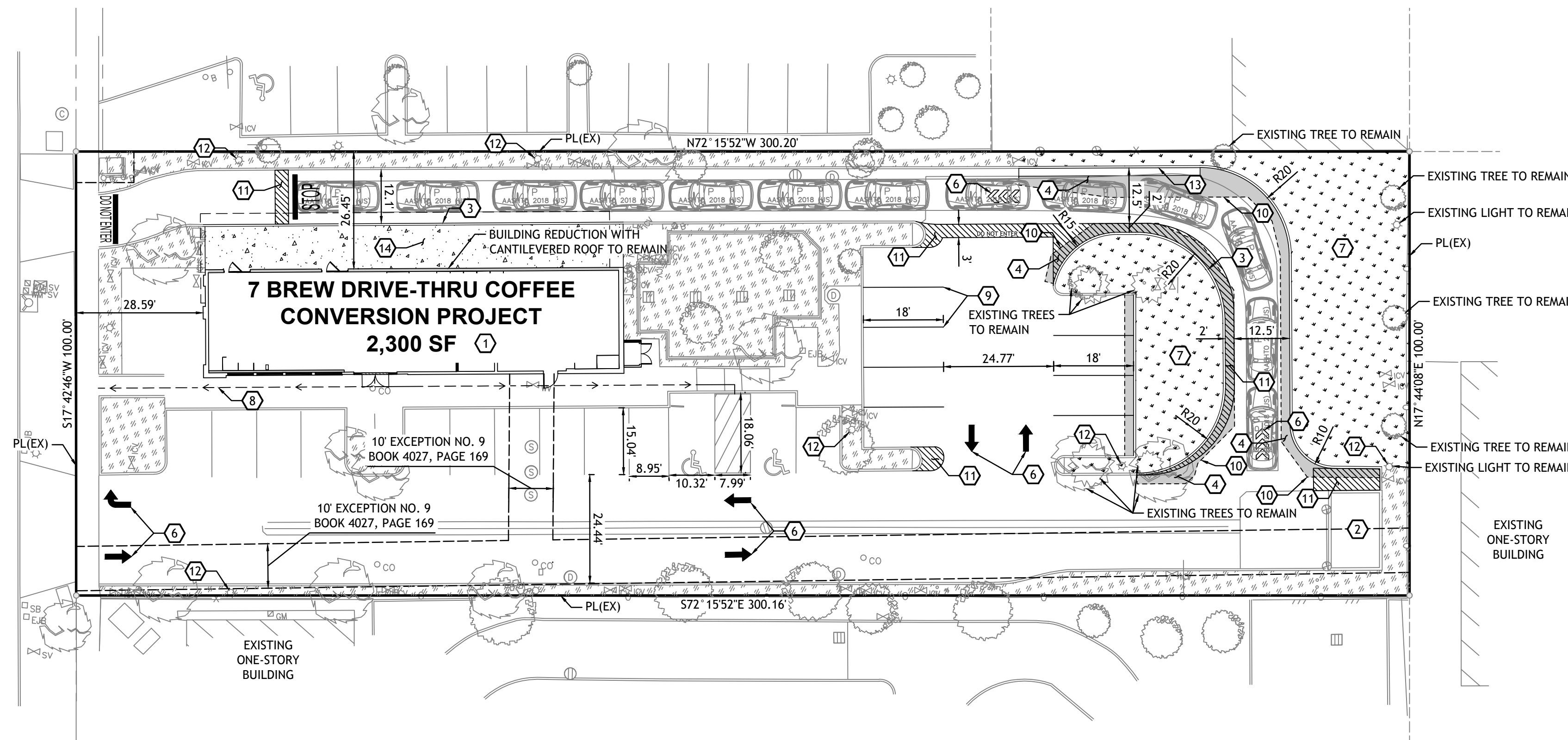
QUEUING = 13
EXISTING TRASH ENCLOSURE = 12 X 18

PROPOSED GROUND COVER SUMMARY:

BUILDINGS (EXISTING):	2,254 SF	(7.5%)
LANDSCAPE:	3,298 SF	(11.0%)
PARKING AND MANEUVERING:	821 SF	(2.7%)
WALKWAYS:	917 SF	(3.0%)
EXISTING PAVEMENT TO REMAIN:	4,129 SF	(13.8%)
EXISTING IMPERVIOUS TO REMAIN:	18,600 SF	(62.0%)
TOTAL	30,019 SF	(100.0%)

CONSTRUCTION NOTES:

- PROPOSED 7 BREW DRIVE-THRU CONVERSION PROJECT.
- EXISTING TRASH ENCLOSURE.
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS, TYPICAL.
- PROPOSED LANDSCAPE AREA, TYPICAL.
- ACCESSIBLE PATH, TYPICAL.
- PROPOSED 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL.
- PROPOSED SAWCUT LIMITS.
- PROPOSED STRIPED OUT AREA AS SHOWN, TYPICAL.
- EXISTING SITE LIGHT TO REMAIN.
- PROPOSED CURB AND GUTTER.
- PROPOSED CONCRETE SIDEWALK.



LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
EXISTING LANDSCAPING	

18215 72nd Avenue South
Kent, WA 98032
855.CSG.1999

www.core-states.com

CoreStates, Inc.
California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 10052452

**PROGRESS PRINT
NOT FOR
CONSTRUCTION**
12/19/2025 8:48 AM



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

7 BREW DRIVE-THRU COFFEE
2155 RAILROAD AVE
PITTSBURG, CA

275 DOUG & LINDA 275 INC
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY

Drawn: LW
Reviewed: AEM
Sheet Date: 12/22/25
Proj. Number: 24497

PRELIMINARY SITE PLAN

LEGAL DESCRIPTION

STEWART TITLE GUARANTEE COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERN LINE OF RAILROAD AVENUE, WITH THE NORTHEASTERN LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDMUND A. LINSCHIED, ET AL., RECORDED FEBRUARY 1, 1962, IN BOOK 4048 OF OFFICIAL RECORDS, PAGE 597; RUNNING THENCE ALONG SAID SOUTHEASTERN LINE OF RAILROAD AVENUE, SOUTH 16° 53' 20" WEST 100 FEET; THENCE SOUTH 73° 06' 40" EAST 300 FEET TO THE SOUTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE, NORTH 16° 53' 20" EAST 100 FEET TO THE NORTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE NORTH 73° 06' 40" WEST 300 FEET TO THE POINT OF BEGINNING.

OWNER

FORZA COMMERCIAL
2180 S 1300 E, STE 240
SALT LAKE CITY, UT 84106
TEL: (916) 765-7270
CONTACT: RUSS ORSI
EMAIL: RUSS@FORZACOMMERCIAL.COM

DEVELOPER

275 DOUG & LINDA 275 INC.
2180 S 1300 E, STE 240
SALT LAKE CITY, UT 84106

ENGINEER

CORESTATES GROUP, LLC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: ANTHONY MERLINO, P.E.
EMAIL: AMERLINO@CORE-STATES.COM
WEBSITE: [HTTPS://WWW.CORES-STATES.COM](https://www.cores-states.com)

SURVEYOR

MACKAY SPOSITO
1001 ENTERPRISE WAY, SUITE 100
ROSEVILLE, CA 95678
TEL: (916) 783-8898
CONTACT: JERRY APLASS
EMAIL: JAPLASS@MACKAYSPOSITO.COM
WEBSITE: WWW.MACKAYSPOSITO.COM

LANDSCAPE ARCHITECT

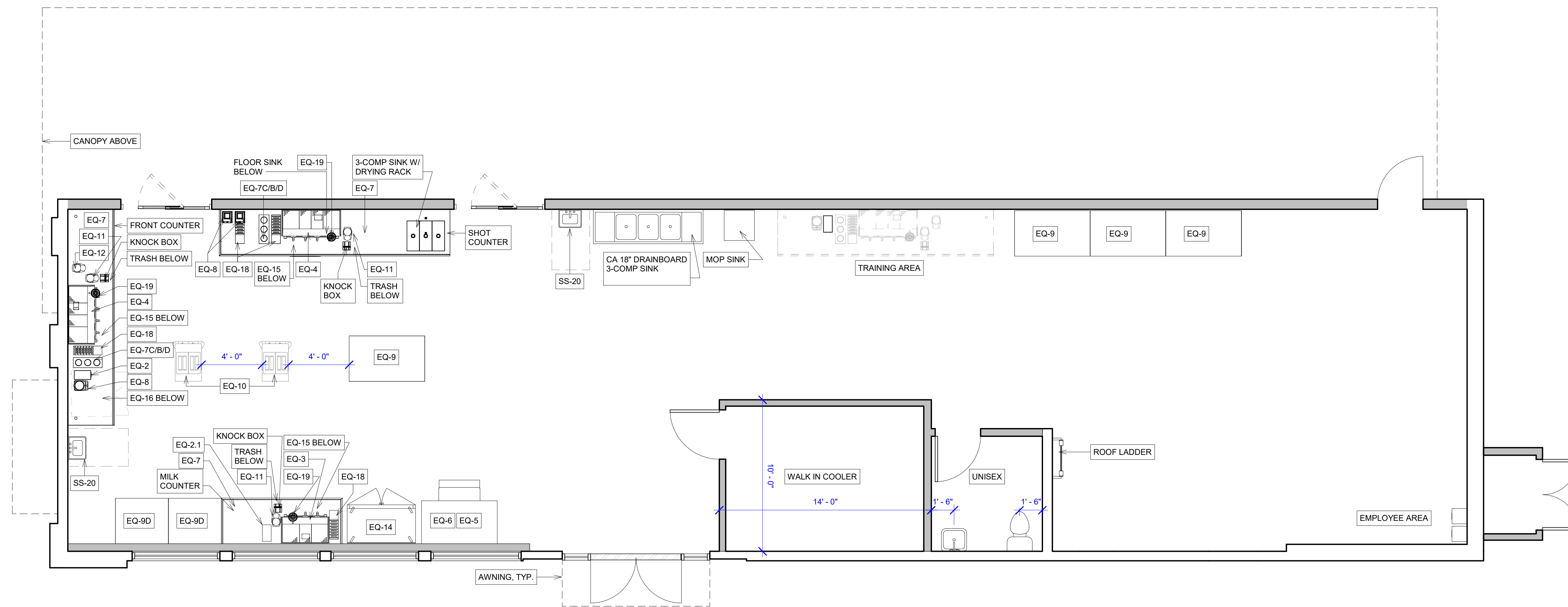
CORESTATES GROUP, LLC.
18215 72ND AVE. SOUTH
KENT, WA 98032
CONTACT: JEFF VARLEY
TEL: (425) 251-6222

BUILDING ARCHITECT

MWML DESIGN, LLC.
170 N SANGAMON ST
CHICAGO, IL 60607
CONTACT: MARK BAKER
TEL: (312) 733-8400



NOT FOR CONSTRUCTION



2155 Railroad Avenue
Pittsburgh, CA 94565

MNML - TEST FIT

Project Number	CA0003
Date	12.19.25
Drawn by	JSS
Checked by	MB

TF.1

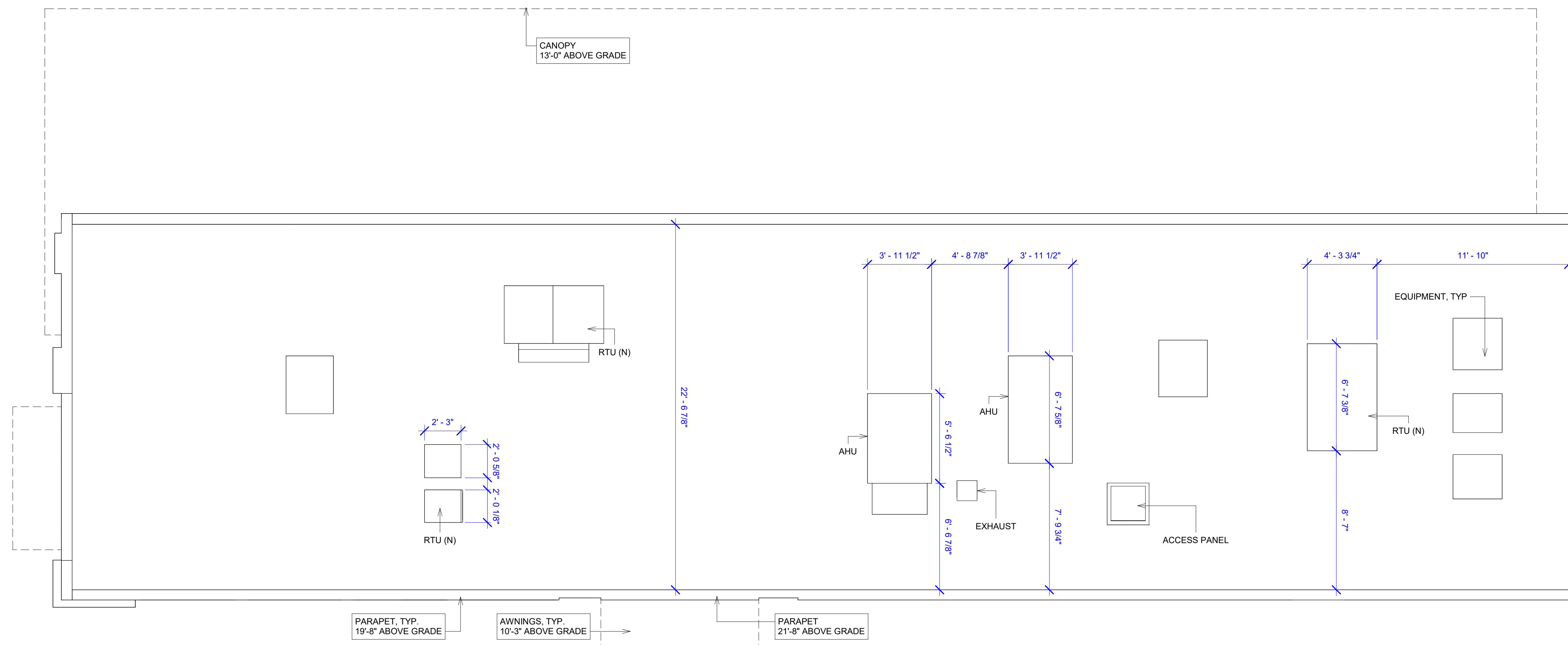
Scale 1/4" = 1'-0"
Page 36 of 47



MATERIAL LEGEND			
SYMBOL	MFR / DESCRIPTION	LOCATION	IMAGE
PT-1	SHERWIN WILLIAMS SW7664 STEELY GRAY	SEE ELEVATIONS	
PT-2	SHERWIN WILLIAMS CUSTOM 7B DARK GREY	WAINSCOT	
MP-2	BRAKE METAL - REGAL BLUE / SMOOTH	METAL COPING, CANOPIES & CANOPY COLUMNS	
MP-5	BRAKE METAL - CLEAR ANODIZED / SMOOTH	TRIM AT STOREFRONTS	
LT-1	BLUE LED FLEX LIGHT	CANOPIES AND FASCIA	SEE ELEVATIONS



NOT FOR
CONSTRUCTION



2155 Railroad Avenue
Pittsburgh, CA 94565

MNML - ROOF PLAN

Project Number CA0003
Date 12.19.25
Drawn by JSS
Checked by MB

TF.3

Scale 1/4" = 1'-0"
Page 36 of 47

PLANT SCHEDULE

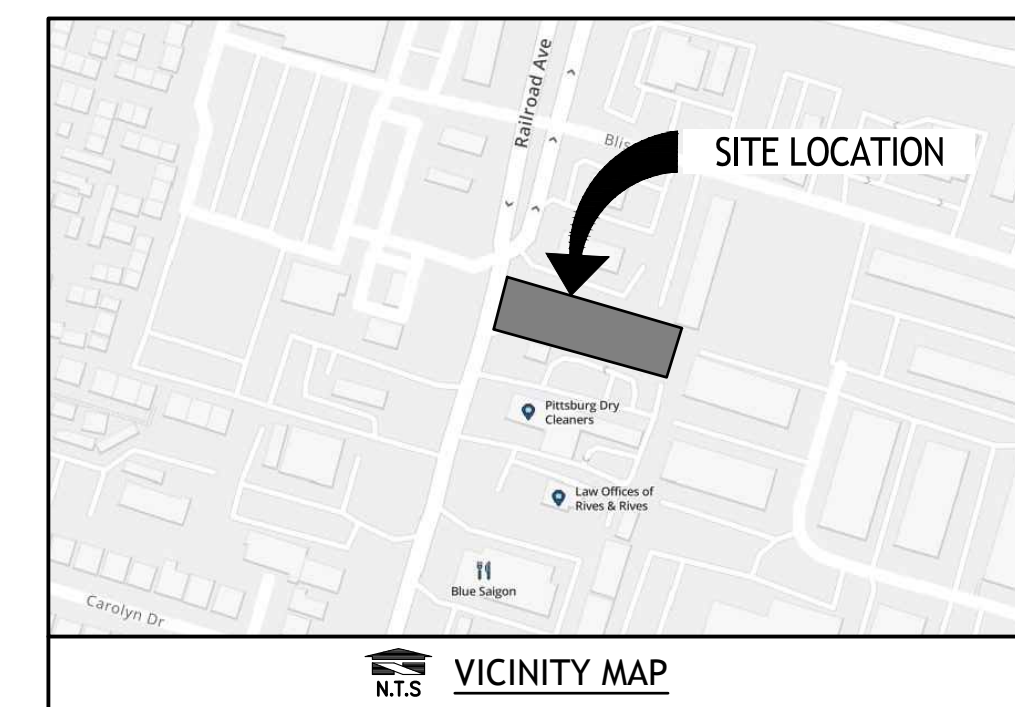
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WUCOLS IV
TREES				
	5	PISTACIA CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5' STAKE AND GUY ONE GROWING SEASON	15 GAL	LOW
SHRUBS				
	3	ARBUTUS UNEDO 'COMPACTA' / STRAWBERRY TREE DO NOT SUBSTITUTE OTHER VARIETIES	1 GAL.	LOW
	27	CALLISTEMON VIMINALIS 'LITTLE JOHN' / WEEPING BOTTLEBRUSH	5 GAL.	LOW
	12	CISTUS CORBARIENSIS / ROCKROSE	5 GAL.	LOW
	24	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	LOW
	4	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL.	VERY LOW
	18	OLEA EUROPAEA 'LITTLE OLLIE' / DWARF OLIVE SYN. 'MONTRA'	5 GAL.	VERY LOW
	24	PHORMIUM TENAX 'TOM THUMB' / DWARF NZ FLAX	5 GAL.	LOW
	23	TEUCRIUM X LUCIDRYS / HEDGE GERMANDER	5 GAL.	LOW
GROUND COVERS				
	322	APTENIA CORDIFOLIA 'RED APPLE' / BABY SUNROSE	1 GAL.	LOW 24" o.c.

PRELIMINARY LANDSCAPE PLAN

WATER-EFFICIENT LANDSCAPE CERTIFICATION

I CERTIFY THAT ALL LANDSCAPE AND IRRIGATION DESIGN SHOWN ON THESE PLANS WERE DESIGNED IN COMPLIANCE WITH ARTICLE VII OF CHAPTER 18.84, PITTSBURG MUNICIPAL CODE

JW
JEFFERY VARLEY, CALIFORNIA LICENSED LANDSCAPE ARCHITECT
DATE: 12/16/2025



ETWU: PROPOSED DEVELOPMENT

IRRIGATED LANDSCAPE WATER EFFICIENCY TABLE							
WATER BUDGET CALCULATIONS							
MAXIMUM APPLIED WATER ALLOWANCE							
(ETo) (0.62) [(0.45 x LA) + (0.3 x SLA)]	LOCAL ETo	LA =	SLA =		MAWA TOTAL		
	45.4	2,859	0		36,214 GAL.		
ESTIMATED TOTAL WATER USE							
(ETo) (0.62) [(PF/IE) x (LA)]	LOCAL ETo	PF =	LA =	SLA =	ETWU TOTAL =		
	45.4	0.3	2,859	0	NET TOTAL 29,806 GAL.		
HYDROZONE INFORMATION TABLE							
HYDROZONE TAG	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
HYDROZONE 1 (SHRUBS/DRIP/LOW)	0.3	IN-LINE DRIP	0.81	0.37	2,574*	952.4	26,836
HYDROZONE 2 (TREES/RWS/LOW)	0.3	IN-LINE DRIP	0.81	0.37	285	105.5	2,970
*NOTE: SQUARE FEET FROM TREE BUBBLERS DEDUCTED 57 SF PER TREE					TOTAL AREA 2,859 S.F.		TOTAL GALLONS 29,806

IRRIGATION NOTE

NEW LANDSCAPE AREAS SHOWN ON THIS PLAN TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. CONNECT HYDROZONES FOR NEW AREAS TO EXISTING IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF EXISTING IRRIGATION COMPONENTS OR WATER PRESSURE ARE INSUFFICIENT TO PROVIDE IRRIGATION TO AREAS SHOWN.

PROJECT DATA

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2155 RAILROAD AVE, PITTSBURG, CA
PARCEL NO.: 088-183-011
PARCEL AREA = 30,019 SF (0.69 AC)
PROPOSED LANDSCAPE AREA = 2,859 SF
PROPOSED PARKING SPACES:
- EXISTING PARKING SPACES TO REMAIN = 11
- EXISTING ADA PARKING SPACES TO REMAIN = 2
- PROPOSED PARKING SPACES = 22
TOTAL PARKING = 35
1 TREE REQUIRED PER EACH 6 PARKING SPACES, 58 TREES PROVIDED (EXISTING + PROPOSED) = 10

CORE STATES GROUP

18215 72nd Avenue South
Kent, WA 98032
855.CSG.1999

www.core-states.com

CoreStates, Inc.

California Engineering
CERTIFICATE OF AUTHORIZATION
NO. 10052452



Know what's below.
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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

7 BREW DRIVE-THRU COFFEE
2155 RAILROAD AVE
PITTSBURG, CA

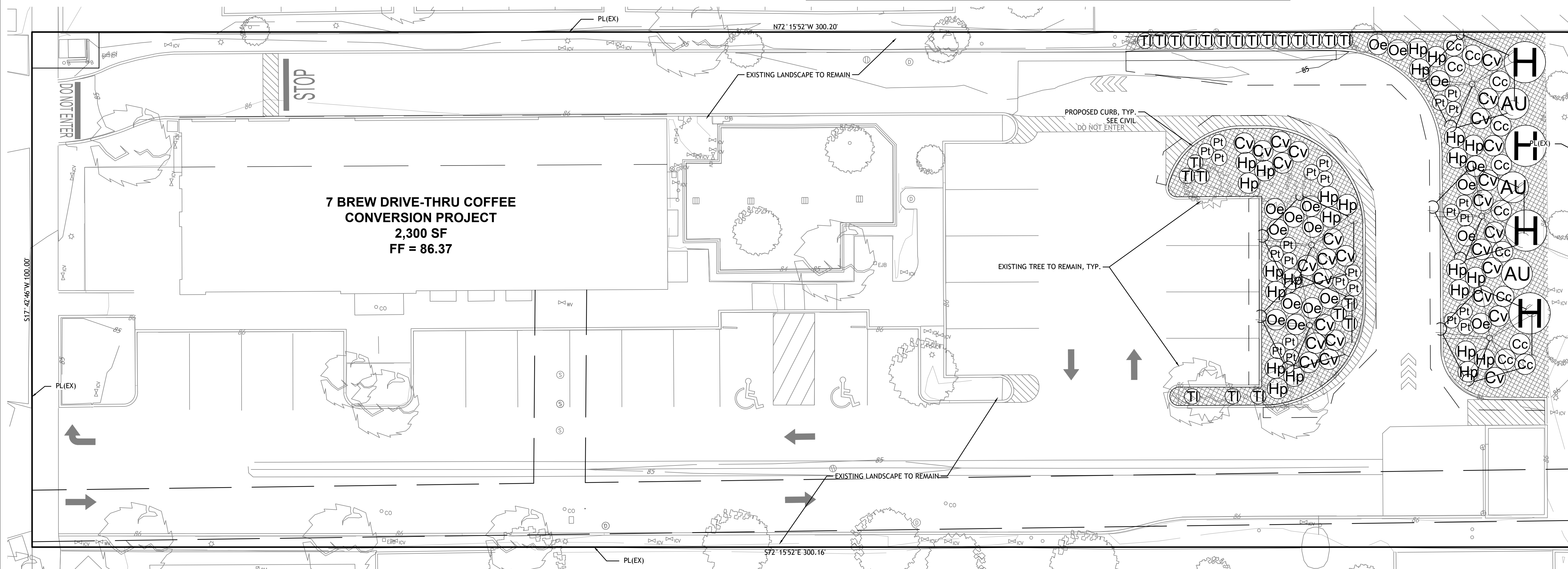
275 DOUG & LINDA 275 INC
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY

Drawn: TCR
Reviewed: JMV
Sheet Date: 12/16/25
Proj. Number: 24497

PRELIMINARY LANDSCAPE PLAN

L1 OF 2



LEGAL DESCRIPTION

STEWART TITLE GUARANTY COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERN LINE OF RAILROAD AVENUE, WITH THE NORTHEASTERN LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDMUND A. LINSCHIED, ET AL., RECORDED FEBRUARY 1, 1962, IN BOOK 4048 OF OFFICIAL RECORDS, PAGE 597; RUNNING THENCE ALONG SAID SOUTHEASTERN LINE OF RAILROAD AVENUE, SOUTH 16° 53' 20" WEST 100 FEET; THENCE SOUTH 73° 06' 40" EAST 300 FEET TO THE SOUTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE, NORTH 16° 53' 20" EAST 100 FEET TO THE NORTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE NORTH 73° 06' 40" WEST 300 FEET TO THE POINT OF BEGINNING.

OWNER

FORZA COMMERCIAL
2180 S 1300 E, STE 240
SALT LAKE CITY, UT 84106
TEL: (916) 765-7270
CONTACT: RUSS ORSH
EMAIL: RUSS@FORZACOMMERCIAL.COM

DEVELOPER

275 DOUG & LINDA 275 INC.
2180 S 1300 E, STE 240
SALT LAKE CITY, UT 84106

ENGINEER

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EMAIL: JAPLASS@MACKEYSPOSITO.COM
WEBSITE: WWW.MACKAYSPOSITO.COM

LANDSCAPE ARCHITECT

CORESTATES GROUP, LLC.
18215 72ND AVE, SOUTH
KENT, WA 98032
CONTACT: JEFF VARLEY
TEL: (425) 251-6222

BUILDING ARCHITECT

HNML DESIGN, LLC.
170 N SANGAMON ST
CHICAGO, IL 60607
CONTACT: MARK BAKER
TEL: (312) 733-8400



LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	

PRELIMINARY GRADING PLAN

18215 72nd Avenue South
Kent, WA 98032
855.CSG.1999

www.core-states.com

CoreStates, Inc.

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CERTIFICATE OF AUTHORIZATION
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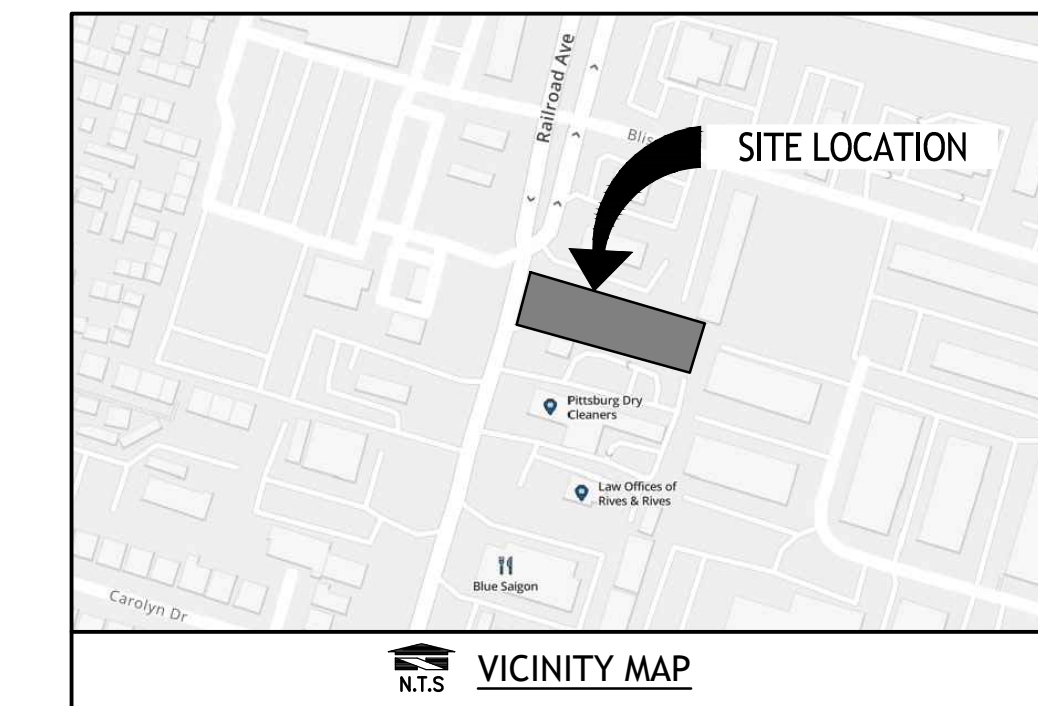
GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.

GRADING PLAN LEGEND:

FF - FINISHED FLOOR
ME - MATCH EXISTING
LP - LOW POINT

EXISTING CONTOURS
PROPOSED CONTOURS



PROJECT DATA

NAME: 7 BREW DRIVE-THRU COFFEE
ADDRESS: 2155 RAILROAD AVE, PITTSBURG, CA

PARCEL NO.: 088-183-011
PARCEL AREA = 30,019 SF (0.69 AC)

PROPOSED PARKING SPACES:

- EXISTING PARKING SPACES TO REMAIN	= 11
- EXISTING ADA PARKING SPACES TO REMAIN	= 2
- PROPOSED PARKING SPACES	= 9
TOTAL PARKING	= 22

QUEUEING = 13
EXISTING TRASH ENCLOSURE = 12' X 18

PROGRESS PRINT
NOT FOR
CONSTRUCTION
12/19/2025 8:48 AM



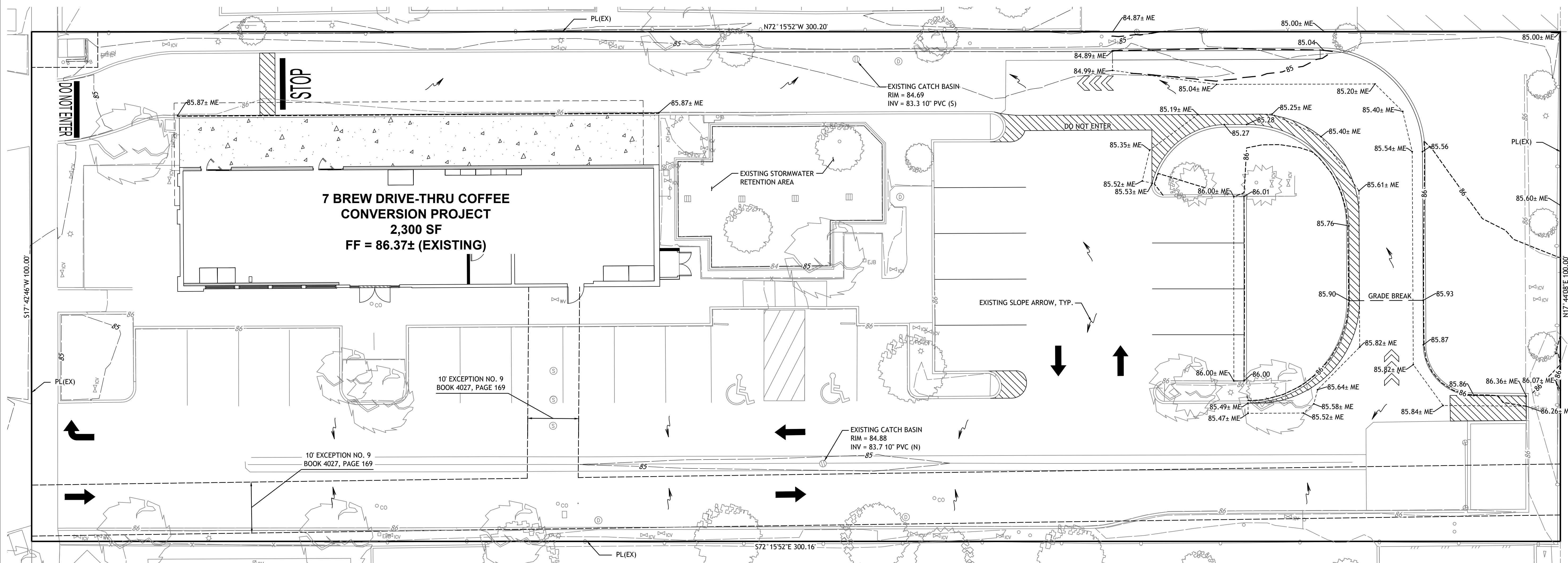
Know what's below.

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7 BREW DRIVE-THRU COFFEE
2155 RAILROAD AVE
PITTSBURG, CA

275 DOUG & LINDA 275 INC
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106



LEGAL DESCRIPTION

STEWART TITLE GUARANTY COMPANY FILE NUMBER 2552101, CLTA CONDITION OF TITLE GUARANTEE 6-5-14, GUARANTEE SERIAL NO. G-2921-4510, FEBRUARY 18, 2025 AT 7:30AM

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHEASTERN LINE OF RAILROAD AVENUE, WITH THE NORTHEASTERN LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDMUND A. LINSCHIED, ET AL., RECORDED FEBRUARY 1, 1962, IN BOOK 4048 OF OFFICIAL RECORDS, PAGE 597; RUNNING THENCE ALONG SAID SOUTHEASTERN LINE OF RAILROAD AVENUE, SOUTH 16° 53' 20" WEST 100 FEET; THENCE SOUTH 73° 06' 40" EAST 300 FEET TO THE SOUTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE, NORTH 16° 53' 20" EAST 100 FEET TO THE NORTHEASTERN LINE OF SAID LINSCHIED PARCEL, 4048 OR 597; THENCE ALONG THE LAST NAMED LINE NORTH 73° 06' 40" WEST 300 FEET TO THE POINT OF BEGINNING.

OWNER

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DEVELOPER

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CONTACT: MARK BAKER
TEL: (312) 733-8400



LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	

REV	DATE	COMMENT	BY

Drawn: LW
Reviewed: AEM
Sheet Date: 12/22/25
Proj. Number: 24497

PRELIMINARY GRADING PLAN

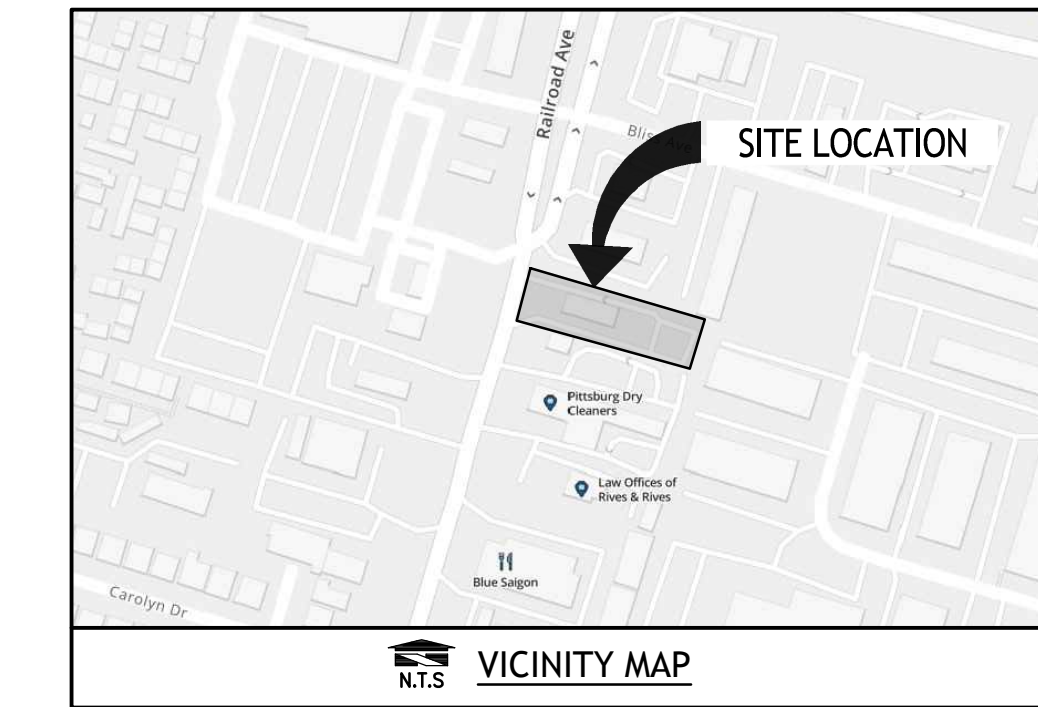
Stormwater Control Plan – Small Land Development

I. PROJECT DATA

Table 1. Project Data

Project Name/Number	7 Brew Drive Thru Coffee – Pittsburg, CA
Application Submittal Date	December 22, 2025
Project Location	088-183-011 2155 Railroad Ave, Pittsburg, CA
Name of Developer	Forza Commercial
Project Type and Description	Drive-Thru coffee stand with parking.
Total Project Site Area (acres)	0.69 Acres
Total New Impervious Surface Area (sq. ft.)	102 sq. ft.
Total Replaced Impervious Surface Area	1,636 sq. ft.
Total Pre-Project Impervious Surface Area	24,827 sq. ft.
Total Post-Project Impervious Surface Area	22,592 sq. ft.
Runoff Reduction Measures selected (Check one or more)	<input type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious Pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box ×Runoff Reduction Method not required. Project reduces total impervious surface area and therefore reduces stormwater runoff from the pre-developed condition.

SURFACE AREA EXHIBIT



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7 BREW DRIVE-THRU COFFEE
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PITTSBURG, CA

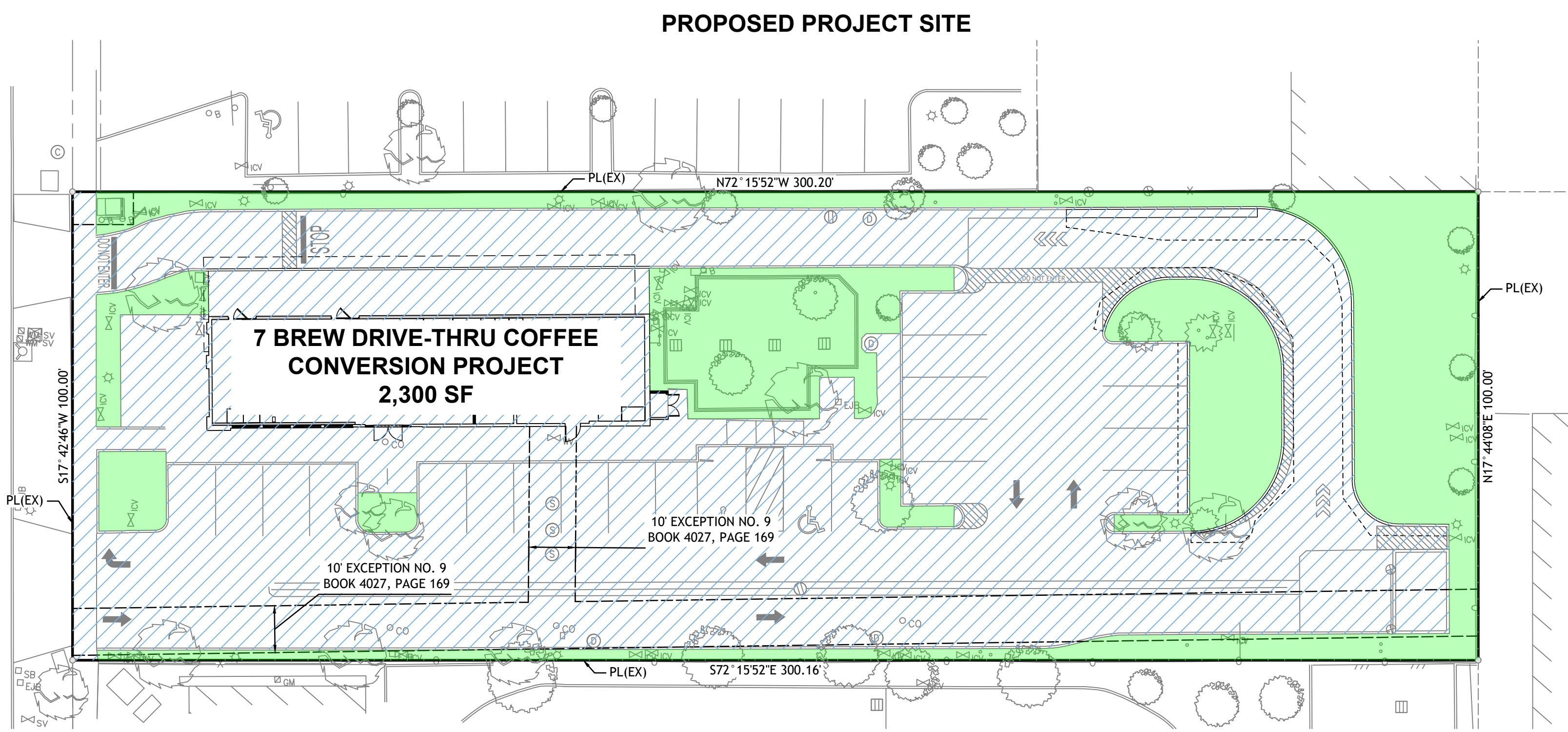
275 DOUG & LINDA 275 INC
2180 S. 1300 E., STE 240
SALT LAKE CITY, UT 84106

REV	DATE	COMMENT	BY

Drawn: LW
Reviewed: AEM
Sheet Date: 12/22/25
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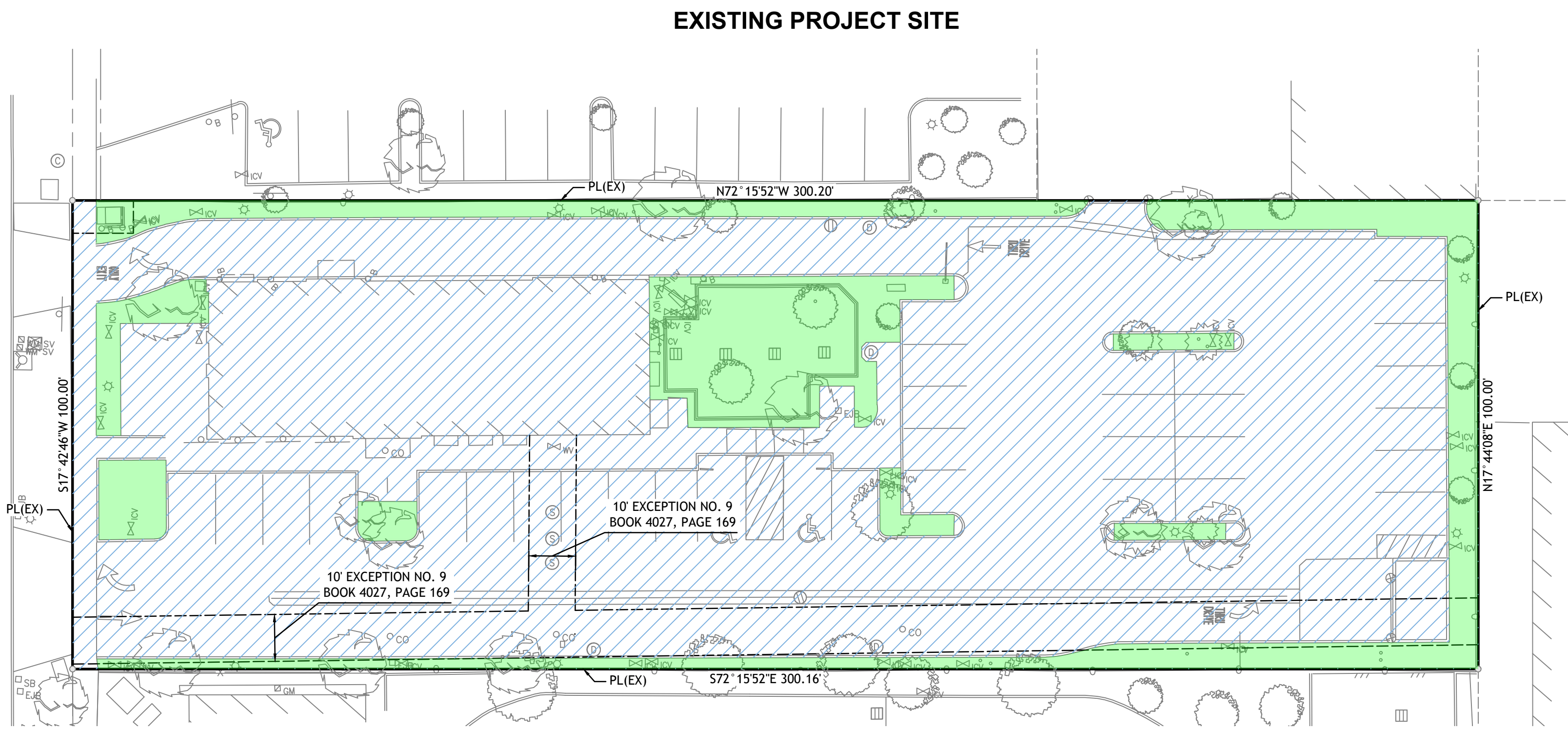
SURFACE AREA EXHIBIT

FIGURE 1



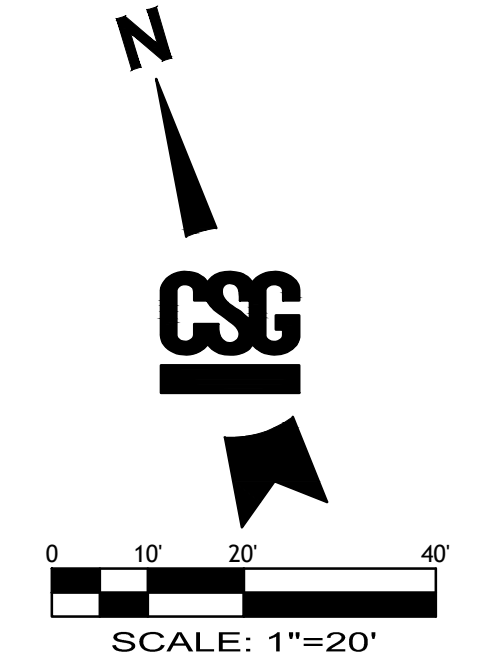
TOTAL PROPOSED AREA

POST CONSTRUCTION TOTAL IMPERVIOUS AREA	22,592 SF
POST CONSTRUCTION TOTAL PERVIOUS AREA	7,427 SF



TOTAL EXISTING AREA

EXISTING IMPERVIOUS AREA	24,827 SF
EXISTING PERVIOUS AREA	5,192 SF



LEGEND

BUILDING LINE	//////
EXISTING CURB TO REMAIN	=====
PROPOSED CURB	=====

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Amending the Categories of Eligible Projects and Revising the Procedures for Delegating Design Review Authority of Certain Types of Projects to the Zoning Administrator) Resolution No. 9918

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On August 26, 2003, the Planning Commission adopted Resolution No. 9444 in an effort to streamline the planning review process for certain projects that the Commission had determined to be routine in nature and have minimal visual impacts on the surrounding community. This resolution authorized various types of projects to be reviewed by the Zoning Administrator rather than the Planning Commission, including "Wireless Communication Antennas, Monopoles and Related Structures and Equipment."
- B. On August 14, 2012, in response to recent Commission concerns regarding the approval process for wireless telecommunication equipment, a study session was conducted with the Planning Commission to review proposed updates to the existing design review delegation procedures. At this study session, the consensus of a majority of Commissioners was to keep all staff proposed changes, with an added clarification on the recommended voting process (Section B) for calling up items to be reviewed by the Commission.
- C. Proposed changes to the existing staff delegated design review authority (as presented during the August 14, 2012, study session) generally include: 1) a modification to the text of category 2, "Wireless Communication Antennas, Monopoles and Related Structures and Equipment," intended to separate out construction of new wireless telecommunications facilities from requests for modifications to existing facilities, with the only latter retaining eligibility for delegated review by the Zoning Administrator; 2) a revision to Category 3 to clarify that it applies to all minor building remodels and not just 'storefront' remodels; 3) a consolidation of Category 7 (changes in building colors) into Category 3; 4) a clarification to Category 9 to confirm application within all districts, not just Industrial areas; and 5) a clarification within Section B clarifying that a Commissioner's request to rescind delegated authority for a specific application, otherwise eligible for Zoning Administrator review, must be supported by a majority of the Commissioners present.
- D. Pittsburgh Municipal Code (PMC) Section 18.10.020, *Powers and Duties of the Planning Commission*, grants primary design review authority to the Planning

Commission. In 2003 the Planning Commission delegated its review and approval authority of certain routine and non-controversial application types to the Zoning Administrator through the adoption of Resolution No. 9444. Changes or revisions to Resolution No. 9444 fall within the same category as the original delegation, which the Commission has authority to approve under PMC 18.10.020.

- E. PMC Section 18.10.030 identifies the City Planner as the Zoning Administrator, and in accordance with PMC Section 18.10.100, the City Planner will continue to give notice to the Planning Commission of intent to exercise any authority that the Commission previously granted, including the authority to review and approve staff delegated design review applications.
- F. Staff would continue to be responsible for reviewing delegated applications for compliance with the General Plan, City Codes and adopted Design Guidelines, and the Zoning Administrator would continue to be required to make findings for approval and identify evidence to support the required findings, consistent with PMC Section 18.36.220(B). Approved resolutions would continue to be signed by the Zoning Administrator and no separate staff reports would be prepared on these items.
- G. Copies of all Zoning Administrator approved resolutions would continue to be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- H. The proposed action delegating certain Planning Commission discretionary authority to the Zoning Administrator is not considered a project, as defined by the Public Resources Code section 21065, of the California Environmental Quality Act (CEQA).
- I. On September 25, 2012, the Planning Commission considered the proposed revisions to the staff delegated design review authority process as previously established by adoption of Resolution No. 9444.

Section 2. Decision

- A. The Planning Commission hereby delegates discretionary Design Review Authority to the Zoning Administrator, for the following types of applications, when categorically or statutorily exempt from the provisions of CEQA:
 - 1. Freestanding Signs. Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
 - 2. Wireless Communication Equipment. New or replacement antennas on existing poles and their related equipment.

3. Minor Building Remodels. Limited to changes in building colors, awnings, fenestration, and finishes.
 4. Changes to Existing Parking Lots.
 5. Changes to Existing Landscaping.
 6. Additions to Existing Buildings. Additions must be smaller than 2,500 sq. ft. and designed to complement existing building architecture.
 7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
 8. Ancillary Structures. Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in Industrial Districts.
- B. In compliance with PMC Section 18.10.100, staff shall prepare a list and brief description along with a copy of the project plans when applicable, of new pending applications for which the Zoning Administrator intends to exercise delegated design review authority, and submit it to the Commission at a Commission meeting prior to taking any action on the applications. Any member of the Planning Commission may then request at that time to have the matter scheduled for future consideration by the entire Commission. The Commission must approve the request as a group through a majority vote, prior to scheduling the item for future consideration.
- C. Staff shall continue to prepare resolutions of approval, when appropriate, describing the project, project location, applications being filed, required findings to approve the project and identifying evidence to support the required findings. Resolutions shall be signed by the Zoning Administrator and continue to have conditions of project approval, where applicable.
- D. To keep the Commission informed about what applications are processed under this proposal, copies of all Zoning Administrator approved resolutions shall be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- E. If the Zoning Administrator does not believe he/she can make the required design review findings to approve a project, and the applicant is unwilling or unable to make the changes requested, the application shall automatically be referred to the Commission for action on the design review application.

Section 3. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner Wirick, seconded by Commissioner Gargalikis, the foregoing resolution was passed and adopted the 25th day of September, 2012, by the Planning Commission of the City of Pittsburg, California by the following vote:

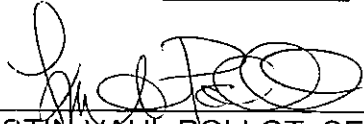
AYES: Fardella, Fogleman, Gargalikis, Kelley, Ohlson, Wirick

NAYES:

ABSTAIN:

ABSENT: Diokno

I hereby certify that the above Resolution No. 9918 was adopted by the Planning Commission of the City of Pittsburg on September 25, 2012.



KRISTIN VAHL POLLOT, SECRETARY
PITTSBURG PLANNING COMMISSION