



**CITY OF PITTSBURG
PLANNING COMMISSION MEETING AGENDA**

JULY 14, 2020

**CITY HALL COUNCIL CHAMBER
65 CIVIC AVENUE, PITTSBURG, CA**

PUBLIC ADVISORY:

THE CITY COUNCIL CHAMBER WILL NOT BE OPEN TO THE PUBLIC

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Planning Commission for July 14, 2020 will be conducted telephonically through Zoom and broadcast live through Granicus on the City's website which can be located on the [Streaming Media](#) page. If you do not have internet access, the meeting will also be available to the public in a listening-only mode via telephone call-in line. To listen to the meeting, dial 1 (669) 900-6833. When prompted, dial in the Webinar ID, 847 6297 8371 and Password, 086252.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chamber will not be open for the meeting. Planning Commissioners will be participating telephonically and will not be physically present in the Council Chamber.

Comments can be submitted via email to meetingcomments@ci.pittsburg.ca.us. If you wish to have your comments read to the Planning Commissioners during the appropriate Public Comment period, please indicate in the Subject Line "FOR PUBLIC COMMENT" and list the item number you wish to comment on. If your comment is for a non-agenda item, indicate "FOR PUBLIC COMMENT – NON-AGENDA." Comments that you want to read to the Commission will be subject to the three-minute time limitation (approximately 350 words). In the event the Commission receives a high-volume response, read-in comments may be subject to a shortened time limitation of two minutes (approximately 250 words). Written comments that are only to be provided to the Planning Commission and not read at the meeting will be distributed to the Commissioners prior to the meeting if received by 5:00 p.m. the date of the meeting. Comments via text and social media (Facebook, Twitter, etc.) will not be accepted. Just as in a live meeting inside the Council Chamber, only one comment per agenda item per person is allowed. If you comment more than once on a particular topic, only the first email will be read aloud.

The City of Pittsburgh thanks you in advance for taking all precautions to prevent spreading the COVID 19 virus.



City of Pittsburg Planning Commission Agenda

July 14, 2020

**City Hall Council Chamber
65 Civic Avenue, Pittsburg, CA 94565**

**Regular Meeting
7:00 P.M.**

Planning Commission Members

**Sarah Foster, Chair
Christopher Moreno, Vice-Chair
Dr. Trinh Nguyen, Commissioner
Wolfgang Croskey, Commissioner
James Coniglio, Commissioner
Punita Bhasin, Commissioner
Elissa Robinson, Commissioner**

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

DELETIONS, WITHDRAWALS OR CONTINUANCES

COMMENTS FROM THE AUDIENCE

CONSENT

1. **Minutes**
Minutes of June 23, 2020

PUBLIC HEARINGS

2. **Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)**
This is a continued public hearing on a request for use permit, design review and variance approval of plans to demolish an approximately 968 square foot carwash and construct a new approximately 3,200 square foot carwash building within the rear yard setback, at 1190 East Leland Road in the CC (Community Commercial) District. Assessor's Parcel No. 088-230-024.

ZONING ADMINISTRATOR REPORTS

3. **Submittal of Adopted Zoning Administrator Resolutions**
The Zoning Administrator submits one resolution previously approved under the delegated authority (Planning Commission Resolution No. 9918).

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

NOTICE TO PUBLIC

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Commission meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at 925-252-4850. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

GENERAL INFORMATION

Copies of the open session agenda packets that are distributed to the Planning Commission are on file in the office of the Planning Department, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning no fewer than 72 hours in advance of the meeting, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except city holidays). Additionally, if any reports or documents that are public records are distributed to the Planning Commission fewer than 72 hours before the meeting, those reports and documents will also be available for public inspection in the city's Planning Department and at the Commission meeting. The Pittsburg Library is also provided a full agenda packet for your convenience. As a courtesy, the agenda is also located on the city's website at www.ci.pittsburg.ca.us.

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG PLANNING COMMISSION**

June 23, 2020

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Planning Commission for June 23, 2020 was conducted telephonically through Zoom with broadcasting live through Granicus on the City's website. Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chamber was not open for the meeting. Council Members participated telephonically or through Zoom and were not physically present in the Council Chamber.

Chair Foster called the meeting of the Pittsburg Planning Commission to order at 7:00 p.m. on Tuesday, June 23, 2020, in the Council Chamber at City Hall, 65 Civic Avenue, Pittsburg, California via Zoom teleconference.

ROLL CALL

Present: Chair Foster, Commissioners Croskey, Coniglio, Bhasin

Absent: Vice-Chair Moreno, Commissioners Nguyen, Robinson

Staff: Community Development Director Jill Hecht, City Engineer Richard Abono, Planning Manager/ Secretary Kristin Pollot, Senior Planner Hector Rojas, Deputy City Clerk Amanda McVey, Administrative Coordinator Shelby Rose

PLEDGE OF ALLEGIANCE

Commissioner Coniglio led the Pledge of Allegiance.

DELETIONS / WITHDRAWALS / CONTINUANCES

1. Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA), was continued to July 14, 2020.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

CONSENT

2. Minutes of June 9, 2020

On motion by Commissioner Croskey and seconded by Commissioner Bhasin to approve the Minutes of June 9, 2020 and carried by the following vote:

AYES: Bhasin, Coniglio, Croskey, Foster
NAYES: None
ABSTAIN: None
ABSENT: Moreno, Nguyen, Robinson

COMMISSION CONSIDERATION

3. Century Plaza Shopping Center Pad #7 Sign Program, AP-20-1515 (SR)

A public hearing on a request for approval of a master sign program for Century Plaza Shopping Center Pad #7 located at 4701 Century Boulevard in the CC (Community Commercial) District. Assessor's Parcel No. 074-460-013.

Senior Planner Rojas gave a presentation on the item.

Applicant Bob Garrison spoke on behalf of his application.

There being no one to speak further to the item, Chair Foster closed the public hearing.

On motion by Commissioner Croskey and seconded by Commissioner Coniglio to approve and carried by the following vote:

AYES: Bhasin, Coniglio, Croskey, Foster
NAYES: None
ABSTAIN: None
ABSENT: Moreno, Nguyen, Robinson

ZONING ADMINISTRATOR REPORTS

4. The Zoning Administrator submits one notice of intent to exercise delegated design review authority and submittal of adopted zoning administrator resolution. The zoning Administrator submits one notice of intent to exercise delegated design review authority for review of new model homes for the San Marco Unit 13 (Village E) development which will be located immediately south of the existing Positano neighborhood, on the west side of Santa Teresa Drive. The Zoning Administrator also submits one resolution previously approved under the delegated authority.

The Commissioners acknowledged receipt.

STAFF COMMUNICATIONS

Planning Manager / Secretary Pollot suggested the Commission convene to next regular meeting of July 14, 2020.

COMMITTEE REPORTS / COMMISSIONER COMMENTS

There were no reports / comments from the commissioners.

ADJOURNMENT

The meeting was adjourned at 7:12 p.m. to July 14, 2020.

Respectfully Submitted,

Kristin Pollot, AICP, Secretary

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
July 14, 2020**

ITEM: Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA).

ORIGINATED BY: Jeanette Verdugo on behalf of AGC Design Concept, 28524 Constellation Road, Valencia, CA. 91355.

SUBJECT: This is a continued public hearing on a request for use permit, design review and variance approval of plans to demolish an approximately 968 square foot carwash and construct a new approximately 3,200 square foot carwash building within the rear yard setback, at 1190 East Leland Road in the CC (Community Commercial) District. Assessor's Parcel No. 088-230-024.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 10153, approving Planning Application No. 19-1473, subject to conditions.

BACKGROUND:

On April 9, 2002, the Planning Commission adopted Resolution Nos. 9311, 9312 & 9313, approving a minor subdivision, use permit and design review (respectively) to construct a convenience store, fuel pump island, canopy, car wash, and signage at the project site for "Arco Service Station". The service station was subsequently constructed in 2002 and has been continuously operating since that time.

A public hearing was originally scheduled for this project to occur on June 23, 2020; however, upon request from the applicant, the hearing was continued to July 14, 2020.

PROJECT DESCRIPTION:

Existing Conditions: The Arco Service Station is located on a 1.84-acre site on the southwest corner of E. Leland Road and Loveridge Road.

To the north, northeast, and west of the property, across E. Leland Road and Loveridge Road, lie various commercial uses such as restaurants, retail, and another service station. Immediately west of the site is a vacant parcel with DaVita Dialysis on the other side. Beyond DaVita Dialysis and to the south of the subject site are apartment homes (Mosaic Apartments and Portofino Apartments).

The existing 6,590 square foot canopy structure above the fueling stations is situated on the northern half of the parcel, closest to E. Leland Road. The canopy is comprised of sand colored columns that match the building and a white cover with a blue acrylic band across the perimeter and includes the Arco logo. There are 16 fueling pumps located under the canopy. Approximately 60 feet south of the canopy is the existing 3,700

square-foot Arco AM/PM convenience store, which is the main building on site. The store is a stucco box design with square tower features at the northwest and northeast corners, emphasizing the north elevation fronting East Leland Road. It is approximately 90 feet long and 40 feet wide. The towers are approximately 20 feet tall, topped with a sand colored cornice. A curved awning band with embedded lights lies above the store windows. The building also features sand colored stone tiles along its wainscot. Trellis features are mounted on the east elevation facing Loveridge Road.

The existing 968 square foot car wash on site is approximately 44 feet long by 22 feet wide and is located at the southwest corner of the site. The structure matches the main building with its stucco finish and wainscot. The current entrance to the car wash is located at the southeast side of the site. There is currently significant queuing space for cars to enter the carwash drive aisle, travel behind the main convenience store building, proceed through the carwash, and then exit to the north, facing East Leland Road.

Immediately north of the existing car wash (located 22 feet from the western property line), there is an approximate 250 square foot covered trash enclosure, which is proposed remain in its current location. The enclosure's doors and roof cover have been painted to match the main building and the walls of the enclosure are constructed of similar stone elements. Just north of the trash enclosure are two angled parking stalls, which would be reconfigured in conjunction with the proposed project.

The existing convenience store sells food, beer, wine, tobacco, and general merchandise. The convenience store and gasoline fueling area currently operate 24 hours a day seven (7) days a week and has 5 employees. The existing car wash operates from 6:00 a.m. to 12:00 a.m. (midnight).

See Attachment 3 for an aerial image of the site, the surrounding land uses, and site photos.

Proposed Project: The applicant is proposing to demolish the existing 968 square foot carwash and construct a new 3,200 square foot carwash building in order to provide updated equipment and to operate more efficiently.

Use Permit: As stated above, a use permit was previously issued (Planning Commission Resolution No. 9313) for the existing service station and the car wash, which is accessory to the main use. No changes in the operations of the service station and convenience store are proposed in conjunction with this application; however, the new car wash facility would be significantly larger than what currently exists on site and would now include six self-service vacuuming stations located upon exit of the car wash building (in approximately the same location as where the existing structure is currently located). Queuing space for the car wash would also be reduced from what currently exists on site; however, the new design would still accommodate queuing for at least five cars on site. Lastly, according to a noise analysis that was prepared for the new proposed car wash equipment, noise generating from the use is expected to dissipate down to 54 decibels within 20-feet of the car wash entrance, and 38 decibels within 30-

feet of the entrance; both measurements being well within the acceptable range (65 decibels as identified in the General Plan) for residential uses. Further, the closest occupied structure on the neighboring parcel is over 100 feet away from the car wash entrance, and the shared open spaces are located even further away on the southern side of the residential structures, so there would be no new noise impacts for residential neighbors to the south.

Design Review: The proposed structure would be approximately 120 feet long by approximately 30 feet wide. Architecture for the new car wash building has been designed to match the existing structure on site. The proposed building includes a stucco finish and would be painted a similar light beige color to match the color scheme of the adjacent convenience store. Additionally, the proposed structure would include a similar cornice around the rooftop as the main building. A blue aluminum composite material, consistent with the business' branding, would be located near the top of the structure adding visual interest with a pop of color. As mentioned above, the circulation of cars into and out of the car wash structure would flow in the same manner as the current car wash circulation flows, with cars entering at the southeast corner of the site, and exiting on the opposite, western end.

Variance: The proposed structure would be located 5 feet from the rear property line. The neighboring property to the south is located in an RH (High Density Residential) District. Pursuant to Pittsburg Municipal Code (PMC) table 18.52.115, the minimum rear yard in the CC District is zero, unless adjacent to an R district, in which it goes up to 10 feet.

See Attachment 2, Project Plans, for more details.

GENERAL PLAN/CODE COMPLIANCE:

General Plan: The project site is in the 'East Leland Subarea' of the General Plan and has a land use designation of 'Community Commercial'. This designation is intended to provide sites for retail shopping areas, including service stations and automobile uses. The project is consistent with the General Plan, and more specifically the project would be compatible with surrounding land uses as there are similar services stations in the vicinity of the project and the existing service and fueling station and reconstructed car wash would be patronized by the surrounding residents (2-P-7), further it would be consistent with the economic development objectives which support business attraction and encourage commercial development (6-G-4).

Zoning: The project site is zoned CC (Community Commercial) District. The existing main use at the site is the Arco AM/PM convenience store and fueling station, which falls under the classification of 'Service Station' as defined by PMC section 18.08.028(g). A service station requires a use permit in the CC District. As stated above, a use permit was originally approved by Planning Commission 2002, through adoption of Resolution No. 9313. The associated car wash would typically be classified as Automobile Washing if a standalone project, which is not a permitted use in the CC

District. However, ancillary uses and nonresidential accessory structures are permitted in conjunction with a permissible main use on the site. The proposed car wash would be an ancillary use to the service station and as such would be permissible with a use permit.

As shown in Attachment 4 of this report, the project complies with all of the CC District development regulations other than the rear yard setback, for which a variance is requested.

Development Review Design Guidelines (DRDGs): The City's DRDGs provide a framework for the design review of residential, commercial, and industrial projects. As shown in Attachment 5 of this report, the proposed project complies, or conditionally complies, with all of the DRDGs, specifically those that call for: 1) new structures finished in materials and colors to match existing structures on site; 2) the parking area to be screened from view from public right-of-way; and 3) design choices to incorporate or prepare for electric vehicle charging.

Design Review Findings: In accordance with PMC section 18.36.220(B), design review approval may be granted if the Planning Commission can make a determination that the proposed project is consistent with the following standards:

- A. The structure conforms with good taste, good design and in general contributes to the character and image of the City as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality.
- B. The structure will be protected against exterior and interior noise, vibrations and other factors that may tend to make the environment less desirable.
- C. The exterior design and appearance of the structure is not of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value.
- D. The structure is in harmony with proposed developments on land in the general area.
- E. The application conforms with the criteria set forth in any applicable City adopted Design Guidelines.

Use Permit Findings: In accordance with PMC section 18.16.040, a use permit may be granted only if the Planning Commission can make findings that the proposed use:

- 1. is in accord with the objective of the Zoning Ordinance, the purposes of the land use district in which it is located and is appropriate to the specific location;
- 2. is not detrimental to the health, safety, and general welfare of the City;

3. will not adversely affect the orderly development of property within the City;
4. will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the City;
5. is consistent with the objectives, policies, general land uses and programs specified in the general plan and applicable specific plan;
6. will not create a nuisance or enforcement problem within the neighborhood;
7. will not encourage marginal development within the neighborhood;
8. will not create a demand for public services within the City beyond that of the ability of the City to meet in light of taxation and spending restraints imposed by law;
9. is consistent with the City's approved funding priorities; and,
10. if located within the Pedestrian Commercial (CP) District, will support the goals of creating a vibrant, economically prosperous, visually interesting, and engaging pedestrian oriented atmosphere along the primary downtown corridor.

Variance Findings: In accordance with PMC section 18.16.050, a variance may only be granted when:

- A. because of special circumstances concerning the subject property including size, shape, topography, location or surroundings, the strict application of the zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district;
- B. the variance will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district;
- C. the variance substantially complies with the intent and purpose of the land use district to which the property is classified; and
- D. in the case of a variance from open space regulations, the grant of a variance is consistent with Government Code Section 65911 and will not conflict with general plan policies governing orderly growth and development and the preservation and conservation of open space lands.

Environmental: This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, 'New Construction or Conversion of Small Structures' of the state CEQA Guidelines, section 15303(c). This section exempts commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous

substances, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The car wash building that would be constructed is 3,200 square feet.

Public Notice: On or prior to June 13, 2020, notice of the June 23, 2020, public hearing was posted at City Hall, near the proposed project site, and on the 'Public Notices' section of the city's website; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the proposed project site, to local service agencies expected to provide services to the building, and to individuals who had previously filed written request for such notice, in accordance with Pittsburgh Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com ("Nextdoor") and was sent directly to all subscribed residents in the "Mosaic Apartment" Nextdoor neighborhood.

On June 23, 2020, the Planning Commission, upon request from the applicant, continued the public hearing to July 14, 2020.

ANALYSIS:

Use Permit: Staff believes that the Commission can make the required findings to grant the use permit, if hours of operation for the new car wash are limited to only allow operation between the hours of 6:00 a.m. and 12:00 a.m. (midnight).

With the proposed limitation in car wash operating hours, the use would not be detrimental to the health, safety, and general welfare of the City. Limiting the hours of operation of the car wash would further ensure no new nuisance is created by noise levels from the operating equipment at unreasonable hours. Approval of the use as conditioned would allow the applicant to resume regular business activities in a more efficient fashion while utilizing updated equipment that is generally quieter than the existing facility and more water efficient. Completion of the project in compliance with the proposed project plans would not only facilitate orderly development of the neighborhood, but would also discourage marginal development in the area in that the project plans include a well-designed and architecturally articulated structure with a complementing site design that allows for easy traffic flow through the site.

Design Review: Staff believes that the Planning Commission can make the required findings to approve the design review request, with the inclusion of several conditions of approval, as detailed below:

1. Shrubs should be installed around the existing transformer box.
2. Stone tile wainscoting should be installed along the perimeter of the structure, consistent with the main structure on site.
3. The roof of the new structure should be pre-wired to create a solar ready surface.
4. The applicant should install secure bike racks near the main business entrance that can accommodate up to six bicycles.

5. Wrought iron fencing should be installed at either end of the new car wash structure, to block pedestrian access within the 5-foot strip of landscaping between the car wash structure and the existing masonry wall to the south.
6. Full cut-off exterior wall lighting should be included every (approximate) 10-feet on the southern elevation of the car wash building to ensure no dark spaces are created between the new structure and the existing masonry wall located along the southern property line.
7. Full cut-off exterior wall lighting should be included every (approximate) 10-feet between the existing convenience store building and the new car wash structure, to ensure no dark spaces are created within the walkway between the two structures.

The proposed new structure has been well designed and is compatible with the existing structure on site, in that it will have a similar color scheme and architectural features such as the building cornices. The recommend condition for stone wainscoting along the perimeter of the new structure would add additional articulation to the building and break up an otherwise plain stucco wall. The blue aluminum composite material to be located near the top of the structure would add visual interest to the structure with a pop of color that would also tie the structure in with all other structures on site and with the business' branding colors. Adding shrubbery around the existing transformer box would bring the project into compliance with the Development Review Design Guidelines and provide additional screening utility equipment that is currently highly visible from Loveridge Road.

Setback Variance: As mentioned above, there is typically no rear setback for sites located in the CC District; however, sites with the rear adjacent to an R District require a 10-foot rear setback. Due to the location of the residential district to the rear of the site it creates a special circumstance from other projects in a CC District. The proposed structure has to maintain a certain length and width to house the updated equipment and the proposed location within the rear setback was chosen to allow for the size of the building while increasing the amount of on-site parking spaces on site to meet the minimum requirements outlined in the PMC (see Attachment 4 for more details). Permitting the structure within the rear setback would allow for the site to be utilized more efficiently and would not grant a special privilege. Rather, it would merely provide the ability of the property owner to use the property similarly to other property owners in the district.

Further, the variance would comply with the intent and purpose of the land use district to which the property is classified in that there exists a 8-foot-tall masonry wall acting as a barrier between the two zoning districts, and although the structure is proposed at 5 feet from the property line of a residential zoning district, the structure would maintain over 100-feet of distance from the nearest residential structure.

ACTION REQUIRED:

Move to adopt Resolution No. 10153 approving Use Permit, Design Review, and

Planning Commission Staff Report
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA).
July 14, 2020

Variance Application No. 19-1473, subject to conditions.

ATTACHMENTS:

1. Proposed Resolution No. 10153
2. Project Plans
3. Map of Surrounding Uses and Site Photos
4. Property Development Regulations Table
5. Development Review Design Guidelines Table
6. Applicable General Plan Goals and Policies
7. Existing Approved Use Permit (Planning Commission Resolution No. 9313)
8. Public Hearing Notice

Prepared by: Celina F. Palmer, Assistant Planner

Resolution Granting Use Permit, Design)
Review and Variance to Construct a)
3,200 Square-Foot Car Wash Building)
within the Rear Yard Setback at 1190) Resolution No. 10153
East Leland Road, for “Arco Station Car)
Wash Relocation, AP-19-1473 (UP, DR,)
VA).”)

- A. On October 25, 2019, Jeanette Verdugo filed Use Permit, Design Review, and Variance Application No. 19-1473, requesting Planning Commission approval of plans to demolish an approximately 968 square foot carwash and construct a new 3,200 square foot carwash building within the rear yard setback at 1190 East Leland Road in the CC (Community Commercial) District. Assessor's Parcel No. 088-230-024.
- B. On April 9, 2002, the Planning Commission adopted Resolution Nos. 9311, 9312, and 9313, approving a minor subdivision, use permit, and design review (respectively) to construct a convenience store, fuel pump island, canopy, car wash, and signage at the project site for "Arco Service Station".
- C. The proposed project is governed by the Pittsburg General Plan, Pittsburg Municipal Code (PMC) Title 18 (Zoning), and the City of Pittsburg Development Review Design Guidelines (DRDG; Planning Commission Resolution No. 9864).
- D. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 3, 'New Construction or Conversion of Small Structures' of the state CEQA Guidelines, section 15303(c). This section exempts commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The car wash building that would be constructed is 3,200 square feet.
- E. On or prior to June 13, 2020, notice of the June 23, 2020, public hearing was posted at City Hall, near the proposed project site, and on the 'Public Notices' section of the city's website; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the proposed project

site, to local service agencies expected to provide services to the building, and to individuals who had previously filed written request for such notice, in accordance with Pittsburgh Municipal Code (PMC) section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com ("Nextdoor") and was sent directly to all subscribed residents in the "Mosaic Apartment" Nextdoor neighborhood.

- F. On June 23, 2020, prior to opening the public hearing, the Planning Commission continued the public hearing to July 14, 2020.
- G. On July 14, 2020, the Planning Commission held a public hearing on Planning Application No. 19-1473, at which time oral and/or written testimony was considered.

Section 2. Findings

- A. Based on the Planning Commission Staff Report entitled, "Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)," and based on all the information contained in the Planning Division files on the project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburgh, and based on all written and oral testimony presented at the meeting, the Planning Commission finds that:

- 1. All recitals above are true and correct and are incorporated herein by reference

Design Review

- 2. The proposed project will:
 - a) conform with good taste, good design and in general will contribute to the character and image of the City as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality, in that the proposed structure is of professional quality design, compatible with the existing structures on site, while meeting the requirements set forth in the PMC;
 - b) be protected against exterior and interior noise, vibrations and other factors that may tend to make the environment less desirable, in that the new car wash equipment will be fully enclosed within the new structure. Further, according to a noise analysis that was prepared for the new proposed car wash equipment, noise generating from the use is expected to dissipate down to 54 decibels within 20-feet of the car wash entrance, and 38 decibels within 30-feet of the entrance; both measurements being well within the acceptable range (65 decibels as identified in the General Plan) for nearby residential uses which are located approximately 100 feet away;
 - c) not be of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value; rather, it will improve the

appearance of the property and neighborhood by removing a faded and dilapidated structure and replacing it with a new structure with a refreshed appearance;

- d) be in harmony with proposed developments on land in the general area, in that there are no pending proposed developments in proximity to the site; and
- e) conform to the criteria set forth in the City's Development Review Design Guidelines (DRDGs), if conditions of approval are adopted requiring the project to: a) install shrubs around the existing transformer box; b) install stone wainscoting along the perimeter of the structure for added articulation; c) hide or camouflage any roof gutters and downspouts; and d) provide bicycle parking to accommodate up to six bicycles on site.

Conditional Use Permit

3. The proposed car wash will:

- a) be in accordance with the objectives of the Zoning Ordinance, the purpose of the land use district in which it is located and is appropriate to the specific location, in that the use was conditionally permitted under Planning Commission Resolution No. 9313, and the proposed modifications for the car wash facility will comply with all applicable CC (Community Commercial) District development regulations (with the exception of the rear yard setback) and will continue to complement the existing service station while providing increased amenities for patrons;
- b) not be detrimental to the health, safety, and general welfare of the City, in that it will be required to meet health and safety requirements of the Pittsburg Community Development Department and the Contra Costa County Fire Protection District, and if a condition of approval is adopted to limit the operation of the car wash between the hours of 6:00 a.m. and 12:00 a.m. (midnight);
- c) will not adversely affect the orderly development of property within the City, in that it will be located near similar commercial uses along Leland Road and Loveridge Road;
- d) not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the City, in that it will reflect continued investment in the neighborhood and have a positive impact on the City tax base;
- e) will be consistent with site's 'Community Commercial' General Plan land use designation in that this designation is intended to provide sites for retail shopping areas, including service stations and automobile uses;

- f) will not create a nuisance or enforcement problem within the neighborhood, in that the use will be required to meet performance standards, as set forth by PMC chapter 18.82, which are intended to address ongoing safety, noise, odor, and maintenance concerns;
- g) will not encourage marginal development within the neighborhood, in that the new development will improve the appearance of the property and neighborhood, by removing a faded and dilapidated structure and replacing it with a new structure with a refreshed appearance;
- h) will not create a demand for public services within the City beyond that of the ability of the City to meet in light of taxation and spending restraints imposed by law, in that it is located in an area of the City served by existing utilities; and
- i) will not be inconsistent with the City's approved funding priorities, in that that there is no public money involved in this project.

Variance

- 4. A variance to allow the new car wash structure to encroach 5-feet into the required rear yard setback:
 - a) is appropriate because of special circumstances concerning the subject property including size, shape, topography, location of surroundings, the strict application of zoning regulations deprives the property of privileges enjoyed by other properties in the vicinity and in the same land use district, in that the residential zone to the rear of the property creates a special circumstance;
 - b) will not constitute a grant of special privilege which is not generally available to other property in the vicinity and in the same land use district and merely provides the ability of the property owner to use the property similarly to other property owners in the district; and
 - c) will substantially comply with the intent and purpose of the land use district to which the property is classified, in that the commercial structure would be located over 100 feet away from the nearest residential structure and there exists an 8-foot tall masonry wall acting as a barrier between the two zoning districts.
- B. The staff report entitled, "Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)," dated July 14, 2020, is referenced hereto as additional support for the findings.

Section 3. Decision

Based on the findings set forth above, the Planning Commission hereby approves Planning Application No. 19-1473, subject to the following conditions listed below.

1. **Conformity with Project Plans:** The car wash building shall be constructed in substantial conformity with the project plans date-stamped April 14, 2020, except as may be hereinafter modified. Any major changes to the project plans or color board shall be subject to review and approval by the Planning Commission at the City Planner's discretion.
2. **Conformity with Approved Use Permit.** The existing service station and convenience store located on site shall conform to all conditions contained in Planning Commission Resolution No. 9313, unless modified by the conditions below. If there is a conflict between the conditions contained in Resolution 9313, and the conditions of this resolution, the conditions of this resolution shall prevail.
3. **Modifications to Project Design:** The following modifications shall be made to the design of the project, subject to final review and approval by the City Planner:
 - a. Gutters and downspouts shall be painted to match the adjacent building color.
 - b. Applicant shall install shrubs around the existing transformer located at the southeast corner of the building (detail #29 in the project plans), consistent with Appendix #1 of the City's Development Review Design Guidelines. The final location and plant type shall be subject to review and approval by the Planning Division.
 - c. The applicant shall install stone tiles along the buildings wainscot subject to review and approval by the Planning Division.
 - d. The car wash building's roof shall be pre-wired to create a solar-ready surface, consistent with Guideline IV.D.1 of the City of Pittsburgh Development Review Design Guidelines (Planning Commission Resolution No. 9864). Wiring details shall be included on the construction drawings and shall be subject to review and approval by the Community Development Department prior to issuance of a building permit.
 - e. Fixed bicycle parking shall be installed for at least six (6) bicycles in a location on-site near the convenience store entrance and providing convenient access and natural surveillance. Final design and location for bicycle parking shall be subject to review and approval by the Planning Division prior to the issuance of a building permit.
 - f. Wrought iron fencing shall be installed at either end of the new car wash structure in order to block pedestrian access within the 5-foot strip of landscaping between the car wash structure and the existing masonry wall to the south. Final

design and location of fencing shall be subject to review and approval by the Planning Division prior to the issuance of a building permit.

- g. Full cut-off exterior wall lighting shall be included every (approximate) 10-feet on the southern elevation of the car wash building to ensure no dark spaces are created between the new structure and the existing masonry wall located along the southern property line. Final design and location of lighting shall be subject to review and approval by the Planning Division prior to the issuance of a building permit.
 - h. Full cut-off exterior wall lighting shall be included every (approximate) 10-feet between the existing convenience store building and the new car wash structure, to ensure no dark spaces are created within the walkway between the two structures. Final design and location of lighting shall be subject to review and approval by the Planning Division prior to the issuance of a building permit.
- 4. Reclaimed Water. The applicant shall utilize reclaimed water as is feasible and practical for use on site.
 - 5. Hours of Operation: Hours of operation of the car wash shall be limited to allow operation from 6:00 a.m. to 12:00 a.m. (midnight), seven days per week. The convenience store and fueling station may remain open 24 hours.
 - 6. Property Maintenance: Each exterior of a building or other structure shall be kept in a good state of repair and the exterior finish shall be kept clean and well maintained. The entire site including paved, unpaved, and landscaped areas shall be kept in a neat and orderly manner, free of weeds, loose trash, debris, and other litter (PMC section 18.82.050).

Engineering Conditions – Fees

- 7. Grading Plan Review fees. The applicant shall provide an initial payment for review of the grading plans with the first submittal. These fees are based on the engineer's estimated costs for grading, which shall be submitted with the plans. The grading plan check fee is 2.5% of the cost for grading, or it may be based upon cubic yards of earth disturbance as set forth in the City's Master Fee Schedule. Fifty percent (50%) of these total fees are to be paid with the initial submittal of plans and engineer's cost estimate. These initial payments will be credited towards the final fees as determined at engineering permit. The remainder of the fees shall be due payable prior to issuance of an engineering permit.
- 8. Grading Inspection fees. The applicant shall pay the grading inspection fee(s) to the Engineering Division prior to the issuance of a grading permit. The current grading inspection fee is 3% of the engineer's estimated cost of grading. The grading inspection fee may also be based upon an approved engineer's estimate of total cubic yards, according to the current schedule of grading fee charges as set forth in the City's Master Fee Schedule.

9. Facility Reserve Charge. Prior to the issuance of a building permit, the applicant shall pay the City of Pittsburgh Facilities Reserve Charge (PMC Chapters 13.08, 13.12 and 13.24) (the "FRC") to the Engineering Division for water and sewer service in the amounts in effect at the time of building permit issuance. The applicant understands that the current FRC on file, effective August 20, 2005, shall be paid in accordance with the fee schedule approved by Resolution No. 05-10290, and amended by Resolution No. 12-11778, on February 21, 2012, a copy of which is available at the City.
10. Supplemental Studies. If additional engineering studies are deemed necessary by the City Engineer, i.e. geotechnical, structural, hydraulic, etc., or expedited reviews are requested by the applicant, the applicant shall pay for all costs related to the extra work. The costs shall be paid at the time of first plan check submittal, and they may include all costs associated with the preparation of special studies, additional staff time, and/or reviews of the special studies if studies are prepared by the applicant's engineer.

Engineering Conditions – Submittals

11. Grading Plans. The applicant shall submit five (5) copies of the engineering plans to the Engineering Division for review and approval. The plans shall be prepared by a registered civil engineer, to include but not be limited to the following:
 - a. A Site Plan
 - b. A Grading and Drainage Plan
 - c. A Utilities Plan
 - d. A Landscaping and Irrigation Plan
 - e. An Erosion and Sedimentation Control Plan
 - f. Offsite Improvements due to Project Impacts
12. Geotechnical Report. If applicable, the applicant shall submit a current geotechnical report that supports the design features incorporated into this project including, but not limited to, grading activities, compaction requirements, utility construction, slopes, retaining walls, and roadway sections. The geotechnical report shall be submitted to the Engineering Division for review prior to the approval of any civil plans and/or the issuance of a site development permit.

Engineering Conditions – National Pollutant Discharge Elimination System (NPDES)

13. Stormwater Pollutants. The applicant shall incorporate long-term best management practices (BMP's) for the reduction or elimination of storm water pollutants. The project design shall incorporate wherever feasible, the following long term BMPs to limit pollutant generation, discharge, and runoff. Such source control design measures may include:
 - a. Incorporating landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices;

- b. Providing covered trash, food waste, and compactor enclosures;
- c. Using pavers for walkways and other appropriate hardscape surfaces to minimize impervious areas;
- d. Minimizing the amount of directly connected impervious surface area;
- e. Marking all storm drains with “No Dumping, Drains to Delta” messages;
- f. Constructing concrete driveway weakened plane joints at angles to assist in directing run-off to landscaped/pervious areas prior to entering the street curb and gutter;
- g. Plumbing of the following discharges to the sanitary sewer, subject to Delta Diablo’s authority and standards:
 - Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurant.
 - Dumpster drips from covered trash and food compactor enclosures.
 - Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option.

Standard Conditions

- 14. Grounds for Revocation: Operation in a manner inconsistent with that described in the staff report, violation of a zoning regulation or condition of this resolution, existence of a public nuisance, or conviction of a federal or state law or city ordinance in connection with the operation of the use shall be grounds for revocation of the use permit (PMC section 18.28.100).
- 15. Standard Conditions of Development: The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 shall apply as conditions of approval for this project as applicable. Where there is a conflict between the Standard Conditions of Development and the project-specific conditions identified in this resolution, the specific conditions of this resolution shall govern.
- 16. Other Agency Requirements: The applicant shall comply with all the requirements of the City’s Community Development Department, Contra Costa County Fire Protection District, and all other applicable local, state and federal agencies. It is the responsibility of the applicant to contact each local, state, or federal agency for requirements that may pertain to this project.
- 17. Indemnification: The business operator agrees to indemnify, defend, and hold harmless the City, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the

parties cannot reach agreement, City may select its own legal counsel at operator's sole cost and expense. The food processing facility operator may select its own legal counsel to represent the operator's interests at the operator's sole cost and expense. The operator shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

18. Expiration of Approval: Use permit and design review approval for the car wash shall expire on July 14, 2022, unless the use has been legally established prior to the expiration date, or a written request for an extension is filed with the Planning Division prior to the expiration date and subsequently approved by the Planning Commission.

Section 4. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner _____, seconded by Commissioner _____, the foregoing resolution was passed and adopted the 14th day of July 2020, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES:

NAYES:

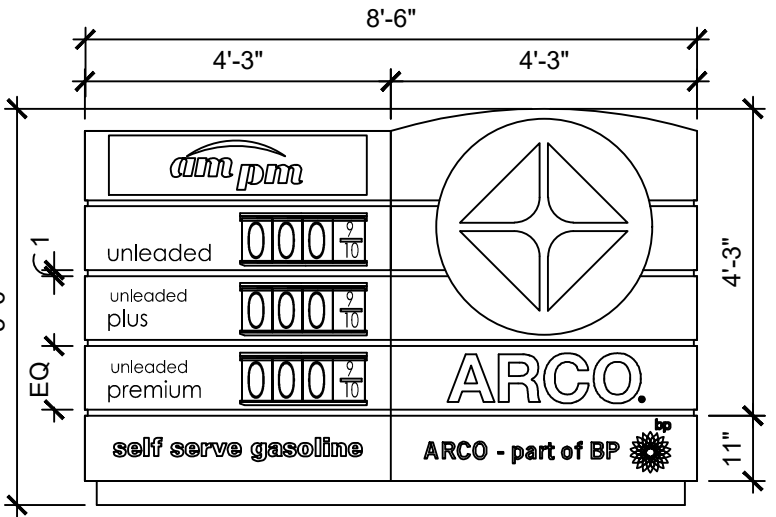
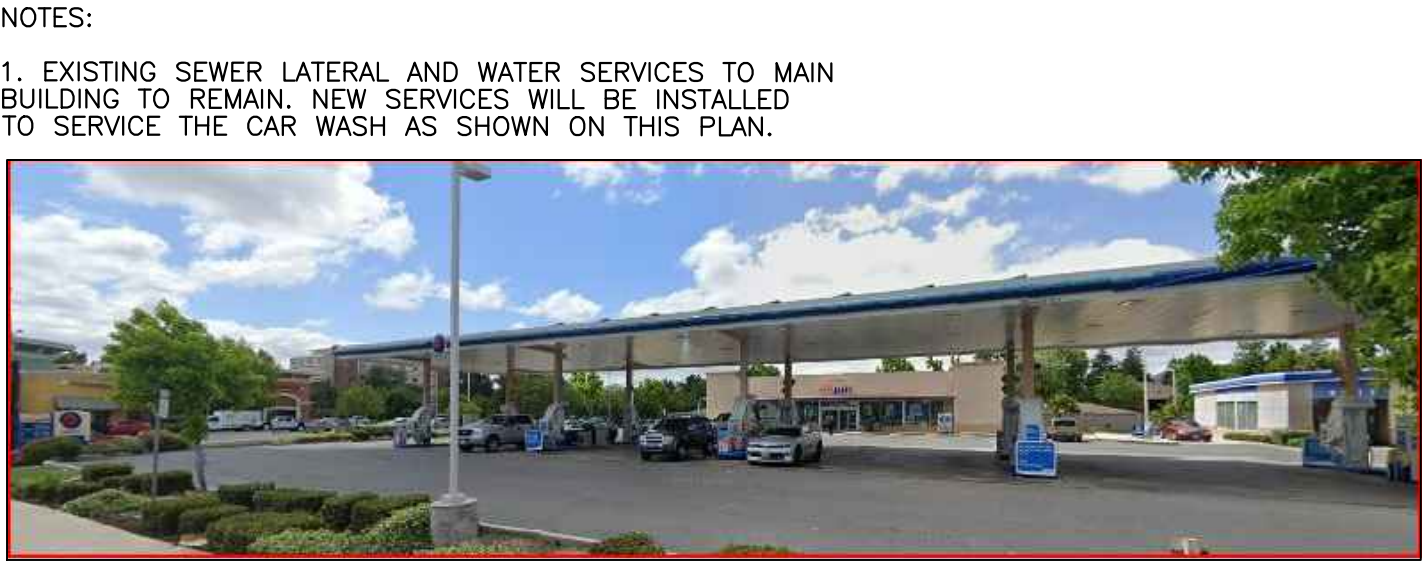
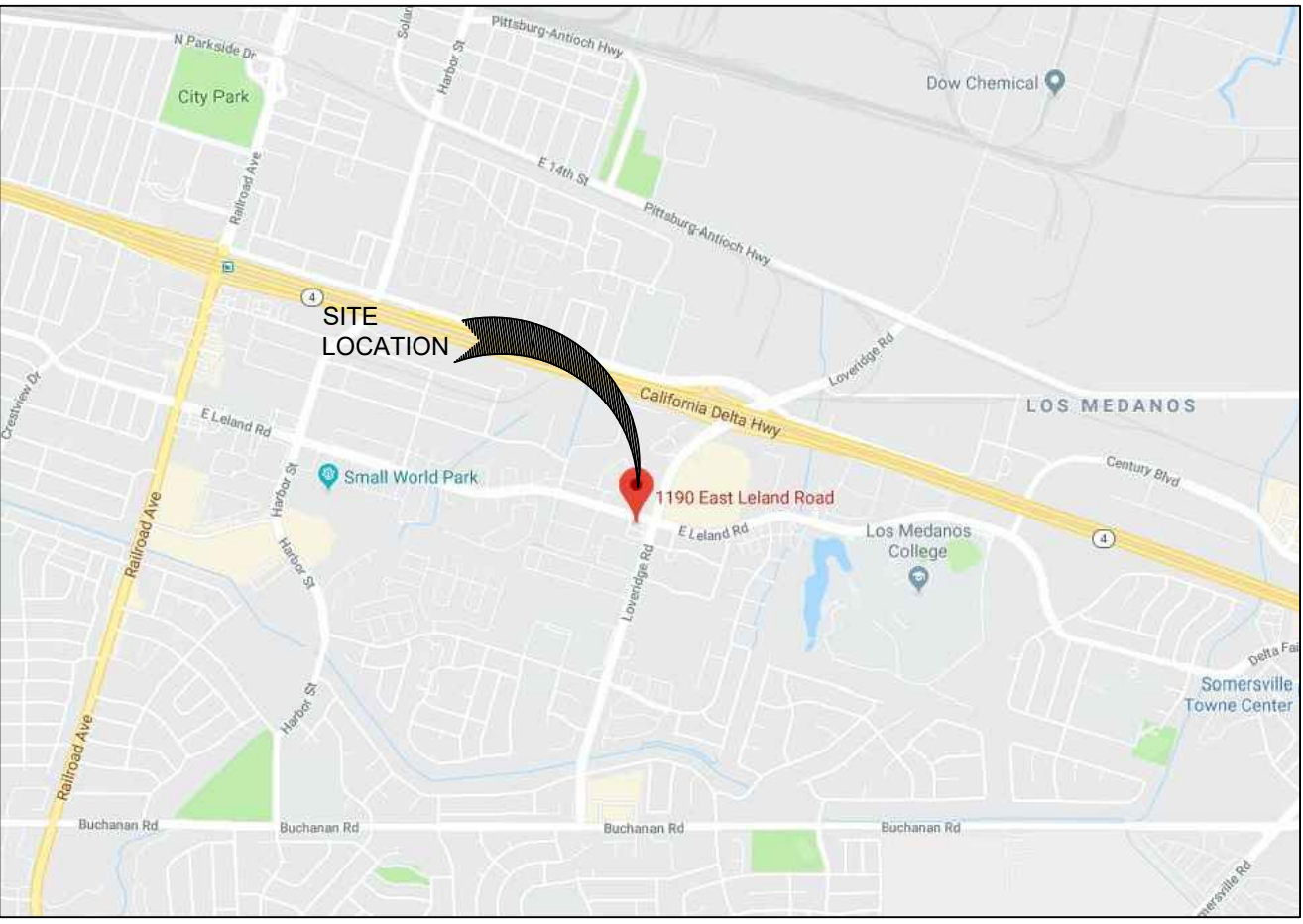
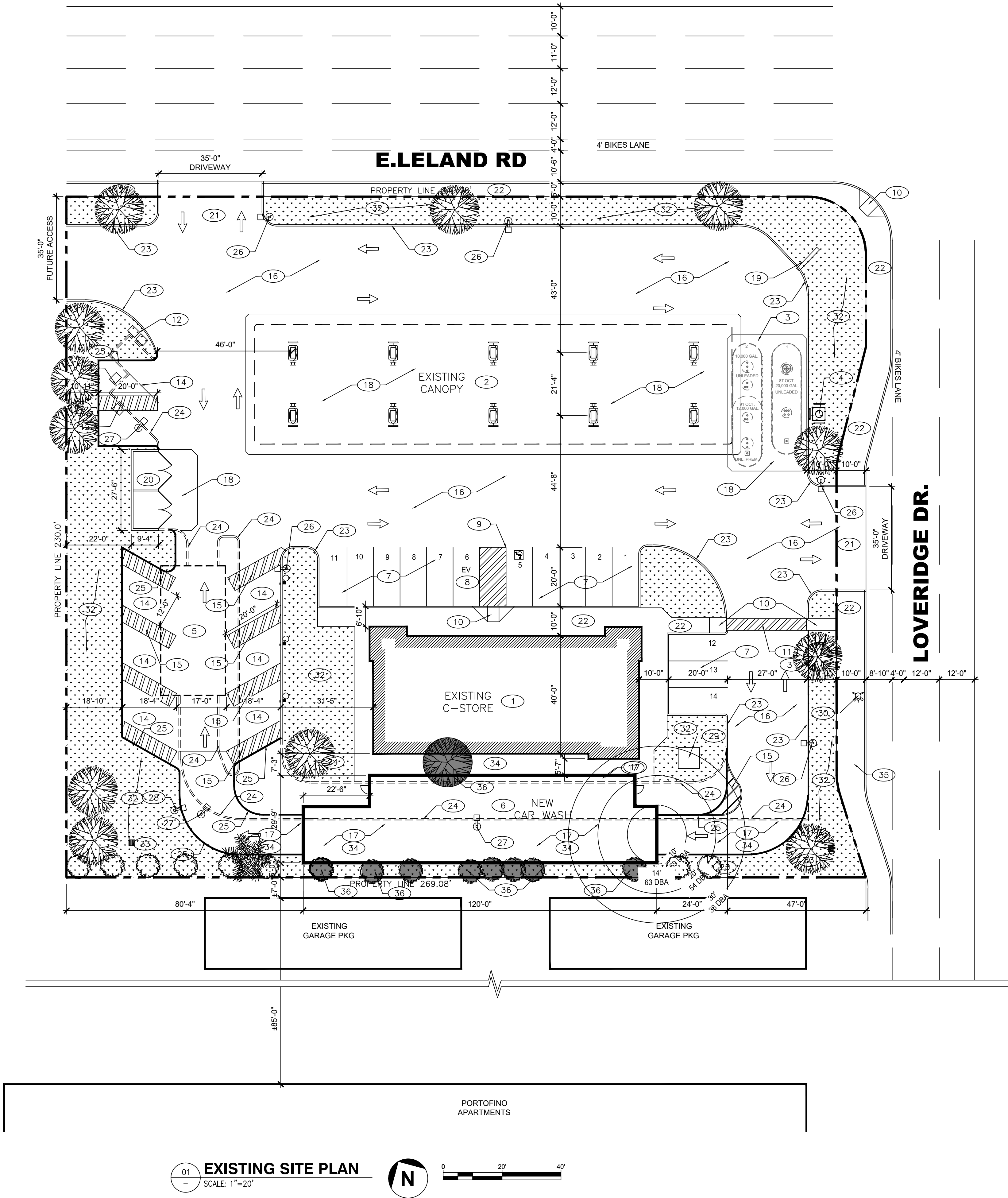
ABSTAIN:

ABSENT:

I hereby certify that the above Resolution No. 10153 was adopted by the Planning Commission of the City of Pittsburg on July 14, 2020.

KRISTIN POLLOT, AICP, SECRETARY
PITTSBURG PLANNING COMMISSION

EMPTY LAND

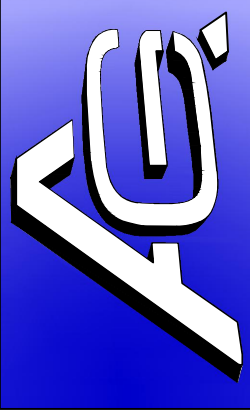


SITE	SITE INFORMATION					
	GROSS AREA		62,050.98 S.F.			
	DEDICATIONS, EASEMENTS, RIGHT OF WAY					
	NET SITE AREA		62,050.98 S.F. 1.48 ac			
	ZONING		ZONE			
	EXISTING		-			
	PROPOSED		-			
LANDS.	ASSESSORS PARCEL NUMBER (PARCEL 1)		088-230-024			
	DESCRIPTION		PERCENT	AREA		
	LANDSCAPE REQUIRED		TBD	-		
	LANDSCAPING PROVIDED ON-SITE		22.5 %	13,804		
STRUCTURES	DESCRIPTION		HEIGHT	OCCUPANCY	CONS. TYPE	AREA
	(E) ARCO AM/PM		1-STORY	M	V-B	3,700 S.F.
	(E) CAR WASH		1-STORY	B	V-B	880 S.F.
	NEW CAR WASH		1-STORY	B	V-B	3,243 S.F.
	(E) CANOPY		1-STORY	S-3	II-B	6,590 S.F.
	TOTAL BUILDING AREA:					13,533 S.F.
	LOT COVERAGE : BUILDING AREA 13,533 SQ. FT. NET SITE AREA 61,174 SQ. FT. = (22%)					
PARKING	DESCRIPTION (REQUIRED PARKING)		RATIO		REQD. #	
	SERVICE STATION		4+1 /500 SQ. FT.		4+7=11	
	CARWASH		4+1 /500 SQ. FT.		4+6=10	
	TOTAL PARKING SPACES REQUIRED: 21 SPACE(S)					
	DESCRIPTION (PROVIDED PARKING)		SIZE		PROVIDED	
	EXISTING STANDARD (VEHICLE)		9'-0"x20'-0"		12	
	NEW EV CHARGING STATION		9'-0"x20'-0"		1	
EXISTING HANDICAP SPACE(S)		17'-0"x20'-0"		1		
NEW VACUUM AREA		12'-0"x20'-0"		8		
TOTAL PARKING SPACES PROVIDED: 22 - SPACE(S)						

- KEY PLAN
- 1 EXISTING C-STORE ±3,700 S.F. / 19'-0" HEIGHT TO REMAIN.
 - 2 EXISTING CANOPY 10 MPD ±6,590 S.F. / 18'-0" HEIGHT TO REMAIN
 - 3 EXISTING UNDERGROUND TANK TO REMAIN
 - 4 EXISTING HEALY TANK TO REMAIN
 - 5 EXISTING CAR WASH ±960 S.F. / 13'-7" HEIGHT WILL BE REMOVED
 - 6 NEW CAR WASH 3,243 S.F. / 15'-0" HEIGHT, SEE SHEET CUP-2
 - 7 EXISTING PARKING STANDARD 19'x20'
 - 8 NEW EV PARKING 19'x20'
 - 9 EXISTING ACCESSIBLE PARKING
 - 10 EXISTING ACCESSIBLE RAMPS
 - 11 EXISTING PATH OF TRAVEL
 - 12 EXISTING VACUUM AREA TO BE CONVERTED
 - 13 EXISTING AIR AND WATER WILL BE REMOVED
 - 14 NEW VACUUM AREA
 - 15 NEW STRIPPING LINE
 - 16 EXISTING ASPHALT
 - 17 NEW ASPHALT
 - 18 EXISTING CONCRETE
 - 19 EXISTING MONUMENT SIGN TO REMAIN. SEE DETAIL 4/CUP-1
 - 20 EXISTING TRASH ENCLOSURE
 - 21 EXISTING DRIVEWAY
 - 22 EXISTING SIDEWALK
 - 23 EXISTING CURB WILL REMAIN
 - 24 EXISTING CURB WILL BE REMOVED
 - 25 NEW CURB
 - 26 EXISTING YARD LIGHTS
 - 27 EXISTING YARD LIGHTS WILL BE RELOCATED
 - 28 NEW YARD LIGHTS
 - 29 EXISTING TRANSFORMER
 - 30 EXISTING FIRE HYDRANT
 - 31 EXISTING W.M.
 - 32 EXISTING LANDSCAPING
 - 33 EXISTING DRAINAGE GRATES
 - 34 EXISTING LANDSCAPING WILL BE REMOVED
 - 35 EXISTING BUS STOP
 - 36 EXISTING TREES AND SHRUBS TO BE REMOVED

- LEGEND:
- EXISTING CURB WILL REMAIN
 - EXISTING CURB WILL BE REMOVED
 - NEW CURB
 - EXISTING SHRUB TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING SHRUB TO REMAIN
 - EXISTING TREE TO BE REMAIN

AGC DESIGN CONCEPT, INC.



28524 Constellation Rd
Valencia, CA 91355
Phone: 661.295.1111

BY

REVISIONS

DATE

NO.

NEW CAR WASH

1190 E LELAND RD

PITTSBURG, CA.

SITE PLAN PROPOSED CAR WASH

consultant job#

master release date

project exe date

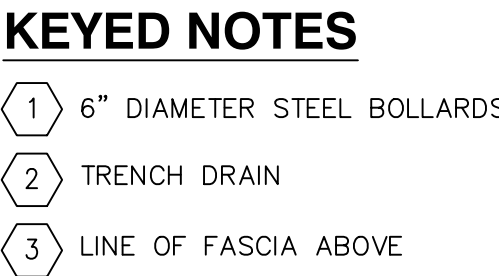
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Facility/Project

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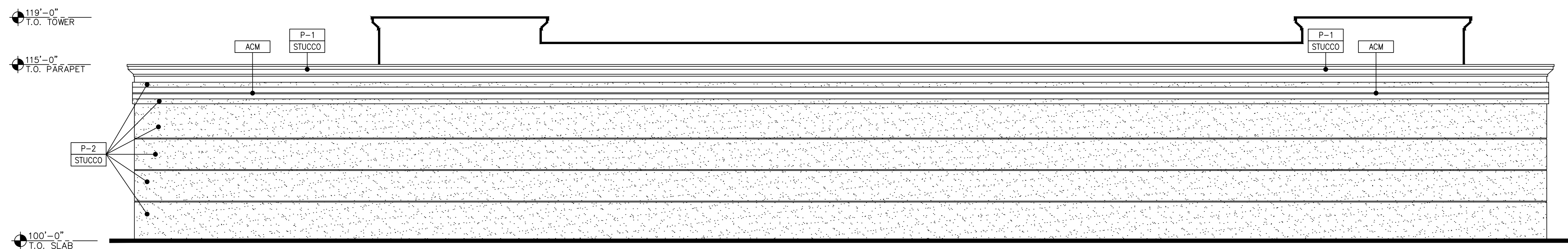
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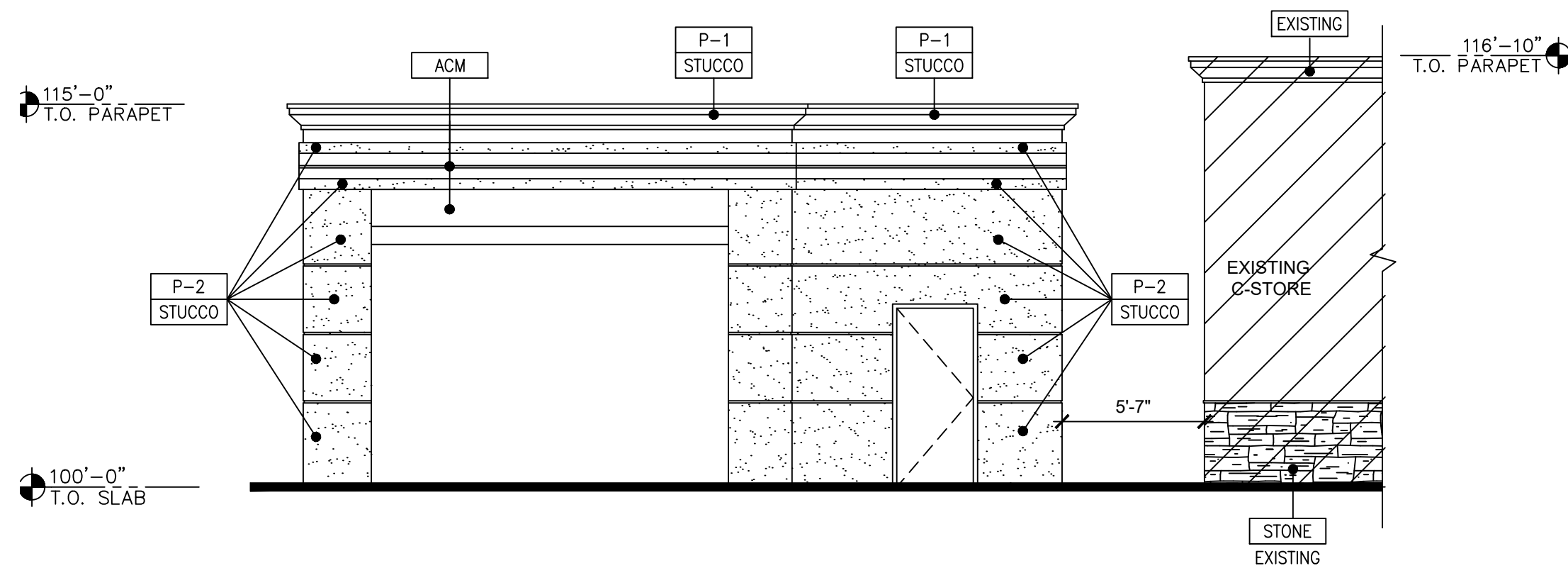
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NEW CAR WASH
1190 E LELAND RD
PITTSBURG, CA.
NEW CAR WASH FLOOR PLAN

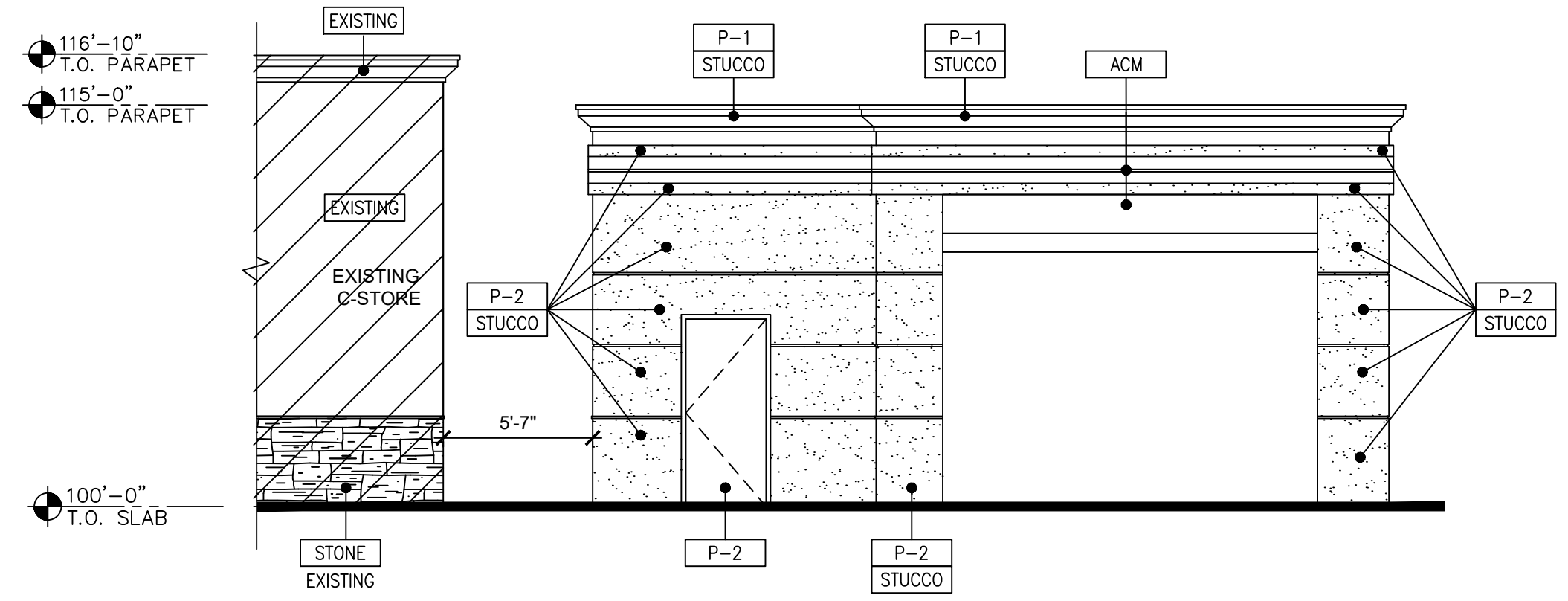
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facility/Project	
sheet name	
CUP-2	



01
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"



02
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"



03
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES

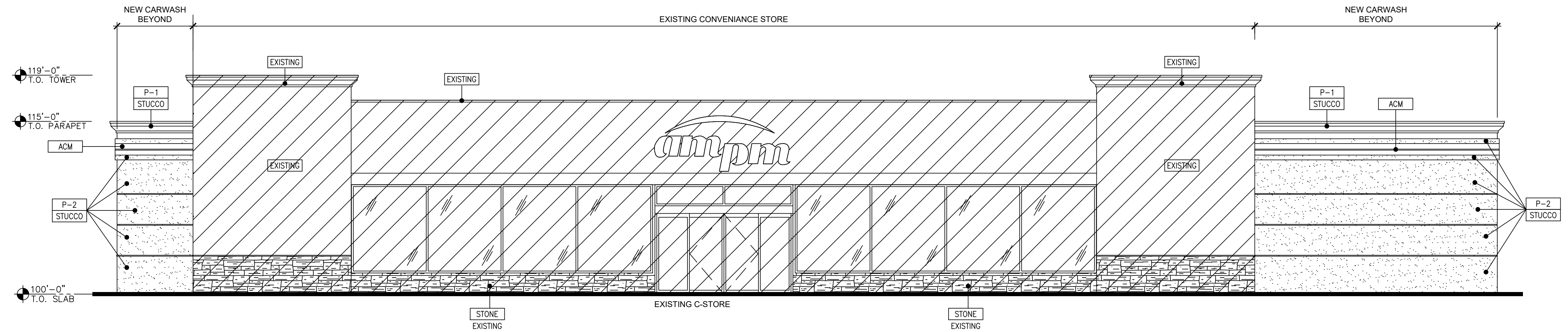
- 1 6" DIAMETER STEEL BOLLARDS
- 2 TRENCH DRAIN
- 3 LINE OF FASCIA ABOVE

COLOR LEGEND

- P-1 BENJAMIN MOORE, 2121-30, "PEWTER", HIGH GLOSS
- P-2 BENJAMIN MOORE, 1030, "BRANDY CREAM"

MATERIAL LEGEND

- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ACM ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 286

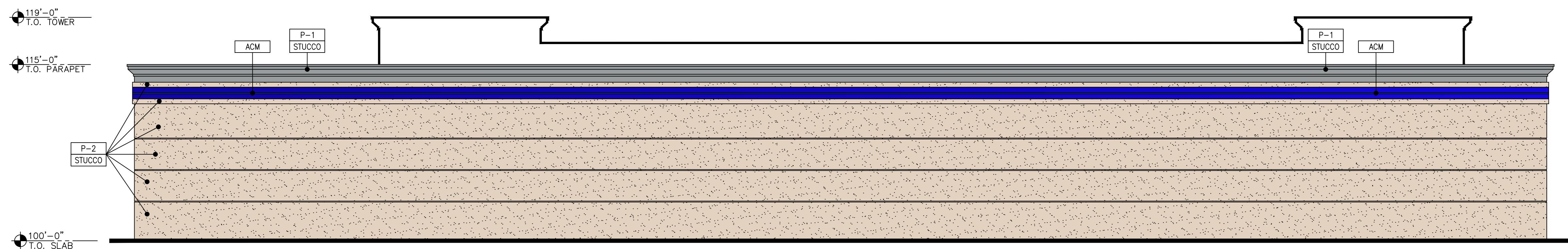


04
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"

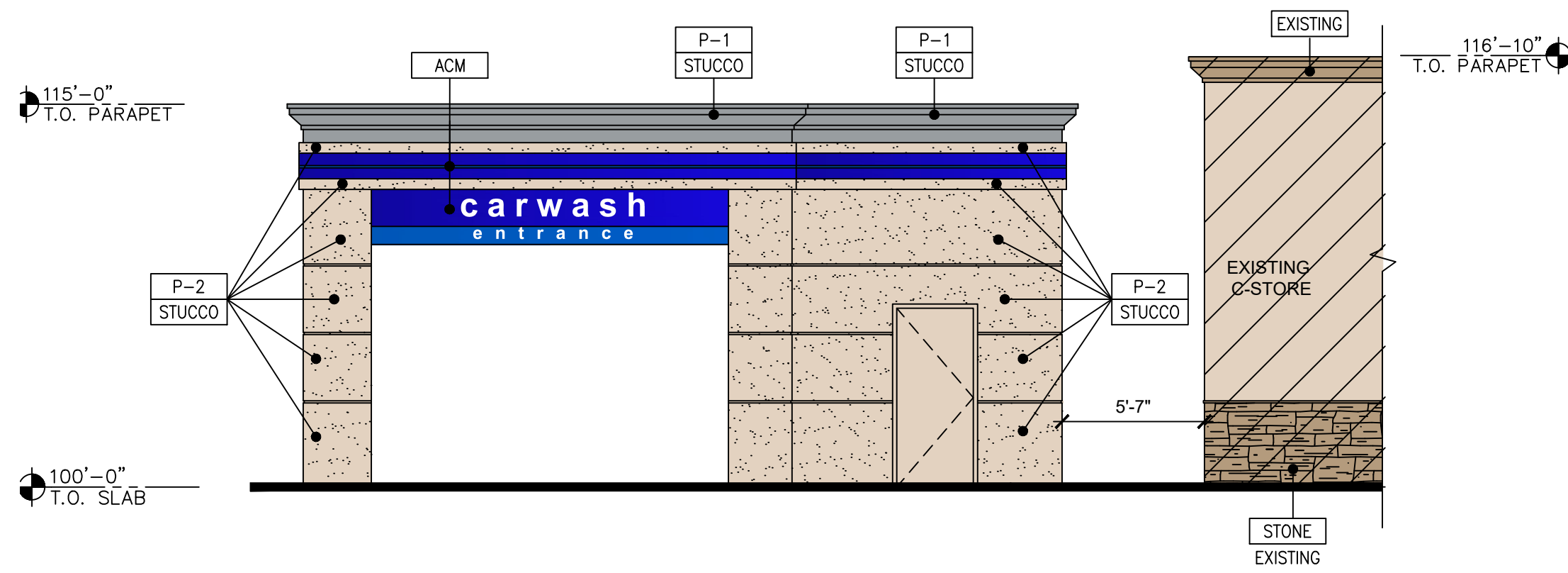
NO.	DATE	BY	REVISIONS

NEW CAR WASH
1190 E LELAND RD
PITTSBURG, CA.
NEW CAR WASH ELEVATIONS

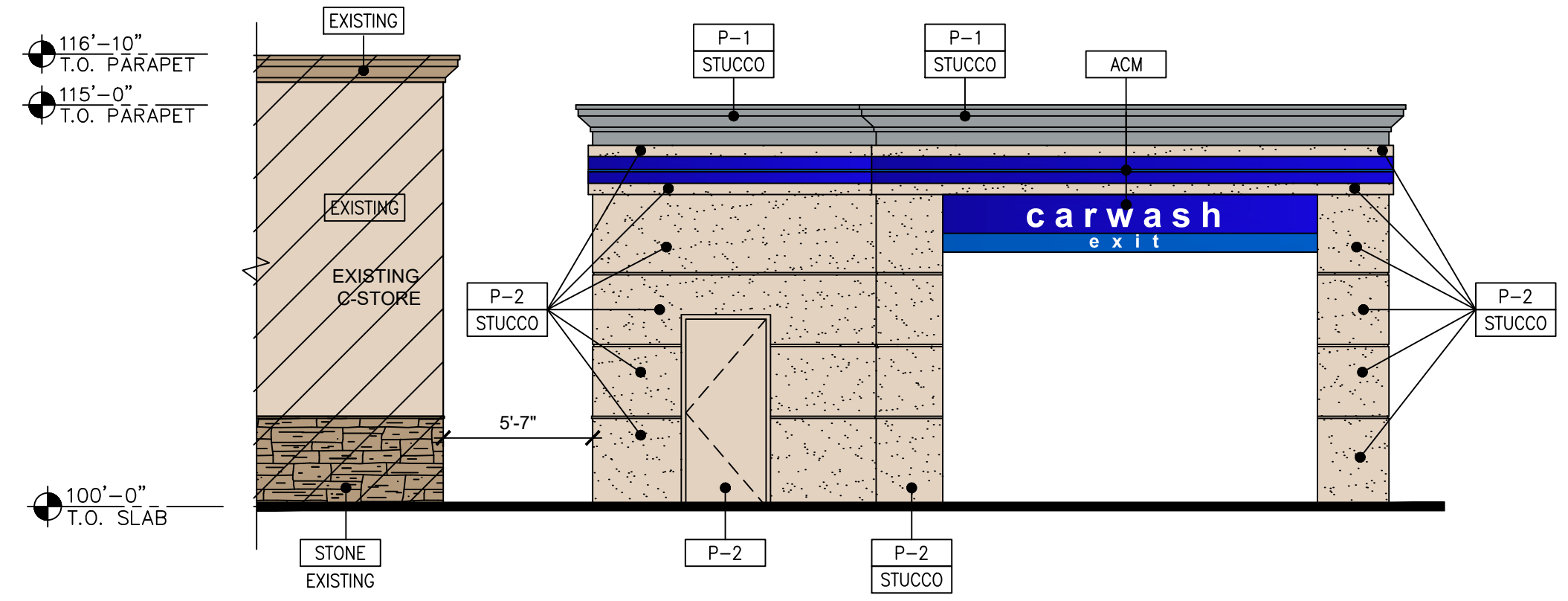
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sheet name	CUP-3



01
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"



02
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"



03
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES

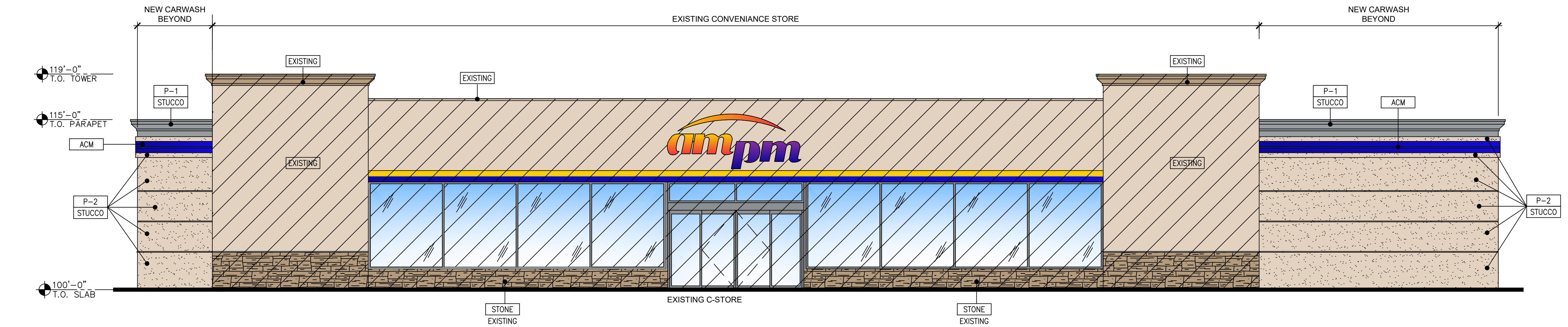
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- 2 TRENCH DRAIN
- 3 LINE OF FASCIA ABOVE

COLOR LEGEND

- P-1 BENJAMIN MOORE, 2121-30, "PEWTER", HIGH GLOSS
- P-2 BENJAMIN MOORE, 1030, "BRANDY CREAM"

MATERIAL LEGEND

- STUCCO 7/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ACM ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 286



04
—
CAR WASH ELEVATION
SCALE: 3/16"=1'-0"

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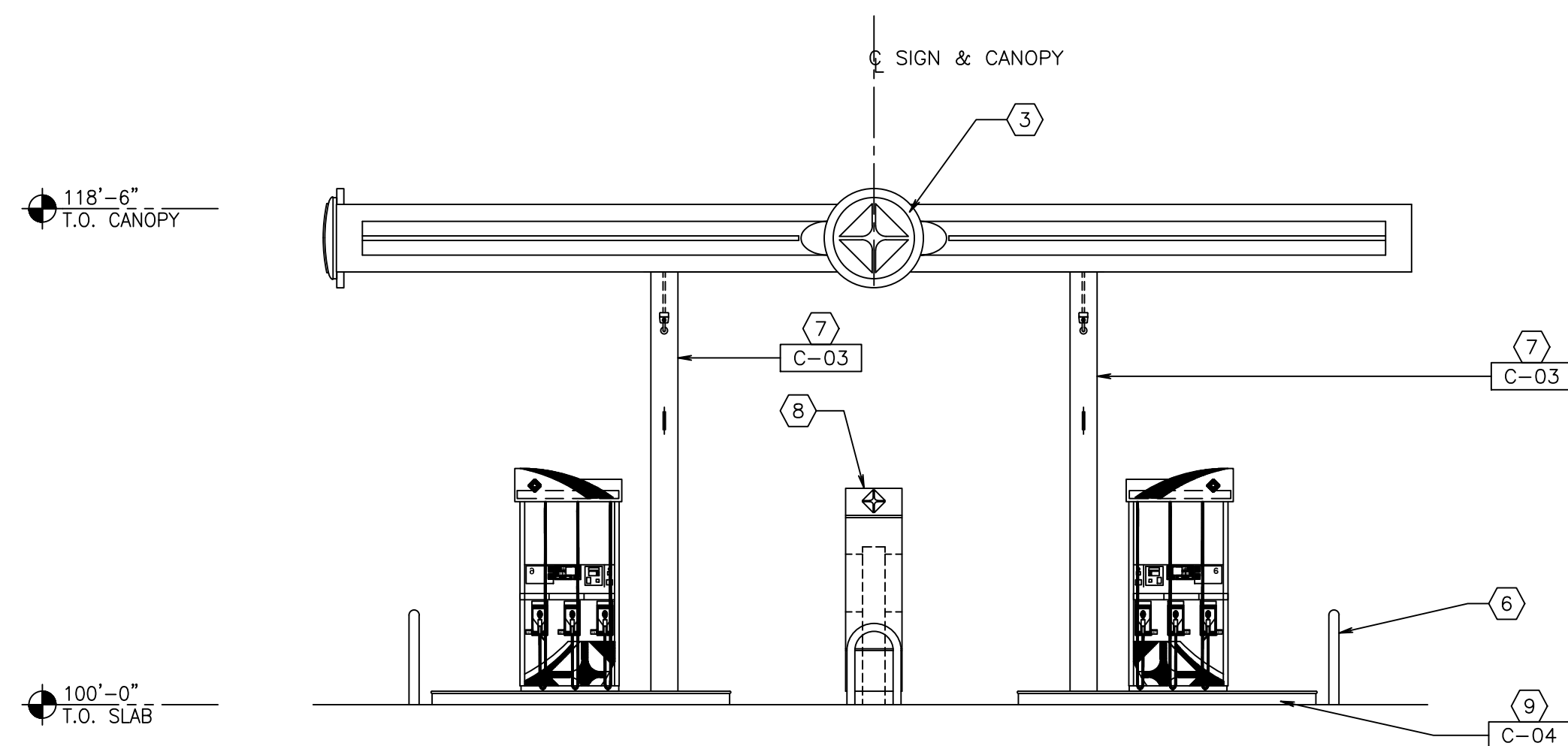
28524 Constellation Rd
Valencia, CA 91355
Phone: 867.295.1111

AGC

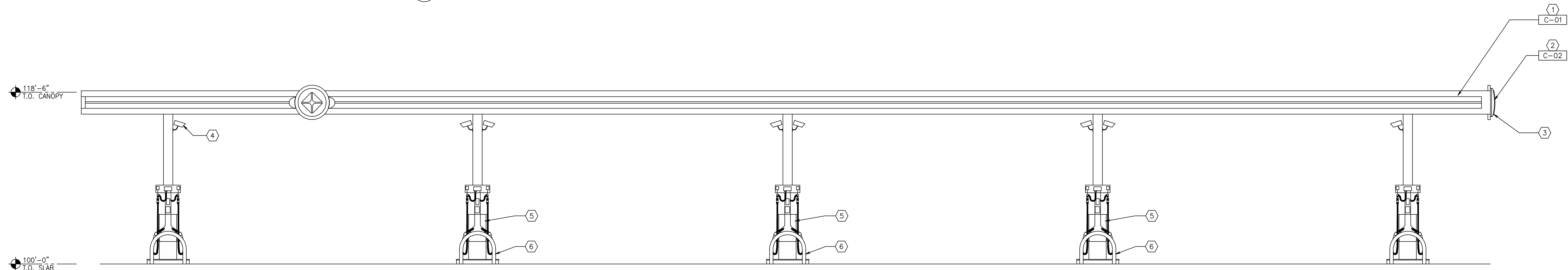
NO.	DATE	BY	REVISIONS

NEW CAR WASH
1190 E LELAND RD
PITTSBURG, CA.
NEW CAR WASH COLOR ELEVATIONS

consultant job#	
master release date	
project exe date	master drawn by
Filename AGC	
Facility/Project	
sheet name	
CUP-3.1	



01
-
EXISTING CANOPY SIDE ELEVATION
SCALE: 3/16"=1'-0"



02
-
EXISTING CANOPY FRONT ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES:

- 1 A.C.M. FASCIA
- 2 PLASTIC BULLNOSE
- 3 ILLUMINATED SPARK LOGO ON A.C.M. BACKING BEYOND. SEE SITE PLAN FOR EXACT LOCATIONS
- 4 CCTV CAMERAS. EXACT LOCATIONS TO BE DETERMINED BY SECURITY CONTRACTOR
- 5 DISPENSER (TYP.)
- 6 BUMPERS (TYP.)
- 7 COLUMNS
- 8 DOUBLE-SIDED P.I.C. WHERE OCCURS
- 9 ISLAND FORM

EXTERIOR PAINTS

- C-01 BACKING PREFINISHED "PEARLESCENT WHITE"
- C-02 "ARCO BLUE" w/ ILLUMINATED REVEAL "POWDER BLUE"
- C-03 PAINTED "PEARL WHITE"
- C-04 PAINTED BLACK (TYP.)

AGCDC.COM



AGC DESIGN CONCEPT, INC.

28524 Constellation Rd
Valencia, CA 91355
Phone: 867.295.1111

BY

REVISIONS

NO. DATE

NEW CAR WASH
1190 E LELAND RD
PITTSBURG, CA.
EXISTING CANOPY

consultant job#

master release date

project
exe date

master
drawn by

Filename AGC

Facility/Project

sheet name

CUP-4

Attachment 3
Map of Surrounding Uses and Site Photos
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)



Attachment 3
Map of Surrounding Uses and Site Photos
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)



Attachment 3
Map of Surrounding Uses and Site Photos
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)



Attachment 3
Map of Surrounding Uses and Site Photos
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)



Attachment 4
Property Development Regulations Table
 Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)

Development Regulations: <i>CC (Community Commercial) District</i>	Required:	Proposed:
Minimum lot area (ac.)	5,000 SF	Approximately 62,050 SF
Minimum lot width (ft)	50 ft	Approximately 220 ft
Max. Lot Coverage:	60%	22%
Minimum Yards:	-	-
Front:	15 ft.	43 ft.
Side:	-	22 ft.
Corner side:	10 ft.	67 ft.
Rear (adjacent to an R district):	10 ft.	5 ft.*
Maximum height of structures (ft):	60 ft	19 ft
Maximum FAR	0.5	0.09
Minimum site landscaping	7%	22.5%
Parking Required: Car Wash: 4+1/500 SF Service Station: 4+1/500 SF	Car Wash: 10 spaces Service Station: 11 spaces Total 21 spaces	22 spaces

*A proposed variance from this standard is part of this application.

Attachment 5
Development Review Design Guidelines
 Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)

Design Review Guideline	Meets Guideline?
IV.a: Parking areas should be screened from view from any public right-of-way (beaming or hedge-type plant material). Parking areas should be broken up (landscape islands, projections, etc.) to eliminate vast areas of parking especially along street frontages.	Consistent. There is an existing 10-foot landscaping along the property lines fronting East Leland Road and Loveridge Road. The landscaping consisting of trees and hedges.
IV.b: Provisions should be made for permanent shopping cart corrals in retail shopping centers.	Not applicable. This guideline is intended to apply to retail shopping centers.
IV.c: Existing trees on site should be incorporated into the project side design, unless waived by the City Planner or Planning Commission.	Consistent. Majority of the existing trees are to remain on site; only one tree will be removed. The tree being removed not a protected tree. The preservation of this tree would make the project infeasible.
IV.d: Developer should elect, at least, one of the schemes provided in Appendix #1 for screening all utility box transformers, backflow preventers, meters and junction boxes.	Conditionally. A proposed condition of approval requires the applicant to install shrubs consistent with Appendix #1 around the existing transformer box, subject to approval by the Planning Division.
IV.e: Projects with many buildings (greater than three) should have a variety of building sizes and masses.	Consistent. The structures on site vary in size and height.
IV.f: Continuous horizontal roof lines should be broken up whenever possible. An expanse should not exceed 50 (fifty) feet in length unless architecture or size dictate a greater expanse.	Consistent. While the proposed structure is approximately 120 feet long, it is screened from view by the existing convenience store.
IV.g: Building entries should be designed as a focal point. They should be designed to set the theme or be the primary feature of the building or commercial center.	Consistent. Although the convenience store is the main building and focal point, the proposed carwash structure provides signage in an accent color providing a focal point and indicating the entrance and exit.

IV.h: Building elevations (example: rear of shopping centers) visible from public right-of-ways should be addressed in design review and treated appropriately.	Not Applicable. The proposed structure will be screened from view by an existing 8-foot-tall sound wall.
IV.i: A free-standing structure within an existing commercial or industrial center should be architecturally compatible with the center, including but not limited to materials, colors and architectural elements.	Consistent. The proposed structure will be constructed with a stucco finish matching the main structure and will be painted a similar light beige color. Additionally, the proposed structure is topped with similar cornice as the main building.
IV.j: All roof mounted equipment should be screened completely from view from all public right-of-ways. A site-line study may be necessary to determine appropriate screening method.	Not applicable. None on site.
IV.k: All Structures, including, but not limited to, "tilt-up" type structures, should have structural reliefs and articulated entries (Encourage the creation of shadow lines).	Conditionally. A proposed condition of approval requires the applicant to provide a stone wainscoting along the perimeter of the structure, consistent with the main structure on site.
IV.l: Exterior fire escapes, stairs and other appurtenances should be designed or treated as integral parts of the building façade.	Conditionally. A standard condition of approval requires all vents, gutters, downspouts, flashing electrical conduits, etc. be painted or finished to match the exterior to which they are attached.
IV.m: Downspouts should be designed into the façade of the building unless architecturally treated.	
IV.n: Add murals, lattice or some other spaceframe type treatment to blank walls visible from public view.	Not Applicable. No blank walls will be visible from public view.
IV.o: Prototype or "theme" architecture is discouraged.	Not applicable. No themed architecture is proposed.
IV.p: New or remodeled buildings should be designed to be compatible in design, color and materials with adjacent development.	Consistent. The proposed structure's industrial features are in keeping with the character of the area, in design, color, and materials.

IV.q: The street-oriented elevations shall be designed so as not to present the appearance of a rear elevation (i.e., no loading doors or large blank walls, absence of architectural features found on other elevations, and limited landscaping as typically found on interior property lines).	Consistent. The street-oriented elevation contains a large opening and signage as an architectural feature; further the building will be set back approximately 60 feet from Loveridge Road where there exist a 10 foot landscaping buffer.
IV.r: Trash enclosures should include area for collection of recyclables (example: space for two 90-gallon containers minimum, See Appendix #2 Trash Enclosure Design Standards).	Consistent. There is an existing trash enclosure on site, consistent with the City of Pittsburgh Trash Enclosure Design Standards.
Green Building Design Guideline	Meets Guideline?
VI.D.1: Roofs should be designed to integrate renewable energy generation systems and provide a cool urban environment.	Conditionally. A proposed condition of approval requires the building roof be pre-wired to create a solar ready surface.
VI.D.2: Parking lot impacts should be minimized.	Consistent. Existing trees are to remain on site, with the exception of one (1) non-protected tree. Additionally the existing large canopy on site provides shade throughout the parking lot.
VI.D.3: Hardscapes should be constructed with permeable surfaces (e.g. pervious concrete, porous asphalt, unit pavers, and granular materials). Permeable paving consisting of porous above-ground materials, a 6- inch porous sub-base, and a base layer that is designed to ensure proper drainage away from the building and neighboring properties. Alternatively, impermeable surfaces may be used if they direct all runoff toward an appropriate permanent infiltration feature (e.g. vegetated swale, on-site rain garden, or rainwater cistern).	Consistent. The proposed project is designed with concrete and asphalt surfaces that drain to landscape areas throughout the site.
VI.D.4: Design choices should incorporate or prepare for electric vehicle charging or used vegetable oil fueling infrastructure.	Consistent. One (1) new EV parking space will be installed on site.

VI.D.5: Fuel cell technology should be considered for application where (1) space or cost prohibits non-emitting on-site generation (such as solar, wind or geothermal), AND either (2) the heat resulting from fuel combustion is utilized for water or space heating, and/or (3) the fuel cells would be used primarily during peak utility hours.	Not applicable. A proposed condition of approval requires the building roof be pre-wired to create a solar ready surface.
VI.D.6: Reclaimed (purple pipeline) water should be used for as much non-potable water uses as feasible and practical. Landscaping water fixtures using reclaimed water should be purple, and purple and white signage should clearly mark areas that are irrigated with reclaimed water.	Conditionally. A proposed condition of approval requires the applicant use reclaimed water as much as is feasible and practical.
VI.D.7: Large commercial and institutional facilities that are anticipated to employ more than 50 employees, should consider providing on-site shops and services for those employees.	Not applicable. Less than 50 employees are expected.
VI.D.8: Street side building faces should encourage walking.	Consistent. The project site contains existing landscaping buffers along East Leland Road and Loveridge Road. It also provides lighted concrete walkways between existing sidewalks and the building entries.
VI.D.9: Secure bicycle parking facilities should be provided for at least 10% of expected peak hour trips. Bicycle parking structures should be complementary to the surrounding structures and may be partially obscured by vegetation or painted with a mural design that is consistent with surrounding aesthetics. Shade trees should be planted if the parking facility is located in an area not shaded by surrounding structures. They should be located in an accessible and visible space to discourage misuse.	Conditionally. A proposed condition of approval requires the applicant to provide secure bike racks that can accommodate up to six bicycles.

Attachment 6
Applicable General Plan Goals and Policies
Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)

General Plan Goal/Policy	Analysis
Land Use Element:	
2-G-1: Maintain a compact urban form within the City's projected municipal boundary. Ensure that hillside lands not environmentally suitable for development are maintained as open space.	Consistent. The proposed project would occur within city limits on a project site of less than 5 acres and is not located in an Open Space District.
2-G-2: Promote large-scale office/business development, and reserve sites for Business Commercial uses in designated locations accessible from regional transportation systems.	Consistent. The proposed project is accessible from regional transportation systems. The site is serviced by Tri Delta Transit routes 380, 381, 387, 390, 391, 394, and 396.
2-G-3: Emphasize concentrated commercial development, rather than linear commercial strips.	Consistent. The proposed project is located on a site within an existing commercial center.
2-G-6: Maintain programs and provide incentives for use of vacant infill land and reuse and revitalization of underutilized sites.	Consistent. While the proposed project would not utilize any specific programs to facilitate the redevelopment, the proposed project would reuse an existing site.
2-P-7: During development review, consider project compatibility with existing surrounding land uses. Ensure that sensitive uses—such as residences, schools, and parks—are not subject to hazardous or unhealthy conditions.	Consistent. The project site is in the 'East Leland Subarea' of the General Plan and has a land use designation of 'Community Commercial'. Surrounding uses include commercial and residential uses. The proposed project would be compatible with the surrounding uses in that the existing service and fueling station and reconstructed car wash would be patronized by the surrounding residents.
Land Use Element – East Leland Subarea:	
2-G-21: Undertake selective improvement and intensification, while maintaining land use patterns focused on multi-family housing and commercial centers.	Consistent. The proposed project would maintain land use patterns by locating in an existing commercial center.
2-P-62: Ensure that new Business Commercial centers provide pedestrian, bicycle, and transit amenities (such as walking paths, benches, bus shelters, bicycle racks, and lockers) enabling convenient use of alternative transportation modes, including the proposed Railroad Avenue BART Station.	Conditionally. A proposed condition of approval requires the applicant to provide secure bike racks that can accommodate up to six bicycles.
Growth Management:	
3-G-1: Manage the City's growth to balance development of housing options and job opportunities, protection of open space and habitat areas, construction of transportation improvements, and preservation of high quality public facilities.	Consistent. The proposed project would not be located in an open space zoning designation.

3-G-4: Maintain programs and provide incentives for use of vacant infill land and reuse and revitalization of underutilized sites. (Land Use Goal 2-G-6)	Consistent. The proposed project would occur on an existing site.
3-G-9: Encourage the provision of new and improved pedestrian, bicycle and transit facilities to serve all users of new development projects.	Conditionally. A proposed condition of approval requires the applicant to provide secure bike racks that can accommodate up to six bicycles.
3-P-1: Allow urban and suburban development only in areas where public facilities and infrastructure (police, fire, parks, water, sewer, storm drainage, and community facilities) are available or can be provided.	Consistent. The project site is in an area where infrastructure can be provided.
3-P-2: Prior to project approval, ensure that the existing and planned transportation system will have adequate capacity to accommodate new urban development.	Consistent. The project site is serviced by Tri Delta Transit routes 380, 381, 387, 390, 391, 394, and 396.
Economic Development Element	
6-G-4: Maintain and enhance an attractive climate for conducting business in Pittsburg.	Consistent. The proposed project is attractively designed and provides a more attractive climate for conducting business.
Transportation Element	
7-P-30: Work with Tri-Delta and planning area residents to plan for local bus routes that more effectively serve potential riders within local neighborhoods.	Consistent. The project site is serviced by Tri Delta Transit routes 380, 381, 387, 390, 391, 394, and 396.
Resource Conservation Element	
9-G-1: Protect conservation areas, particularly habitats that support special status species, including species that are State or Federally listed as endangered, threatened, or rare (see Table 9-1).	Consistent. The project is not located in a conservation area and no habitats that support special status species will be disturbed.
Health and Safety Element	
10-G-1: Minimize risk to life and property from geologic and seismic hazards.	Conditionally Consistent. The proposed project would be mandated to meet all the requirements of the City's Engineering and Building Divisions.
10-G-2: Establish procedures and standards for geotechnical review of projects located in areas of steep slopes, unstable soils, or other geologic or seismic risks.	
10-G-3: Minimize the potential for soil erosion by wind and storm water runoff.	
10-G-4: Mitigate potential seismic hazards, including land sliding and liquefaction, during the design and construction of new development.	
10-G-7: Locate development outside of flood-prone areas unless mitigation of flood risk is assured.	Consistent. The proposed project is located and entirely contained in an area of minimal flood hazard (Zone X).

10-P-16: Ensure compliance with the current Uniform Building Code during development review. Explore programs that would build incentives to retrofit unreinforced masonry buildings.	Consistent. The proposed project would be conditioned to comply with all the requirements of the Community Development Department, Contra Costa County Fire Protection District, Delta Diablo Sanitation District, and all other applicable local, state and federal agencies.
Public Facilities Element	
11-G-1: Available water supply and distribution capacity should grow proportionally with development patterns and water usage trends. Update City’s Water Master Plan to implement General Plan growth projections.	Consistent. The proposed project would occupy a previously developed site where water and sewer facilities are in existence.
11-G-10: Encourage buffer landscaping and multi-use of utility sites and rights-of-way to harmonize with adjoining uses.	Consistent. The proposed project contains landscaping along all property lines.
11-P-7: Ensure that new residential, commercial, and industrial development equitably shares costs associated with providing water services to areas of urban expansion within the Planning Area.	Consistent. The proposed project would occupy a previously developed site where water and sewer facilities are in existence.
11-P-18: Ensure that new residential, commercial, and industrial development equitably share costs associated with providing wastewater services to areas of urban expansion within the Planning Area.	
Noise Element	
12-P-1: As part of development review, use Figure 12-3 to determine acceptable uses and installation requirements in noise-impacted areas.	Consistent. The proposed project would produce noise levels of 69dba at the opening of the car wash. This level is acceptable for commercial uses. At 30 feet from the opening of the car wash the project would produce noise levels of 38dba. This level is acceptable for residential uses, and the closest residence is approximately 90 feet away from the car wash opening.
12-P-7: Require the control of noise at the source through site design, building design, landscaping, hours of operation, and other techniques, for new development deemed to be noise generators.	Conditionally Consistent. There is an existing sound wall separating the commercial use from the adjacent residential uses to the south. A proposed condition of approval requires the car wash to operate between the hours of 6:00 a.m. to 12:00 a.m. (midnight) only. This would be consistent with hours of operation of the car wash being demolished.

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Resolution for Design Review Approval of	)	
Architectural Drawings to Construct a	)	
Convenience Store, Fuel Pump Island, Canopy,	)	
Car Wash, One Freestanding Sign and Six Wall	)	Resolution No. 9313
Signs at the Southwest Corner of East Leland	)	
Road and Loveridge Road for "Arco Service Station"	)	
(DR-01-59).	)	

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

A. On December 21, 2001, Peter Tobin of Tait and Associates, Inc., filed DR-01-59 in accordance with Chapter 18.12 of the Pittsburgh Municipal Code, requesting Planning approval of one freestanding sign, six wall signs, and architectural and site development plans to construct a 3,600 square foot convenience store, a 20 dispenser fuel pump island, and a 762 square foot car wash facility, located on a undeveloped 1.66 acre site at the southwest corner of Loveridge Road and East Leland Road in a proposed CC (Community Commercial) zone; APN 088-230-012.

B. The proposed use conforms with the policies and guidelines of the Pittsburgh General Plan and the Development regulations of the Pittsburgh Municipal Code.

C. A Notice of Intent to Adopt a Negative Declaration was posted on March 15, 2002, in compliance with State CEQA guidelines Section 15072, the Director of Planning and Building having found that no significant effects will occur as a result of this project.

D. Notice of the April 9, 2002, public hearing was mailed, published and posted on March 29, 2002.

E. On April 9, 2002, the Planning Commission held a public meeting on DR-01-32 at which time oral/or written testimony was considered.

Section 2. Findings

Based on the evidence presented at that meeting, the Commission finds that:

A. The plans conform with good taste and design in their appearance and are not of inferior quality as to cause the nature of the neighborhood or area to materially depreciate in appearance and value, and will contribute to the positive character and

image of the City as a place of high quality and beauty, in that the site is being developed with professional quality design and landscaping, including signage, accessory structures and building façade, while meeting the requirements set forth in the Pittsburgh Municipal Code.

B. The freestanding sign is necessary to provide the use with a comparable degree of identity from the street as that available to uses on neighboring premises, but as conditioned will not provide unfair advantage over uses on nearby properties, in that eating and drinking, and retail establishments adjacent the subject site also have freestanding signs and the proposed sign will not prevent those other freestanding signs from being seen. (PMC Section 19.12.020.A.2)

C. The Negative Declaration for this Project was prepared in compliance with CEQA, State and City guidelines, and that the Commission reviewed and considered the information contained therein prior to adopting the Negative Declaration.

D. The Staff Report entitled, "Arco Service Station. RZ-01-05, MS 679-01, UP-01-32, DR-01-59," dated April 9, 2002, is referenced hereto as additional support for findings.

Section 3. Approval

A. Based on the findings set forth above, this Commission hereby approves DR-01-59 subject to the following conditions.

1. The project shall be constructed substantially in conformity with the drawings stamp dated March 14, 2002 and March 19, 2002, except as hereinafter may be modified.

2. The Standard Conditions of Development as adopted by the Pittsburgh Planning Commission by Resolution No. 8931 shall apply as conditions of approval for this project as applicable.

3. A building permit must be issued or an extension approved by the Planning Commission within one year after date of adoption of this resolution or this approval will become invalid one year from the date of approval of this resolution. Approval shall be valid for no more than six (6) months from the date of building permit issuance unless active construction shall have commenced prior to the expiration of the building permit.

4. All site development shall comply with Title 12 (Streets, Sidewalks, and Utilities), Title 13 (Water and Sewers) and Chapter 15.88 (Grading, Erosion and Sediment Control) of the PMC as determined by the City Engineer. Issuance of a site development permit will be required whereby specific engineering requirements will be made as conditions of approval.

5. The Applicant shall defend, indemnify and hold harmless the City of Pittsburg, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this approval, which action is brought within the applicable time period of Government Code §65907. In the event the City becomes aware of such a claim, action, or proceeding, the City shall promptly notify the Applicant and shall cooperate fully in the defense. If the City fails to promptly notify the Applicant, or if the City fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both the following occur: (a) the City bears its own attorneys' fees and costs; and (b) the City defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

6. It is required by State Law (Business and Professional Code §5537 and §5538 and §302(b) of the Uniform Building Code) that all commercial buildings, new or existing must have a licensed professional designer (Architect, Civil or Structural Engineer) to design all changes of use or occupancy as well as new construction.

7. The Applicant shall comply with all the requirements of the Building Division, Engineering Department, Contra Costa County Fire Protection District, Contra Costa County Environmental Health Department and all applicable local, state and federal agencies. All applicable fees shall be paid.

8. It is the responsibility of the Applicant to contact each local, state or federal agency for requirements that may pertain to their project.

9. All conditions set forth in Section 4 of Resolution No. 9311 and Section 3 of Resolution No. 9312 approving MS 679-01 and UP-01-32 shall apply as conditions of this approval.

10. The Applicant shall grade and design the landscaping to allow water run-off to enter landscaped area and infiltrate into the ground to the maximum extent practicable prior to entering a storm drain inlet or catch basin.

11. The Applicant shall stabilize the site from soil erosion during construction by installing stormwater pollution prevention devices throughout the construction site.

12. Landscaping shall conform with the regulations set forth in the City of Pittsburg Landscape Ordinance, and shall address Condition No. 11 of this resolution.

13. Roof runoff from the fueling island canopy shall be tied directly into the stormdrain.

14. Underground storage tanks shall have spill containment and overflow prevention systems meeting the requirements of Section 2635 (b) of Title 23 of the California Code of Regulations.

15. The fueling island shall be paved with Portland cement concrete (or, equivalent smooth impervious surface), with a 2% or 4% slope to prevent ponding, and must be separated from the rest of the site by a grade break that prevents run-on of stormwater.

16. All landscaped areas shall have an automatic irrigation system and shall be maintained in a healthy, thriving and weed free condition. Any dead or unhealthy plants shall be replaced with a similar species.

17. The Applicant shall design the trash enclosure so that recyclable materials can be stored within its walls, as well as waste.

18. The Applicant shall adhere "No Dumping Drains to Delta" or "No Dumping Drains to Creek", thermoplastic fish logos on all storm drain inlets located on-site.

19. The Applicant shall use pervious surface wherever possible to reduce the amount of stormwater run-off leaving the site.

20. Wall trellises shall be constructed of wood (to prevent plants from being burned during summer months) mounted on a metal-based frame attached to the structure.

21. Lavender Trumpet Vine shown at the eastern elevation of the convenience store on the submitted landscape plan stamp dated March 12, 2002 shall be replaced with medium sized shrubs selected from the PMC Landscape Ordinance approved plant list.

22. Lavender Trumpet Vine shall be planted at the western elevation of the car wash below the proposed wall trellises.

23. In order to mitigate for the removal of existing trees onsite, there shall be at least 10, 24-inch box size trees planted along the landscaping strips at East Leland Road and Loveridge Road. In addition, the proposed Chinese Pistache trees (three (3) total) located at the northwest, northeast and southeast corner landscaping islands around the convenience store shall be 24-inch box trees.

24. Masonry walls shall be acoustically effective and must be air-tight, without cracks, gaps or other openings. All joints must be sealed, including connections with posts or pilasters, and no openings are permitted between the upper barrier components and the ground. All masonry walls shall be engineered to withstand winds and soil settling and are subject to the approval of the City Engineer.

25. Accent tiles matching the main building's wainscot shall be installed at all entrances and exits.

26. The concrete walkway at the northern elevation of the convenience store shall be constructed with a minimum width of seven (7) feet to allow for vehicle overhang in accordance with PMC §18.78.050(A)(3) requirements.

27. The proposed freestanding sign at the corner of East Leland Road and Loveridge Road shall be reduced to a maximum height of eight (8) feet.

28. Proposed wall mounted promotional sign cases for the car wash and convenience store shall be reduced in size by at least 75 square feet. Total wall sign area shall not exceed 100 square feet, in accordance with PMC §19.16.060(B).

Section 4. Effective Date

This resolution shall take effect upon City Council approval to rezone the subject site from CO to CC.

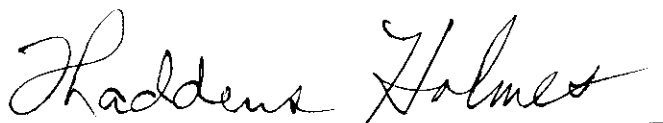
On motion by Commissioner Garcia, seconded by Commissioner Harris, the foregoing resolution was passed and adopted the 9th day of April, 2002, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES: Garcia, Glynn, Harris, Holmes, Leonard, Ramirez

NAYES: None

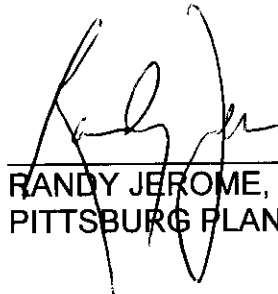
ABSTAIN: None

ABSENT: Kelley



THADDEUS HOLMES, CHAIRPERSON
PITTSBURG PLANNING COMMISSION

I hereby attest the above signature and certify that the above Resolution No. 9313 was adopted by the Planning Commission of the City of Pittsburg on April 9, 2002.



RANDY JEROME, SECRETARY
PITTSBURG PLANNING COMMISSION

CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
April 9, 2002

ITEM: 1 ARCO SERVICE STATION. RZ-01-05, MS 679-01, UP-01-32, DR-01-59.

ORIGINATED BY: Peter Tobin, of Tait and Associates, 1001 Galaxy Way, Suite 304, Concord, CA 94520.

SUBJECT: This is a request for approval of a rezoning of 3.55 acres from CO (Office Commercial) to CC (Community Commercial) and approval of a tentative map to subdivide 3.55 acres into two parcels. The Applicant is also requesting a use permit to operate a convenience store and gas station; and design review approval of architectural and site development plans to construct a 3,600 square foot convenience store, a 20 dispenser fuel pump island, and a 762 square foot car wash facility, located on a undeveloped 1.66 acre site on the southwest corner of East Leland Road and Loveridge Road, APN 088-230-012.

BACKGROUND:

The subject site is at the southwest corner of the Loveridge Road/East Leland Road intersection, on an undeveloped parcel immediately north of Loveridge Terrace Apartments. In 1998, the Planning Commission approved a design review and use permit for an Exxon gasoline station, and recommended the City Council approve a General Plan amendment and re-zoning of the subject parcel. The City Council did not approve the General Plan amendment and re-zoning of the property from CO (Office Commercial) to CC (Community Commercial) at that time. The property currently remains undeveloped.

The Applicant is proposing to construct an Arco gasoline station including a fuel dispenser canopy, convenience store and mechanical car wash. The proposed convenience store will be an accessory operation selling food, beer, wine, tobacco and general merchandise. The convenience store and gasoline fueling area are proposed to operate 24 hours a day seven (7) days a week and will have three (3) to four (4) employees. The car wash is proposed to be open from 6 a.m. to 12 a.m. (midnight)

The main building (convenience store) is a stucco box design with square tower features at the northwest and northeast corners, emphasizing the north elevation fronting East Leland Road. The 3,600 square foot building will be 90 feet long and 40 feet wide. The towers will be approximately 20 feet tall and topped with a sand colored tile cornice. A curved awning band with a red LCD laser light embedded in its curved face will be installed above the north elevation store windows (see east or west elevation for a profile). Sand colored granite tiles will be installed along the building's wainscot. Wall trellis features will be mounted on the south and west elevations along

the car wash driveway and entrance. Architectural wall mounted light fixtures will be on the southern, western, and eastern elevations.

The 44 foot long by 22 foot wide and 14 foot tall car wash structure will be located on the southwest corner of the site. The exit will face East Leland Road. The wainscot and stucco finish of the carwash and trash enclosure will match the main building.

STAFF ANALYSIS:

General Plan/Zoning Consistency: The General Plan land use designation of the site is Community Commercial. The proposed structures are designed for a gasoline station and incidental accessory uses consistent with the site's General Plan land use designation.

The current zoning, CO (Office Commercial), does not permit gas stations. The Applicant has initiated a rezoning to make the subject property's zoning consistent with its General Plan land use designation of Community Commercial. Rezoning the subject site to CC (Community Commercial) will permit the Applicant's proposed retail gas and convenience store use with a use permit. The proposed mechanical car wash will be an incidental accessory use permitted by Pittsburg Municipal Code §18.08.080 FF (4).

Minor Subdivision: The Applicant proposes to divide a 3.55 acre parcel into two parcels consisting of a 1.66 acre parcel (proposed Arco facility site) and a 1.89 acre parcel. The site plan is designed to allow for internal access between the two parcels.

The proposed use and design, as conditioned, are consistent with the policies of the General Plan and comply with development requirements of PMC zoning ordinance.

Traffic and Circulation: A traffic study prepared for this project addressed site access, internal circulation, parking, traffic generation, and potential impacts. The City's traffic engineer has reviewed the traffic study and has determined its scope, analysis, methodology, and recommendations to be acceptable.

Staff recommends, and the traffic study supports, moving the driveway at East Leland road further west to the edge of the property. This will improve exiting the site from the car wash and will make it easier to exit the site and enter the left-turn lane at the Loveridge Road/East Leland Road intersection to travel northbound on Loveridge Road or to make a U-turn.

As a condition of approval for the minor subdivision, staff is requesting a bus turnout be constructed at Loveridge Road, east of the project site. The General Plan supports this recommendation by addressing new development and public transportation with the following General Plan policy (7P-29): "Preserve options for future transit use when designing improvements for roadways. Ensure that developers provide bus turnouts and/or shelters, where appropriate, as part of projects."

Noise: The proposed car wash (proposed to be open from 6 a.m. to 12 a.m.) will be the most significant source of noise on site. The entrance of the carwash will be approximately 60 feet from the property line of the adjacent apartments (south of the project site). The information provided by the manufacturer of the proposed mechanical car wash unit indicates that at a distance of 60 feet directly behind the car wash entrance, sound levels will not exceed 67 decibels. According to the General Plan noise element, noise levels between 60 and 70 decibels is considered "conditionally unacceptable" for unshielded residential development.

A condition of approval will require that the Applicant construct an eight (8) foot high masonry sound wall which will serve as a buffer between the car wash and the adjacent apartments. The proposed car wash's setback from the apartment's property line, along with the construction of an eight (8) foot high masonry wall should mitigate the noise generated by the car wash to a normally acceptable level for adjacent residents. In the event that the car wash and any related activity associated with it creates a public nuisance, the service station manager will be required to reduce the hours of operation of the car wash and vacuum units.

Signage: Proposed signage consists of one (1) illuminated freestanding sign at the corner of Loveridge and East Leland Roads, three (3) illuminated wall-mounted signs on the convenience store, and three (3) illuminated wall mounted signs on the car wash. The proposed freestanding sign (12 feet high by 8 feet wide) will display Arco and a.m./p.m. corporate logos and gasoline prices. The convenience store wall mounted signs consist of one a.m./p.m. corporate logo sign and two promotional sign cases on the northern elevation. Three (3) wall mounted promotional sign cases are proposed for the car wash's south and east elevations.

The freestanding sign's proposed height of 12 feet is at the maximum allowable height for freestanding signs at gasoline stations under PMC §19.16.060.B.2. The proposed 12-foot height is not appropriate given that the subject site is highly visible from Loveridge Road and East Leland Road. In addition, gasoline stations throughout the City and immediately adjacent (Shell station north east of the proposed Arco) the project site do not have 12 foot tall freestanding signage. The proposed height is not necessary to give the subject site an adequate degree of identity from the street.

Maximum total sign area allowed on site is 100 square feet (PMC §19.16.060.B). The sign area being proposed exceeds PMC sign code standards by approximately 75 square feet. Staff recommends the applicant reduce the area of the wall mounted promotional sign cases to meet code requirements.

Environmental: It has been determined that this project will not result in a significant effect on the environment. A notice of intent to adopt a Negative Declaration for this project was posted on March 15, 2002, in compliance with State CEQA guidelines Section 15072.

Public Notice: A public notice for this project as required by PMC Chapter 18.14 was mailed to property owners within 300 feet of the site, published, and posted on March 29, 2002.

RECOMMENDATION: Move to adopt Reso. No. 9310 approving RZ-01-05
Move to adopt Reso. No. 9311 approving MS 679-01
Move to adopt Reso. No. 9312 approving UP-01-32
Move to adopt Reso. No. 9313 approving DR-01-59

ATTACHMENTS: Resolutions of Approval
Negative Declaration/Initial Study
Applicant's plans
Public Hearing Notice
Site vicinity map
Colored Elevation

PROJECT PLANNNER: Christopher B. Barton





City of Pittsburg

Community Development Department – Planning Division

65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **PLANNING COMMISSION** of the City of Pittsburg will conduct an online public meeting on:

DATE: June 23, 2020

TIME: 7:00 p.m.

PLACE: Zoom Teleconference via Streaming Media on the City's homepage,
www.ci.pittsburg.ca.us (see public advisory on last page)

Concerning the following matter:

Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)

This is an application by Jeanette Verdugo, on behalf of AGC Design Concept, requesting design review, use permit, and variance approval to demolish an approximately 968 square foot carwash and construct a new 3,200 square foot carwash building within the required rear yard setback, located at 1190 East Leland Road. Assessor's Parcel No. 088-230-024.

PROJECT PLANNER: Celina Palmer, (925) 252-4029 or cpalmer@ci.pittsburg.ca.us

Why am I receiving this notice?

You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?

The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

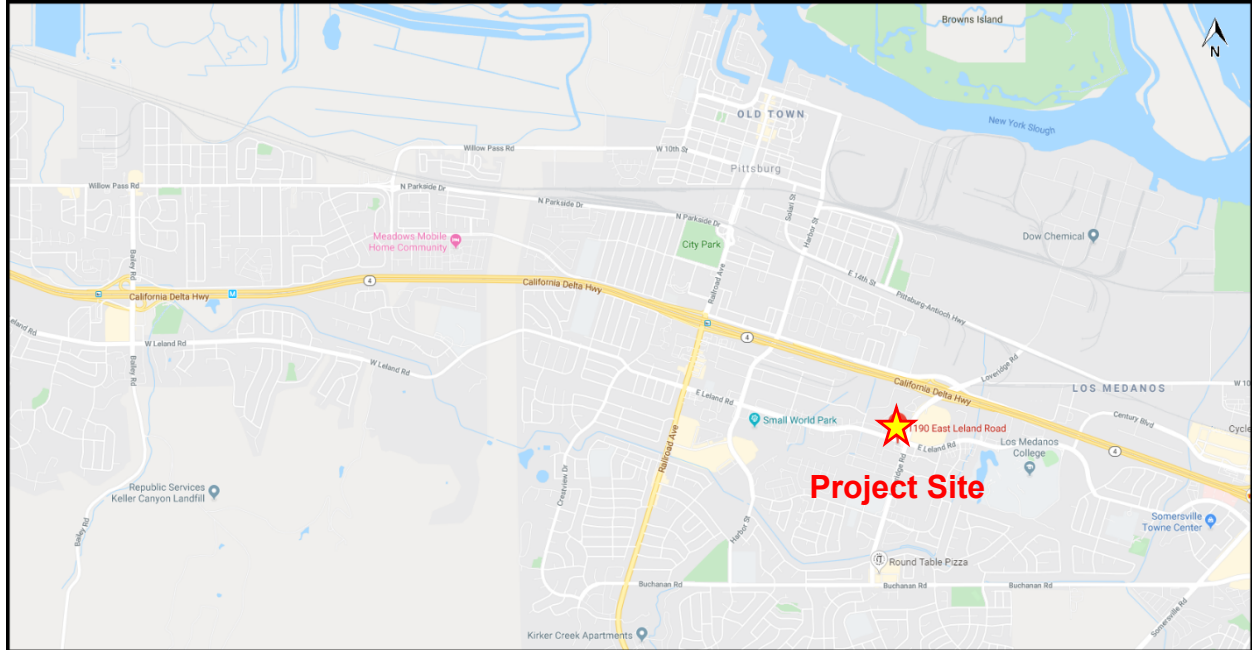
What can I do if I have comments on the project?

Comments or objections to the project can be made by writing or through e-mailed testimony during the meeting. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565. Comments during the meeting can be submitted via email to meetingcomments@ci.pittsburg.ca.us.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

KRISTIN POLLOT, SECRETARY
PITTSBURG PLANNING COMMISSION

Project Title: Arco Station Car Wash Relocation, AP-19-1473 (UP, DR, VA)
Location: 1190 East Leland Road, APN 088-230-024



PUBLIC ADVISORY:
THE CITY COUNCIL CHAMBER WILL NOT BE OPEN TO THE PUBLIC

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Planning Commission for **June 23, 2020** will be conducted telephonically through Zoom and broadcast live on the City's homepage.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chamber will not be open for the meeting. Planning Commissioners will be participating telephonically and will not be physically present in the Council Chamber.

To view the meeting online during its broadcast:

1. Go to www.ci.pittsburg.ca.us
2. On the right-hand side of the page, click the "Streaming Media" button

Comments on this item can be submitted via email to:
meetingcomments@ci.pittsburg.ca.us

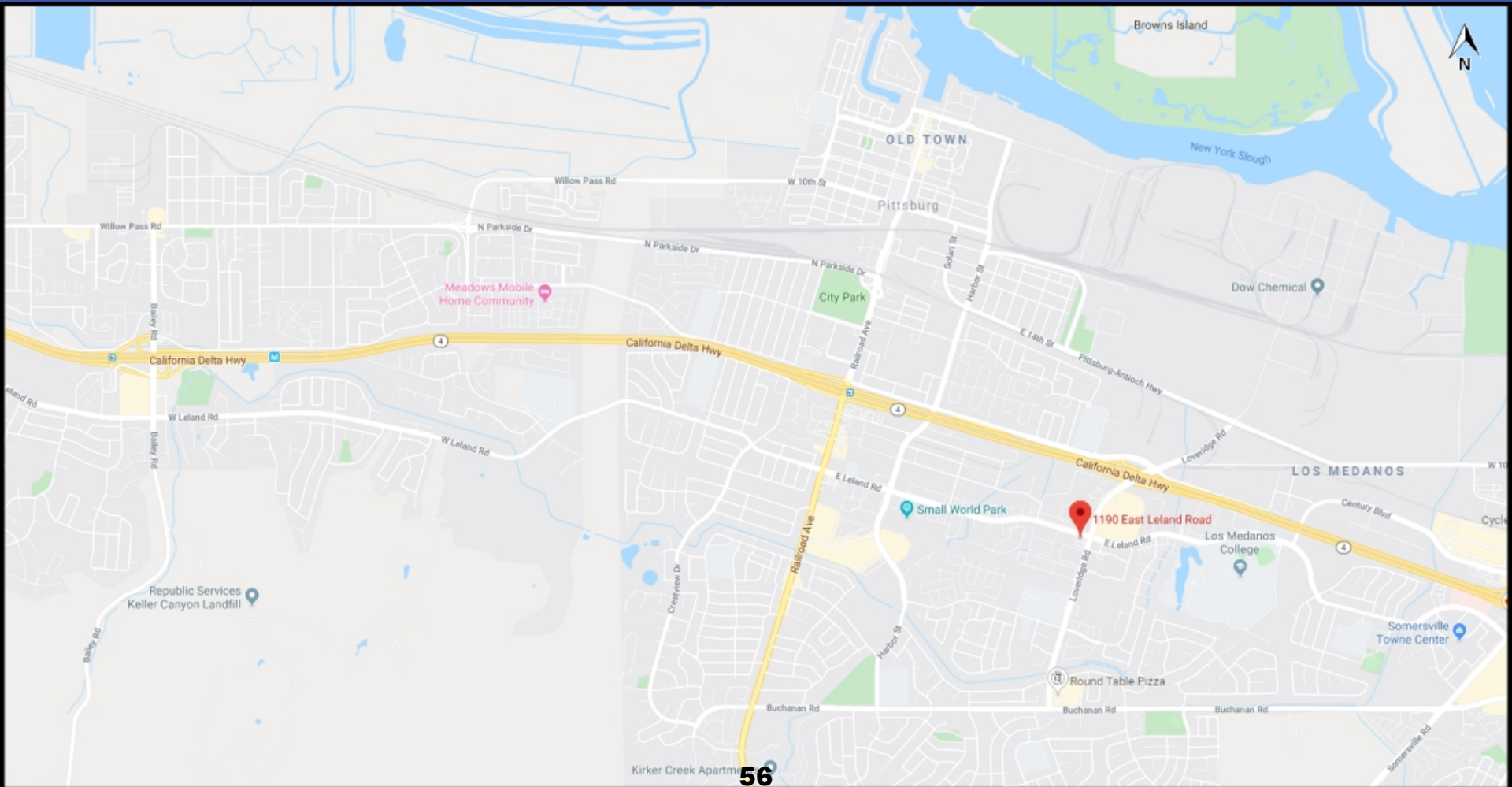
If you wish to have your comments read to the Planning Commissioners during the appropriate Public Comment period, please indicate in the Subject Line "FOR PUBLIC COMMENT" and list the item number you wish to comment on. If your comment is for a non-agenda item, indicate "FOR PUBLIC COMMENT – NON-AGENDA." Comments that you want read to the Commission will be subject to the three minute time limitation (approximately 350 words). Written comments that are only to be provided to Commission and not read at the meeting will be distributed to the Commission prior to the meeting if received by 5:00 p.m. the date of the meeting. Comments via text and social media (Facebook, Nextdoor, etc.) will not be accepted.

The City of Pittsburg thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.



City of
Pittsburgh

Arco Station Car Wash Relocation
AP-19-1473 (UP, DR, VA)





E Leland Rd

E Leland Rd

E Leland Rd

E Leland Rd

E Leland Rd

E Leland Rd

E Leland Rd

1160

1190

1270

Lovridge Cir

Lovridge Cir

Lovridge Rd

Lovridge Rd

500

57



Background



April 9, 2002

PC Resos 9311, 9312, 9313

Minor Subdivision, Use Permit, Design
Review

Convenience Store, Fuel Pump Island
Canopy, Carwash, and Signage



E LELAND RD

1160

1190

LOVERIDGE RD

1270

LOVERIDGE CIR

60



1160

E LELAND RD

1190

LOVERIDGE RD

1270

LOVERIDGE CIR

61



E LELAND RD

LOVERIDGE RD

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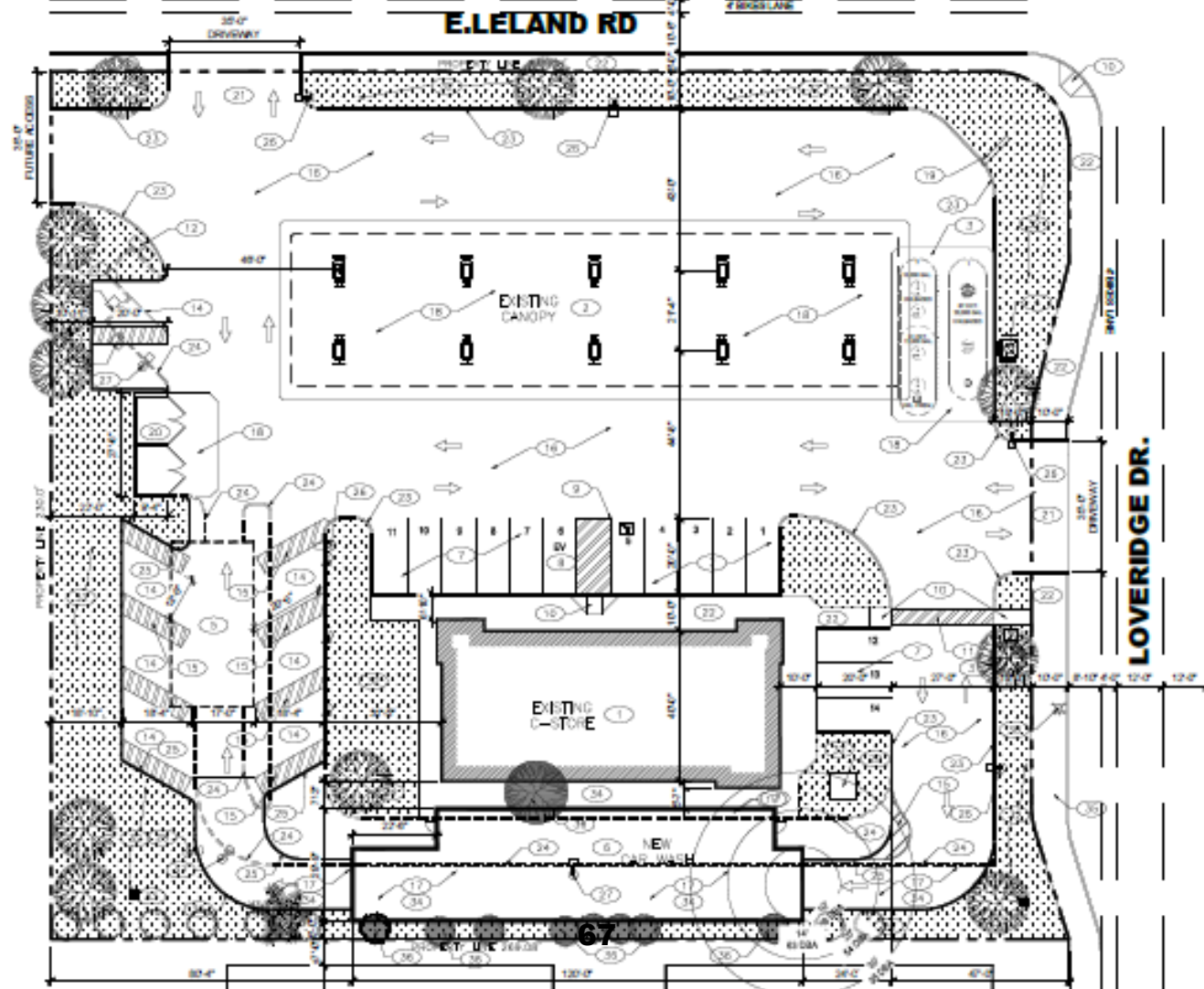
LOVERIDGE CIR

LOVERIDGE RD

1270



EMPTY LAND



Use Permit

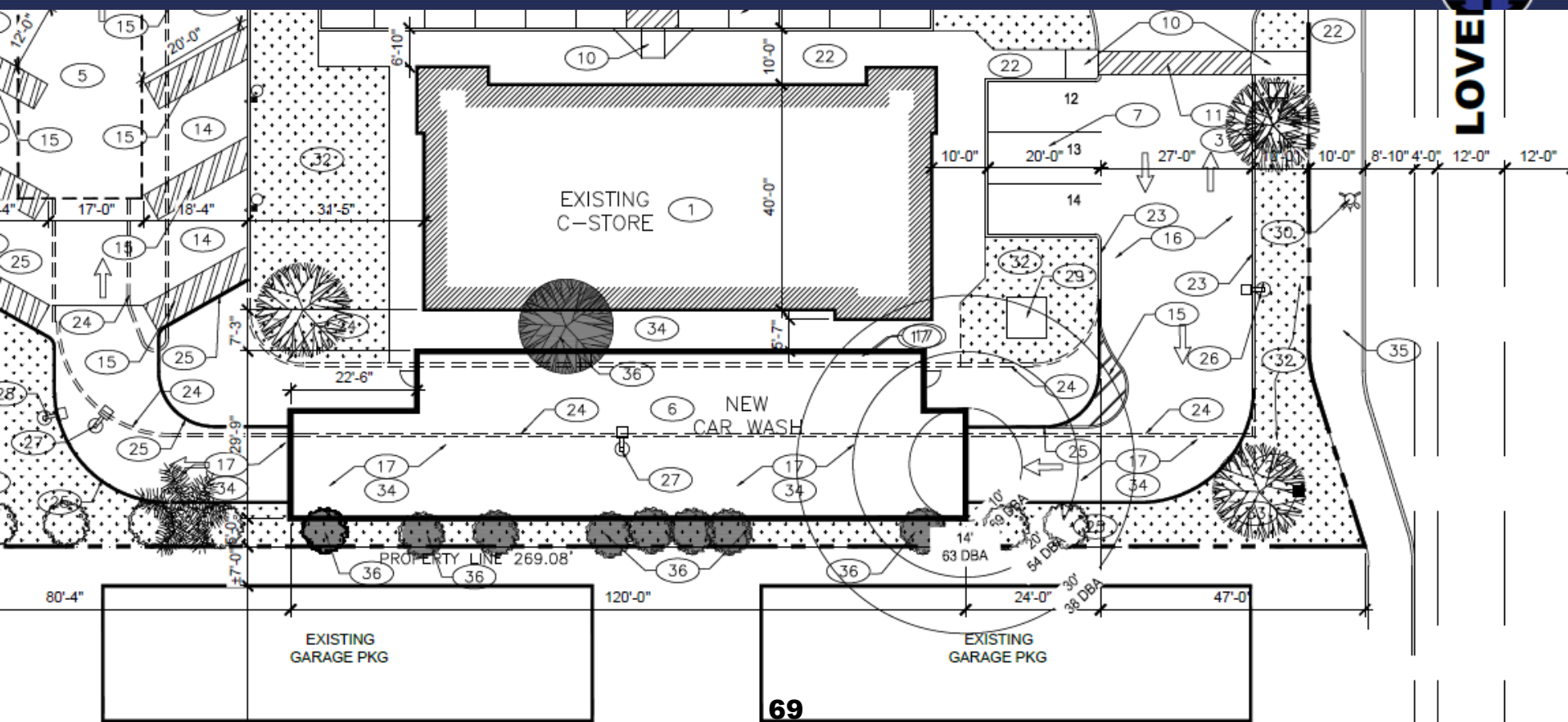


Zone: Community Commercial

Main Use: Arco AM/PM – Service Station
(Allowable with Use Permit)

Accessory Use: Automobile Washing
(Allowable with Permitted Main Use)

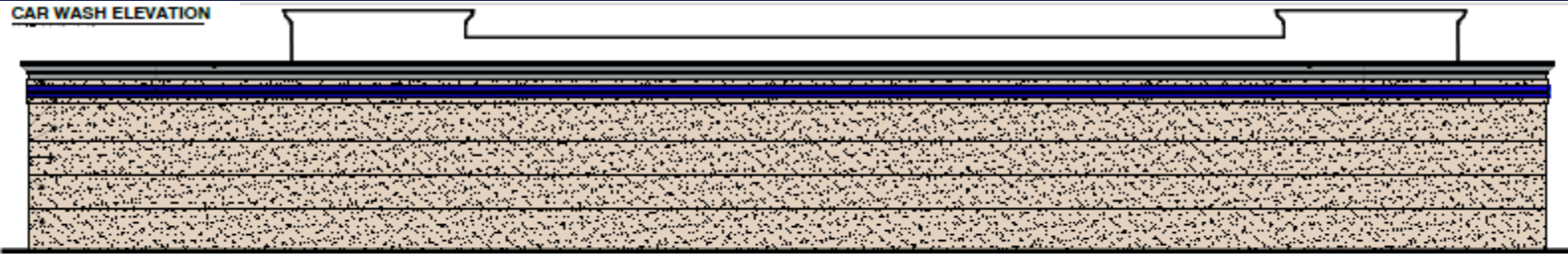
Noise



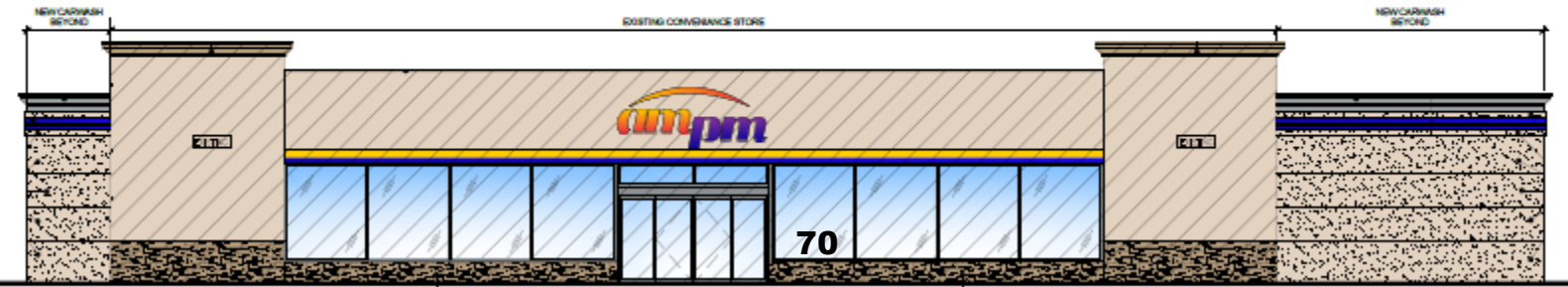
Design Review



CAR WASH ELEVATION



01 CAR WASH ELEVATION
SCALE 3/16" = 1'-0"



Variance



Proposed Conditions



- Hours of Operation for carwash 6a-12a
- Install shrubs around transformer box
- Install stone tile wainscot
- Pre-wire for solar
- Install bicycle racks for up to six (6) bicycles
- Install fencing
- Install lighting

Recommendation



Staff recommends that the Planning Commission **adopt Resolution No. 10153**, approving Sign Review Application No. AP-19-1473, **subject to conditions.**

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
July 14, 2020**

ITEM: Submittal of Adopted Zoning Administrator Resolutions.

ORIGINATED BY: City of Pittsburgh, Zoning Administrator, 65 Civic Avenue, Pittsburgh, CA 94565

SUBJECT: The Zoning Administrator submits one resolution previously approved under the delegated authority (Planning Commission Resolution No. 9918).

RECOMMENDATION:

Staff recommends that the Commission acknowledge receipt of the attached adopted Zoning Administrator resolution.

BACKGROUND:

Delegated Design Review Authority: Planning Commission Resolution No. 9444, as later amended by Resolution No. 9918, allows for delegation of nine categories of design review applications from the Planning Commission to the Zoning Administrator, as follows:

1. Freestanding signs: Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
2. Wireless Communication Equipment: New or replacement antennas on existing poles and their related equipment.
3. Minor Building Remodels: Limited to changes in building colors, awnings, fenestration, and finishes.
4. Changes to Existing Parking Lots.
5. Changes to Existing Landscaping.
6. Additions to Existing Buildings: Additions must be smaller than 2,500 square feet and designed to complement existing building architecture.
7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.

Planning Commission Staff Report

8. Ancillary Structures: Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in the Industrial Districts.

The intent of the delegation is to allow a more efficient approval process for non-controversial design review applications, without compromising the integrity of the design review process or removing from public scrutiny those projects that would be most visible or of high interest to the general public. Prior to approving any delegated design review application, the Zoning Administrator must notify the Commission of his or her intent to exercise delegated design review authority. Copies of resolutions approving any delegated design review application must also be provided to the Commission.

PROJECT DESCRIPTION:

Since the last Commission meeting, the Zoning Administrator has adopted one resolution approving delegated design review, as follows:

1. Resolution No. 357: San Marco Village E Model Homes, AP-20-1516 (AD)

GENERAL PLAN/CODE COMPLIANCE:

Delegated Design Review Authority: Resolution No. 9918 established nine categories of design review applications upon which the Commission would authorize the Zoning Administrator to act. Resolution No. 9918, and PMC section 18.10.100, direct staff to notify the Planning Commission of intent to exercise delegated design review authority on any application that falls within one of those nine categories, prior to approving the application. Upon receiving such notification, a majority of the Commission may direct that the matter be scheduled for future consideration by the entire Commission. Resolution No. 9918 also directs staff to keep the Commission informed about delegated design review application approvals by providing copies of resolutions adopted by the Zoning Administrator.

ANALYSIS:

Not applicable.

ACTION REQUIRED:

Acknowledge receipt of the adopted Zoning Administrator resolution.

ATTACHMENTS:

1. Zoning Administrator Resolution No. 357

Prepared by: Kristin Pollot, AICP Zoning Administrator

701.03

ZA

RESO

357

6-24-20

AB



City of Pittsburgh

Community Development Department – Planning Division
65 Civic Avenue, Pittsburgh, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

Date: 6/24/20

Dear Applicant:

SUBJECT: RESOLUTION No. 357

Enclosed is a copy of the resolution adopted by the Zoning Administrator.
A copy of our Standard Conditions of Development is also included. Please read the enclosed documents and retain them for your files. All conditions of approval shall be incorporated into subsequent plan submittals and construction documents, where appropriate.

The enclosed resolution is valid for a limited period of time as specified in the resolution. Please make a note of the applicable expiration date and plan your construction timeline accordingly to avoid the loss of your entitlements.

If you have any questions about the enclosed resolution, please contact the Planning Division at the number listed above.

Sincerely,

Kristin Pollot, AICP
Planning Manager

Enclosures: (2) Resolution No. 357
Standard Conditions of Development

BEFORE THE ZONING ADMINISTRATOR OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Granting Design Review	)	
Approval of Architectural Plans for the	)	
Addition of Six House Plans to be	)	
Constructed on Lots in Unit 13 and	)	Resolution No. 357
Subsequent Units of the San Marco	)	
Development, for "San Marco Village E	)	
Model Homes, AP-20-1516 (AD).")	)	

The Zoning Administrator DOES RESOLVE as follows:

Section 1. Background

- A. On May 28, 2020, Josh Randles on behalf of Discovery Builders ('the developer'), filed Administrative Design Review Application No. 20-1516, requesting approval of six new house plans, each with three unique elevations, to be added to the mix of houses to be built in the San Marco Development, commencing with Unit 13. The project site is zoned PD (Planned Development, Ordinance No. 12-1362) District. Assessor's Parcel Numbers: various.
- B. On January 19, 1993, the City Council held a duly noticed public hearing to consider the Final Subsequent Environmental Impact Report (FSEIR) and Rezoning Application No. Z-90-04 for the San Marco Development. At the close of the public hearing, the Council adopted Resolution 93-7888 certifying the FSEIR and adopting Findings of Fact and a Statement of Overriding Considerations for the San Marco Development. At the subsequent Council meeting on February 1, 1993, the Council adopted Ordinance 93-1057 approving Rezoning Application No. Z-90-04 and classifying the site of the San Marco Development to Planned Development (Ordinance No. 93-1057) District, and adopted Resolution 93-7889 approving the tentative map for the San Marco Development (Subdivision No. 7362).
- C. On January 21, 2003, the City Council held a duly noticed public hearing to consider an amendment to various Planned Developments in the City, including the San Marco PD-1057, which would increase the maximum allowable lot coverage standard for lots smaller than 8,000 square feet. On February 3, 2003, the City Council adopted Ordinance No. 03-1204 amending the maximum lot coverage standard accordingly.
- D. On August 7, 2006, the City Council held a duly noticed public hearing to consider a 2nd amendment to San Marco PD-1057, as amended by Ordinance 03-1204, that would modify the text of various provisions of the ordinance

pertaining to parks in the San Marco Development. The amendment would also serve to clarify that development standards not specified in the PD ordinance were to be established by the respective resolutions of design review approval adopted by the Planning Commission or Zoning Administrator, as applicable. On August 21, 2006, the City Council adopted Ordinance No. 06-1270 amending the San Marco PD-1057 accordingly.

- E. On October 15, 2012, the City Council adopted Ordinance No. 12-1362 approving an amended development plan for San Marco for the purpose of transferring 176 units from townhouse Village 'O' located in the southwest quadrant of San Marco Boulevard and West Leland Road, to single-family Village 'A' (proposed 'Toscana' neighborhood) located in the northeast quadrant of San Marco Boulevard and West Leland Road.

- F. Conditions of approval of PD-1057, as amended, required specific design elements to be incorporated in the San Marco Development house plans. These design elements are identified in Ordinance No. 93-1057, as amended, and include a requirement for concrete tile roofs (Condition 6) and subdued colors that would integrate into the hillside landscape (Condition 7).

- G. On November 28, 2000, the Planning Commission adopted Resolution No. 9180 approving six floor plans, each with three unique exterior elevations, for houses to be built in Unit 1 (Serrano) of the San Marco Development. The developer continued to use these approved house plans and elevations in the construction of Unit 2 of the San Marco Development.

- H. On September 25, 2012, the Planning Commission adopted Resolution No. 9918, delegating certain types of design review projects to the Zoning Administrator. Section 7 (New Model Homes in Approved Subdivisions) of Planning Commission Resolution No. 9918 authorized the Zoning Administrator to consider design review applications for new model homes in approved subdivisions, provided that the new model homes conformed to the approved zoning development standards and were consistent with the general size, quality of architecture and materials, and general character of the originally approved models.

- I. On June 23, 2020, a Notice of Intent to exercise staff delegated authority for this project was included on the Planning Commission agenda.

- J. The proposed house plans and elevations are governed by the standards in Ordinance No. 93-1057, as amended, and with the City's adopted Design Review Guidelines (Planning Commission Resolution No. 9864) and the City's General Plan. Additional standards that the Zoning Administrator must use in determining whether to approve a design review application is listed in Pittsburg Municipal Code (PMC) section 18.36.220 (B).

- K. On June 24, 2020, the Zoning Administrator reviewed Administrative Design Review Application No. 20-1516.

Section 2. Findings

- A. Based on all the information contained in the Planning Division files on this project, incorporated here by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburgh, and based on evidence presented to the Zoning Administrator on June 24, 2020, the Zoning Administrator finds that:
1. All recitals above are true and correct and are incorporated herein by reference.
 2. In accordance with the requirements of PMC 18.36.220 (B):
 - a. The proposed single-family houses comply with Conditions 6(b) and 7 of the development plan specified in Ordinance No. 93-1057, as amended, which designates the site for single-family development. In accordance with the PD Ordinance, each elevation of the proposed house models has tile concrete roofs (Condition 6(b)). Main colors proposed to be used on the houses' exteriors include shades of beige, brown and gray-green that can be found on other approved models in the San Marco Development. Beige tones that are proposed reflect the gold seen in grasses that grow in the hills in the dry months of the year (Condition 7).
 - b. The additional house plans and elevations conform with good taste and design in their appearance and in general contribute to the character and image of the City as a place of high quality, in that the houses would have architectural embellishment of side and rear elevations that abut and are visible from streets, in order to suggest the illusion that decorative details (such as window trims and wainscoting) are extended around all four elevations of the house (360 degree architecture). In order to give the appearance that proposed decorative shutters are functioning, elevations with the shutter detail should be adjusted so that each shutter is roughly half the width of the window to which it abuts (where shutters flank both sides of the window) or roughly equal to the width of the window (where only one shutter is placed alongside the window).
 - c. The additional floor plans and elevations have an exterior design and appearance that is not of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value, in that the plans indicate building materials and an architectural style that are the same as those used on homes in the

San Marco Development, and proposed earth-toned colors that are reflected in the surrounding hills.

- d. The additional floor plans and elevations are in harmony with proposed developments on land in the general area, in that they are of a design that is intended to be compatible with existing residential development in the vicinity by matching construction materials (stucco, stone veneer, shutters, flat and barrel tile roofs) and Mediterranean architectural elements with those used on other houses built in San Marco.

- e. The proposed house elevations are generally consistent with the City's adopted Development Review Design Guidelines (DRDGs) for single-family residential development. The exterior elevations include concrete tile roofs, grid-paned windows on select elevations, window trim on all elevations, roof slopes of 5:12 and 6:12, and two-car garages that will not occupy more than 60 percent of the width of the lots on which the plan will be built, consistent with DRDGs I.a, I.b, I.f and I.j. In an attempt to comply with DRDG I.a encouraging 360 degree architecture, the applicant has proposed window trim for side and rear elevations of each model, and has extended ledge details to all four sides of two-story houses. Proposed extension of decorative wainscoting details from the front around corners to the fence line also gives the impression that the detail extends around the whole house and reduces the impression that the veneer is just a façade detail.

Section 3. Decision

- A. Based on the findings set forth above, the Zoning Administrator hereby approves the project plans for Administrative Design Review Application No. 20-1516, for construction in Unit 13 and subsequent units of the San Marco Development, subject to the following conditions.

Design Review:

- 1. The homes shall be built in substantial conformity with the project plans, consisting of the master plotting plans, architectural drawings, materials and color board, and landscape architectural construction documents date-stamped May 28, 2020, and as shown on the attached Exhibit A, except as modified by the conditions below.
- 2. The houses shall be constructed in compliance with City Council Ordinance No. 93-1057, as amended by Ordinances Nos. 03-1204, 06-1270, and 12-1362, rezoning the property to PD District.

3. All houses constructed in San Marco Unit 13 (Village E) shall comply with the maximum lot coverage standards established by Ordinance 03-1204, and shall have the following minimum yard requirements, as summarized below:
 - a. **Maximum Lot Coverage:** 40 percent for all lots with 8,000 or more square feet; 50 percent for two-story houses built on lots with less than 8,000 square feet; and 55 percent for one-story houses built on lots with less than 8,000 square feet;
 - b. **Minimum Front Yard:** 15 feet between the front property line and nearest wall of the house, 10 feet between the front property line and any porches or architectural projections, and 18 feet between the garage door and the back of the sidewalk in front of the house;
 - c. **Minimum Side Yard:** 4 feet;
 - d. **Minimum Corner Side Yard:** 10 feet;
 - e. **Minimum Rear Yard:** 5 feet.
4. Prior to issuance of building permits for each home, the developer shall submit individual plot plans for each home. Plot plans shall be subject to review by the Planning and Engineering Divisions in order to ensure compliance with the development standards, regulations of this resolution, Ordinance No. 93-1057, as amended, and the City's standard specifications, including those for driveway grades. Except where specified in this resolution and Ordinance No. 93-1057, as amended, use and development regulations shall be the same as those of the RS-4 (Single-Family Residential) District.
5. The developer shall install, on each residence, minimum four-inch high block style numbers that contrast with the building façade for address identification. The numbers shall be in a color that is contrasting to the background surface to which they are adhered and shall be readily visible from the street. The construction drawings submitted for each house plan shall identify the location of the address box or number(s) on the house façade, along with a detail or keynote that describes how the house number will be illuminated or made identifiable from the street.
6. Prior to occupancy of the homes by residents, the developer shall complete installation of landscaping and automatic irrigation systems in street landscape areas and front and corner side yards of respective residential lots, in accordance with Article VII (Landscaping, Irrigation and Hydros seeding) of PMC Chapter 18.84 or other applicable water efficient landscaping ordinance, subject to approval by the Planning and

Engineering Divisions. The developer shall provide the irrigation system controller map, programming table, and annual maintenance schedules to new owners upon sale/transfer of ownership of the residential property from the developer to the buyer. Typical front yard landscaping shall include a minimum of one street tree and one smaller ornamental tree per lot, along with a combination of lawn, accent shrubbery and ground cover. If required landscaping is not completed prior to final inspection and occupancy, the developer shall post a bond to assure that the work is completed to the satisfaction of the City.

7. The developer shall provide estimated water use calculations to show compliance with the City's water efficient landscape ordinance.
8. The developer shall include, as part of the options package for buyers of single-family houses in the development, an option that includes installation of one or more rain barrels or similar rainwater harvesting system on the property, for purposes of non-edible plant irrigation.
9. The developer shall make available to potential buyers brochures or other written or graphic media that informs visitors and potential buyers about the principles of water-efficient landscapes, including but not limited to those principles that are described in PMC chapter 18.84, article VII.
10. The developer shall fence all rear and side yards of all residential parcels with board-on-board redwood fencing in conformance with the height and sight distance regulations of the Zoning Ordinance and subject to approval by the Planning Division, except where such rear or side yard is enclosed by a masonry subdivision wall. View fences may be installed in lieu of board-on-board fencing in order to preserve views, but must be approved by the Planning Division prior to installation. Barbed wire fencing is prohibited.
11. Garage doors installed on each residential unit shall be equipped with automatic openers.
12. Air conditioning units shall be placed along the wall in the rear or side yards with a minimum of three feet unobstructed access around the unit, except that one side of the unit may have less than a three-foot separation between the unit and a wall of the house.
13. No more than two of the same model homes shall be adjacent to one another. No two homes of the same model shall be constructed directly across the street from a third house of the same model.
14. No two of the same models that are adjacent to one another or located directly across the street from one another shall have the same elevation or color scheme.

15. Decorative attic vents shall be painted in the contrasting trim or accent color.
16. Roof vents shall be painted the same color as roofing material to which they are adjacent. Downspouts, side vents, attached utility boxes and hose bibs shall be painted the same color or colors as the surface or surfaces to which they are adjacent.
17. Each decorative shutter installed on the houses shall be approximately equal to the width of the window to which it is adjacent (for single shutters), or at least half the width of the window to which it is adjacent (where two shutters flank either side of the window), in order to appear as a functioning, closeable shutter.
18. The model and elevations approved by this resolution may be constructed in future phases of the San Marco Development, subject to the conditions of this resolution.

Engineering Conditions:

19. The developer shall provide appropriate wind erosion control in addition to site erosion and sedimentation controls as required in the project Storm Water Pollution Prevention Plan. The developer shall apply water or other dust palliatives to prevent or minimize dust nuisance.
20. All public and pedestrian facilities shall be designed in accordance with Title 24, Handicap Access, and the California Department of State Architect's standards for accessibility compliance. Residential driveway approaches are to be constructed in accordance with City standard detail R-2.
21. The developer shall pay the City of Pittsburg Facilities Reserve Charge (PMC Chapters 13.08, 13.12 and 13.24) (the "FRC") for water and sewer service in the amounts in effect when the applicant obtains a building permit. The developer understands that the current water FRC is described in the fee schedule approved by Resolution No. 12-11778, effective April 21, 2012, a copy of which is available at the City. The water and sewer FRCs shall be paid prior to the issuance of a building permit. If there is a conflict with the requested fees in this condition and the agreed upon fee schedule in the San Marco Development Agreement, the terms of the Development Agreement shall govern.
22. The developer shall pay the Regional Transportation-Development Impact Mitigation Fee (PMC Chapter 15.103) (the "RTDIM") amount in effect when the applicant obtains a building permit. The RTDIM will be

automatically increased or decreased on January 1 of each year based on the percent change in the Engineering News-Record Construction Costs Index – San Francisco Bay Area, between September 1 and September 1 of the preceding two calendar years.

23. The developer shall continue to incorporate best management practices during the construction phase of the homes, in accordance with the SWPPP submitted to the Regional Water Quality Control Board.

24. The developer shall incorporate long-term best management practices (BMP's) for the reduction or elimination of storm water pollutants. The project design shall incorporate wherever feasible, the following long term BMPs to limit pollutant generation, discharge, and runoff. Such source control design measures may include:

- a. Incorporating landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices;
- b. Use pavers for walkways and other appropriate hardscape surfaces as an option to buyers to minimize impervious areas;
- c. Minimizing the amount of directly connected impervious surface area;
- d. Marking of all storm drains with "No Dumping, Drains to Delta" permanent markings; and
- e. Constructing concrete driveway weakened plane joints at angles to assist in directing run-off to landscaped/pervious areas prior to entering the street curb and gutter.

Standard Conditions:

25. The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 shall apply as conditions of approval of this project, as applicable. Where there is a conflict between Planning Commission Resolution No. 8931 and the conditions identified herein, the specific conditions of this resolution shall apply. If there are any conflicts between this specific Resolution, Resolution No. 8931 and the agreed upon terms of the San Marco Development Agreement, the terms of the Development Agreement shall apply.

26. The developer shall comply with all the requirements of the City's Community Development Department, Contra Costa County Fire Protection District, and all other applicable local, state and federal

agencies. It is the responsibility of the developer to contact each local, state, or federal agency for requirements that may apply to this project.

27. Developer agrees to indemnify, defend, and hold harmless the City, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at applicant's sole cost and expense. Developer may select its own legal counsel to represent developer's interests at developer's sole cost and expense. Developer shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.
- 28.

The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code § 66020 (d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The developer is hereby notified the 90-day approval period in which you (the developer) may protest these existing fees, dedications, reservations and exactions, pursuant to Government Code § 66020 (a) has begun. If you (the developer) fail to protest within this 90-day period by complying with all of the requirements of § 66020, you (the developer) will be legally barred from later challenging such exactions.

29. This approval will expire on June 24th, 2022, unless a building permit or grading permit has been issued for the model approved by this resolution, or a written request for extension of this approval is filed with the Planning Division prior to the expiration date and is subsequently approved by the Zoning Administrator. The approval shall be valid for no more than six months from the date of permit issuance, unless work is commenced and diligently pursued prior to the expiration of the permit.

Section 4. Effective Date

This resolution shall take effect immediately upon adoption of this resolution.

The foregoing resolution was passed and adopted the 24th day of June, 2020, by the Zoning Administrator of the City of Pittsburg, California.



Kristin Polot, AICP
ZONING ADMINISTRATOR

STANDARD CONDITIONS OF DEVELOPMENT

(Planning Commission Resolution No. 8931)

All projects approved by the Planning Commission must meet the following standard conditions unless specifically exempted by the Commission or Council.

A. Project Site.

1. The applicant shall comply with all regulations and code requirements of the Building Division, Engineering Division, Contra Costa Fire Protection District, the Police Department and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final building and site plans.
2. Developer shall provide written notification to adjacent property owners for any drainage work required to collect or convey storm water runoff, which may or will affect their properties.
3. During construction water trucks or sprinkler systems are to be used in sufficient quantities to prevent dust from leaving the site during any earthmoving and/or construction activities. Nonpotable water shall be used from a source approved by the City Engineer. (Title 15 of PMC)
4. Continuous 6" high Portland Concrete Cement curbing shall be provided between all driveways and landscaped areas as indicated in the City of Pittsburg Standard Details. In addition to above, curbing between length of parking space and landscaped area shall include a 12" wide "Courtesy Curb."
5. CC&R's (Covenants, Conditions and Restrictions) for the project shall contain appropriate provisions for joint maintenance of any infrastructure, roadways, utilities, landscaping and irrigation as determined necessary by the City Engineer.
6. Developer shall submit a study addressing on and off-site storm water and sewer system capabilities. If the study indicates that the present system is inadequate, the developer must provide plans and install any additional storm water and sanitary and sanitary sewer facilities including off-site improvements to correct storm water runoff and sanitary sewer demands anticipated for upstream buildup in accordance with the Pittsburg General Plan.
7. Environmental and engineering studies, as directed by the Planning and Building Director, must be complete and on file prior to commencement to plan checking. Developer shall install off-street improvements determined necessary by the City Engineer to provide safe traffic conditions.
8. Developer shall underground existing and required on and off-site utilities as specified in Chapter 17 of the Municipal Code or as deemed necessary by the City Engineer.
9. All site development shall comply with title 12 (Streets, Sidewalks and Utilities), Title 13 (Water and Sewers) and Chapter 15.88 (Grading, Erosion and Sediment Control) of the Pittsburg Municipal Code as determined by the City Engineer. Issuance of a site development permit will be required whereby specific engineering requirements will be made as conditions of approval of that permit.
10. The CC&R's shall restrict the storage of recreational vehicles on this site or parcels unless they are the principle source of transportation for the

owner and prohibit parking on the public street for long than 72 hours.

11. All retaining wall adjacent to public right-of-ways shall be provided with decorative treatment, subject to approval by the Planning Division.

12. The design of any masonry soundwall shall be approved by the Planning and Building Department. It shall match or harmonize with existing soundwalls of neighboring projects along that street.

B. Architecture.

1. All mechanical, irrigation, ground and/or roof mounted equipment shall be architecturally screened from view from all public right-of-ways prior to issuance of certificate of occupancy.

2. All trash enclosures shall be constructed of masonry material with self-enclosing doors and have a second access. The enclosure shall have materials and colors consistent with the primary building.

3. All vents, gutters, downspouts, flashing electrical conduits, etc., shall be painted or finished to match the color of the adjacent surface unless otherwise directed by the Planning Commission.

4. Soffits and other architectural elements visible from view but not detailed on the plans shall be finished in a material in harmony with the exterior of the building.

5. Finish quality of exterior design elements including, but not limited to, building facades and landscaping shall be subject to approval of the Planning Division prior to issuance of Certificate of Occupancy.

C. Landscaping.

1. Specific landscaping for screening shall have an appearance of mature growth subject to a field check and approval by the Planning Division prior to Certificate of Occupancy.

2. The area under the drip line of all existing trees, which are to be saved, shall be fenced during construction. Grading shall be restricted under them to prevent soil compaction around the trees and to protect them from damage.

3. An existing tree inventory shall be created and included on the site plan for all new projects prior to approval of grading plan.

4. All slope banks in excess of five (5) feet in vertical height and 2:1 or greater slope shall be landscaped and irrigated for erosion control and to soften their appearance as follows: one 15-gallon or larger size tree per each 150 sq. ft. of slope area, one 1-gallon or larger size shrub per each 100 sq. ft. of slope area, and appropriate ground cover 12-24 inches on-center. In addition, slope banks in excess of eight (8) feet in vertical eight and 2:1 or greater slope also include one 5-gallon or larger size tree per each 250 sq. ft. of slope area. Trees and shrubs shall be planted in staggered clusters to soften and vary slope plane. Slope planting required by this condition shall include a permanent irrigation system to be installed by the developer prior to occupancy.

5. All planting shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, planting shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements. Required

irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to insure continued regular watering of landscape areas, and health and vitality of landscape materials.

D. General Requirements

1. Final inspection for occupancy permits will not be granted until all construction and landscaping is complete in accordance with approved plans.

2. The applicant shall defend, indemnify and hold harmless the City of Pittsburgh, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this approval, or any aspect of the City's consideration of applicant's project. The applicant recognizes and agrees that applicant's voluntary commitment to meet the obligations described in this condition is an integral factor in the City's approval of this project. The intent of this condition is to require the applicant to bear the cost of any and all litigation instituted to overturn or in any way modify the City's approval of this project. Such costs include without limitation, any award of attorney's fees and costs to a prevailing plaintiff or petitioner. In the event the city becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant and shall cooperate fully in the defense. If the City fails to promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, it both the following occur:
(a) the City bears its own attorneys' fees

and costs; and (b) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the applicant approves the settlement.

3. It is required by State Law (Business and Professional Code Section No. 5537 & 5538 and Section 302(b) of the Uniform Building Code) that all commercial buildings, new or existing must have a licensed professional designer (Architect, Civil or Structural Engineer) to design all changes of use or occupancy as well as new construction.

4. The applicant shall submit a complete area water pressure availability study for all phases of the Project prior to issuance of any development permits. If the study indicates that the present system is inadequate, the Applicant must provide plans, which will demonstrate any remedial action necessary to abate the deficiency and shall take all necessary actions at the applicant's expense.

5. This use permit may be recalled to the Planning Commission for review at any time due to complaints regarding lack of compliance with conditions of approval, traffic congestion, noise generation, or other adverse operating characteristics. At such time, the Commission may revoke the use permit or add/modify conditions approval.

6. It is the responsibility of the applicant or developer to check with each agency for requirements that may pertain to their project.

7. All signs shall be submitted to the Planning Division for design review per Title 19 of the Pittsburgh Municipal Code.

8. All landscape areas shall be maintained in a healthy, thriving and weed free condition.

9. The site shall be maintained in a neat and clean manner free of trash and debris.

10. All outdoor mechanical equipment, satellite dishes, fire main and all rooftop equipment shall be fully visually screened upon installation subject to the approval of the Planning Division. Screening devices shall be shown on construction and/or landscape plans.

11. All exterior light fixtures shall be shown on plans subject to staff review and approval. All lights attached to buildings shall provide a soft "wash" of light against the wall. All building and parking or yard lights shall conform to City Parking Standards 18.78.050 (F) and Performance Standards 18.82.030 (B) and shall compliment the site and building architecture.

12. Prior to occupancy, the developer shall supply the City with an ACAD computer disk file showing plans that reflect the project as it was build (As-Built) at the discretion of the Planning and Building Director.

E. Standard Conditions of Approval Requiring Minimum Construction Site Management Practices

1. (Projects involving land disturbances of less than five (5) acres) –

During construction activities, the project sponsor shall reduce or prevent to the maximum extent practicable the direct or indirect discharge of any pollutant into the storm drain system utilizing best management practices contained in the California Storm Water Best Management Practices Handbook for Construction Activities. Construction activities include, but are not limited to: watering operations; roadwork and paving operations; concrete and painting; structure construction and painting; construction material storage and

handling; construction waste/debris storage and disposal; and, construction equipment/vehicle cleaning, maintenance and fueling operations.

The project sponsor is also responsible for training all contractors and subcontractors on the best management practices which are identified in the California Storm Water Best Management Practices Handbook for Construction Activities which will be available at the pre-construct meeting of the project.

or

2. (Projects involving land disturbances of five (5) acres or more) –

Prior to commencement of any site work that will result in a land disturbance of five acres or more, the project sponsor shall submit to the City a copy of the Notice of Intent (NOI) sent the State Water Resources Control Board and the Stormwater Pollution Prevention Plan (SWPPP) prepared for the project, as required by the State's General Construction Activity Permit.

3. All storm drains, which serve the site, shall be protected from spills and soil runoff (from unpaved parking areas). The applicant may use "Any Source Control" BMP (Best Management Practice) as listed in the California Storm Water Best Management Practice Handbook for storm water run-off for commercial and industrial sites. Storm drains will be inspected periodically. Questions may be referred to City NPDES Coordinator, at 252-4920.

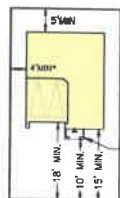


SAN MARCO UNIT 13

PITTSBURG, CA

 **DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

REAR YARD NOTE:
LOTS TO BE GRADED SO
THAT HOMES HAVE 20' MIN
FLAT AREA IN REAR YARD



*SIDE YARD NOTE:
10' MINIMUM ON
CORNER SIDES &
45' MINIMUM WHEN
RETAINING WALL, ON
PL

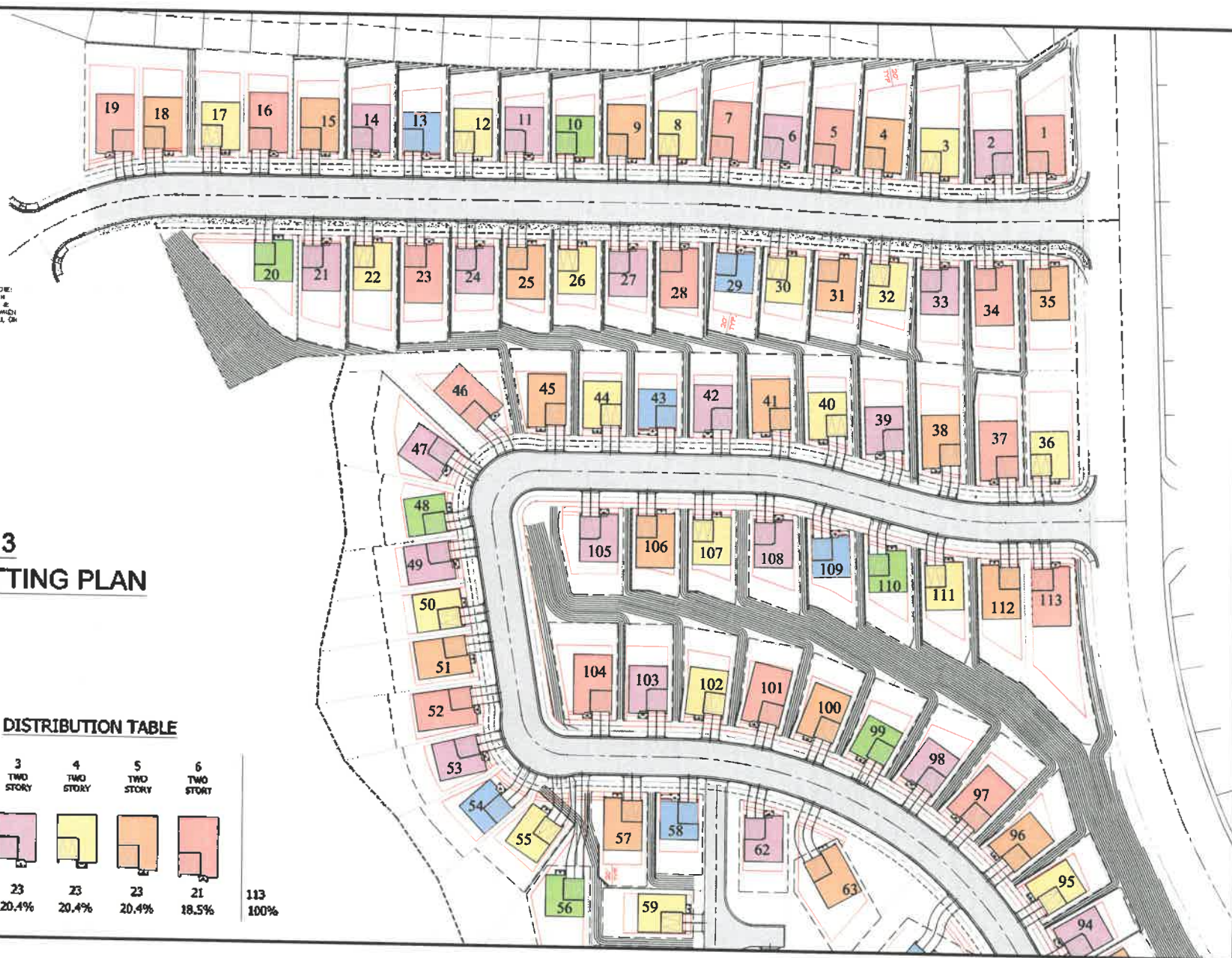
**TYPICAL MINIMUM
LOT SETBACKS**
N.T.S.

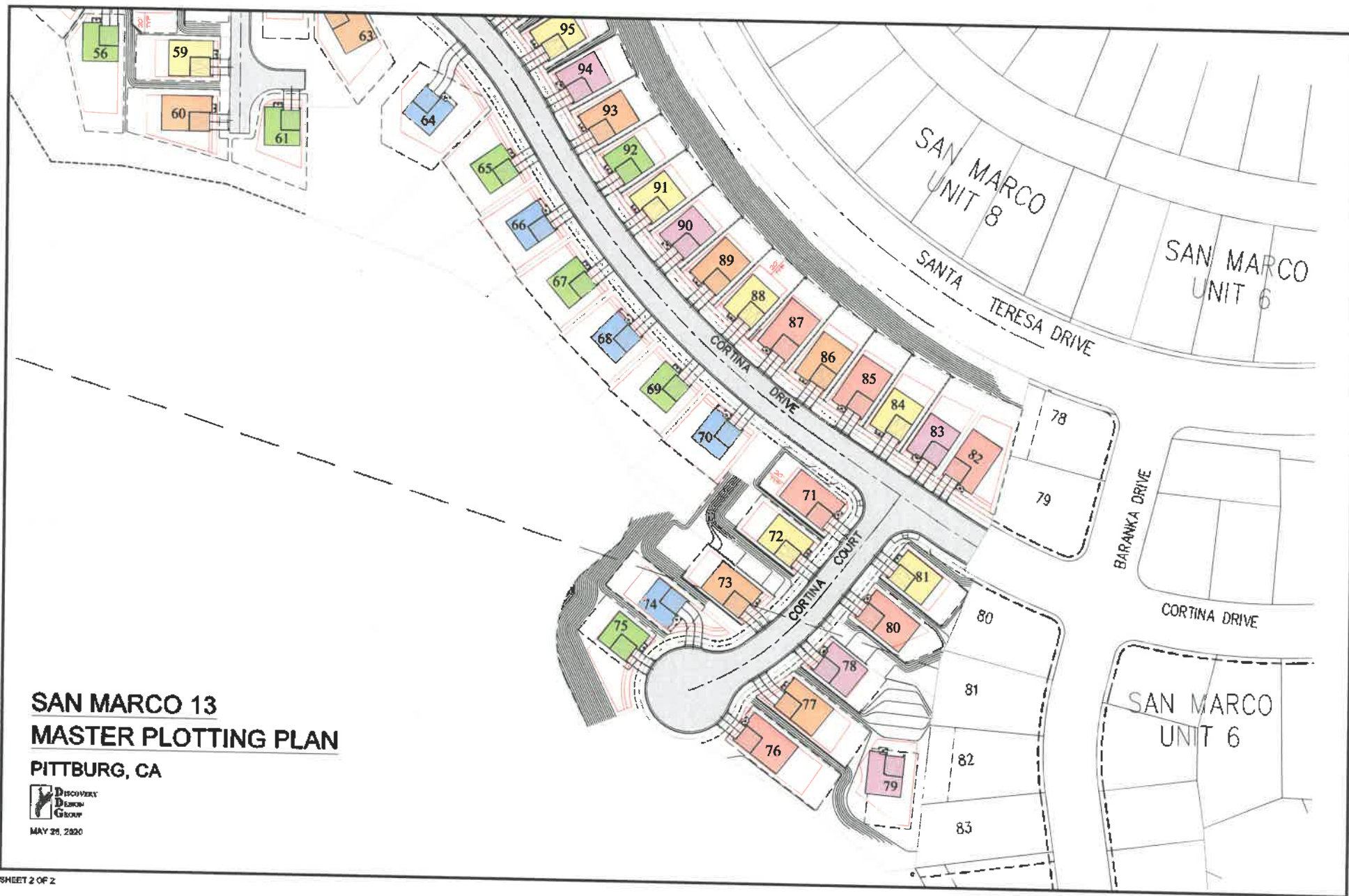
SAN MARCO 13 **MASTER PLOTTING PLAN** **PITTBURG, CA**

DISCOVERY
DESIGN
GROUP
MAY 28, 2020

DISTRIBUTION TABLE

PLAN#	1 TWO STORY	2 TWO STORY	3 TWO STORY	4 TWO STORY	5 TWO STORY	6 TWO STORY	
COUNT	11	12	23	23	23	21	113
PERCENT	9.7%	10.6%	20.4%	20.4%	20.4%	18.5%	100%







Elevation A - Scheme #1



Elevation C - Scheme #10

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
 HIP & GABLE END ROOFS
 STUCCO BODY
 STUCCO TRIM
 MOCK TILE VENTS
 SIMULATED BRICK VENEER
 ROLL-UP GARAGE DOORS
 IV OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
 HIP ROOFS
 STUCCO BODY
 STUCCO TRIM
 MOCK SHUTTERS
 SIMULATED STONE VENEER
 ROLL-UP GARAGE DOORS
 IV OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
 HIP & GABLE END ROOFS
 STUCCO BODY
 STUCCO TRIM
 MOCK VENTS
 MOCK SHUTTERS
 SIMULATED STONE VENEER
 ROLL-UP GARAGE DOORS
 IV OPT. WINDOW LITES

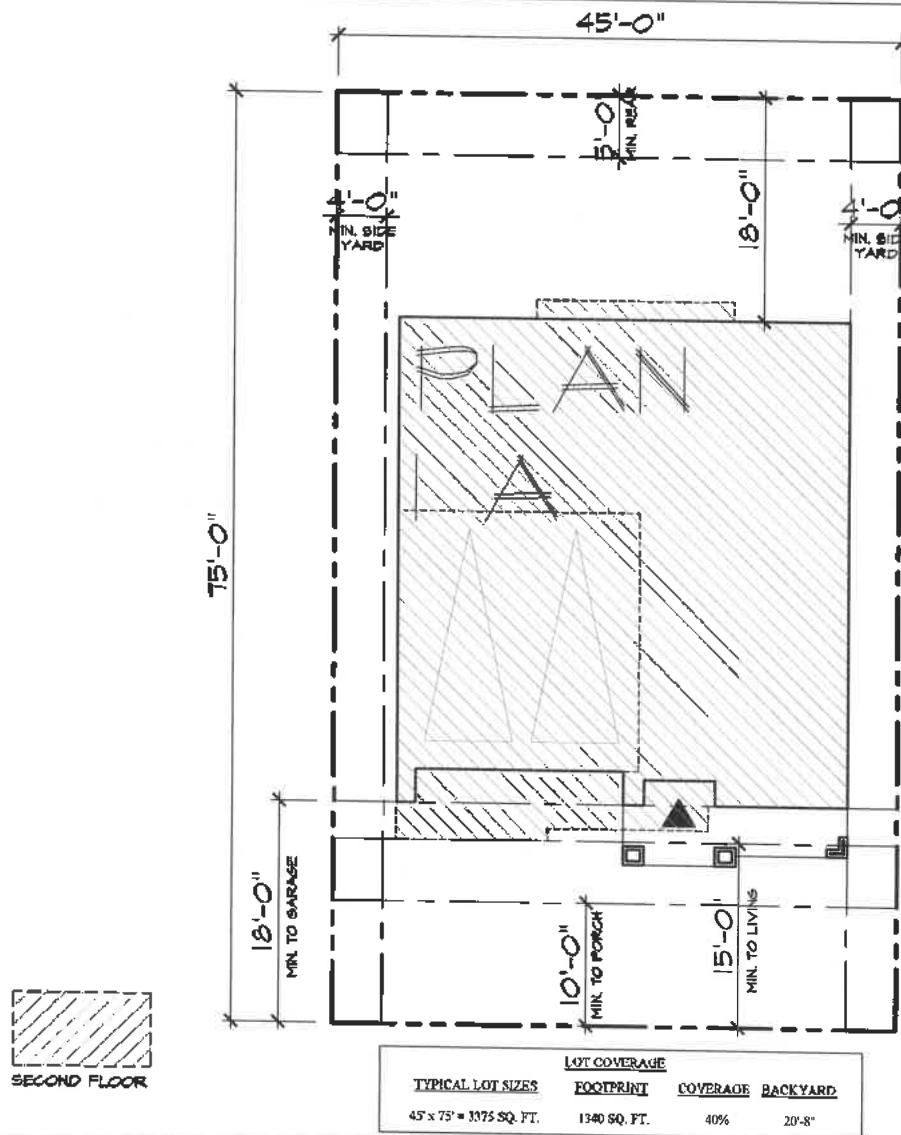


Elevation B - Scheme #8

Plan 1
Front Elevations
SAN MARCO
UNIT 13
 PITTSBURG, CA



Discovery Builders Inc.
 Date 05/28/2020



City of Pittsburg MINIMUM REQUIREMENTS

FRONT SETBACK - TO LIVING	15' MIN.
FRONT SETBACK - TO GARAGE	18' MIN.
SIDE YARD - SETBACK	4' MIN.
CORNER SIDE YARD - SETBACK	10' MIN.
REAR YARD - SETBACK	5' MIN.
PORCH SETBACK -	10' MIN.
LOT SIZE -	2,900 SQ. FT.

MAX COVERAGE - 2-STORY 50%

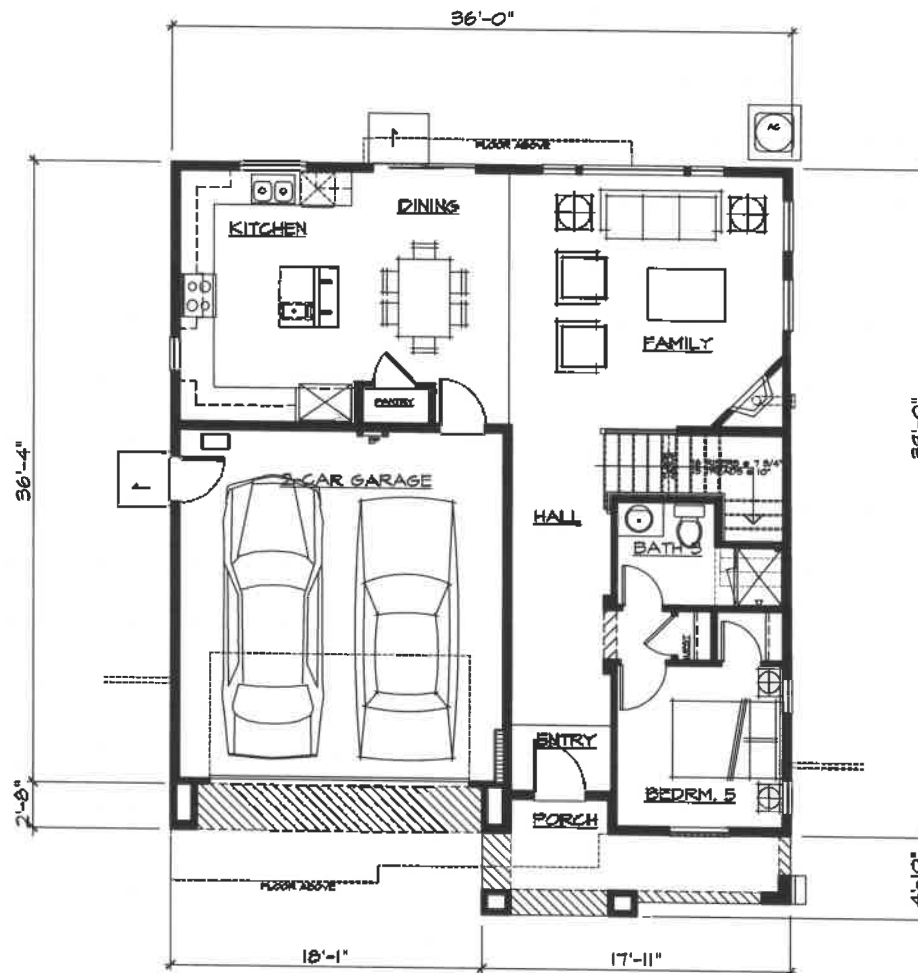
Plan 1 Site Plan



**SAN MARCO
UNIT 13**
PITTSBURG, CA

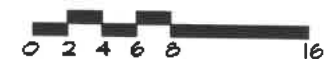


Discovery Builders Inc.
Date 05/28/2020



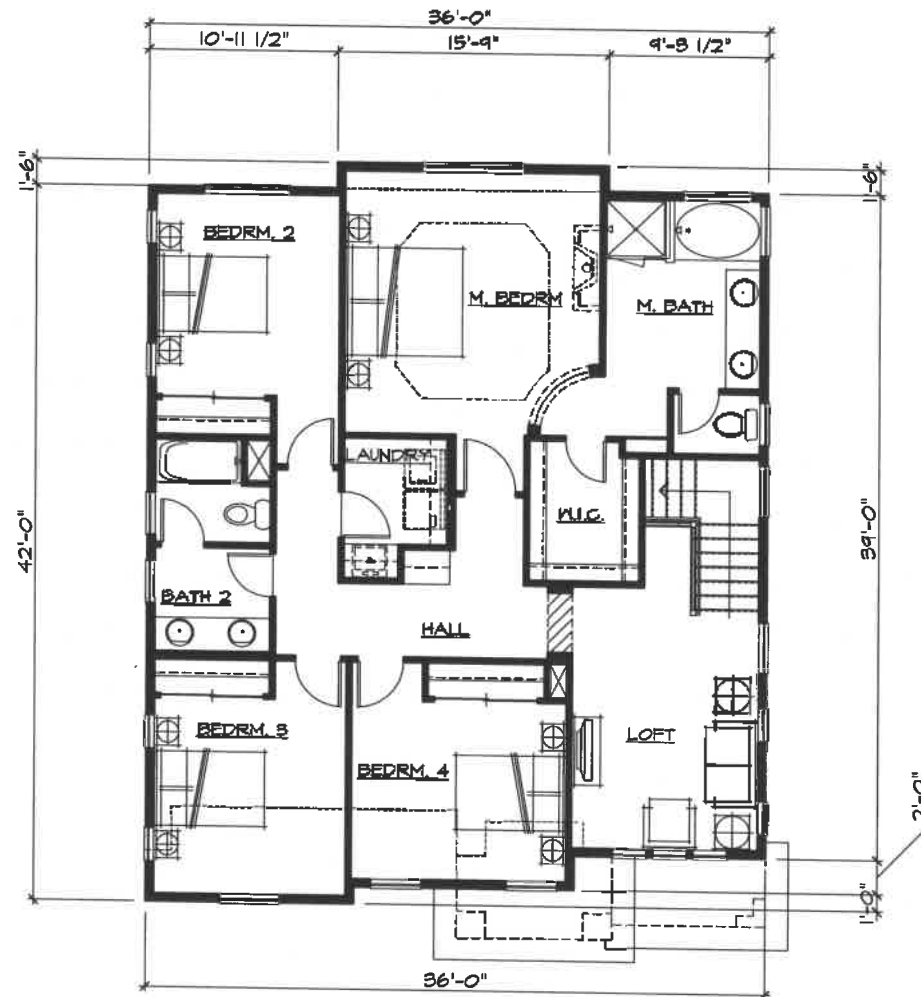
Plan 1
First Floor Plan

SQUARE FOOTAGE	
FIRST FLOOR	940 SF
SECOND FLOOR	1446 SF
TOTAL LIVING AREA	2387 SF
GARAGE	400 SF
PORCH	40 SF
FOOTPRINT	1480 SF



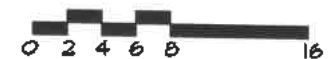
SAN MARCO
UNIT 13
PITTSBURG, CA

DISCOVERY
DESIGN
GROUP
Discovery Builders Inc.
Date 05/28/2020



Plan 1
Second Floor Plan

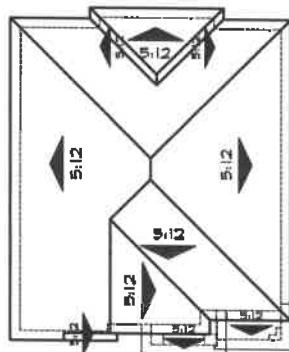
SQUARE FOOTAGE	
FIRST FLOOR	940 SF
SECOND FLOOR	1446 SF
TOTAL LIVING AREA	2387 SF
GARAGE	400 SF
PORCH	90 SF
FOOTPRINT	1430 SF



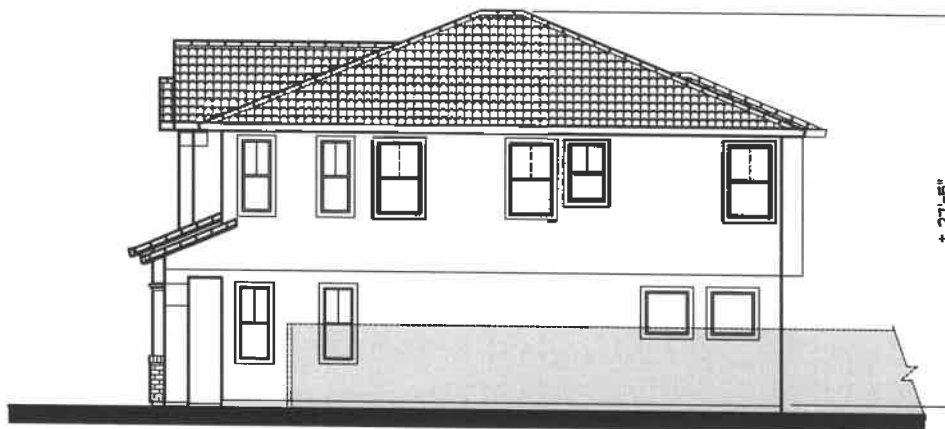
SAN MARCO
UNIT 13
PITTSBURG, CA



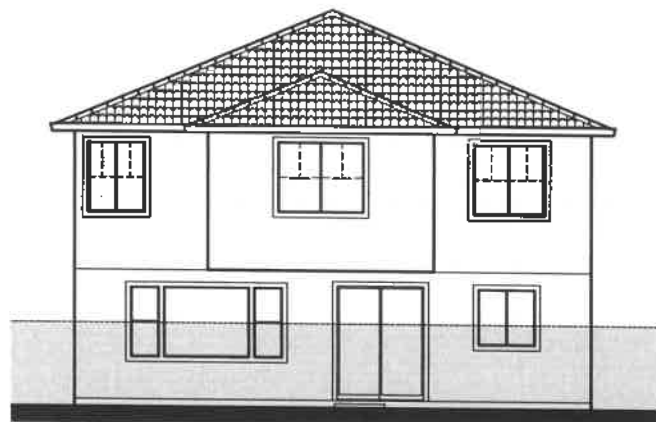
Discovery Builders Inc.
Date 05/28/2020



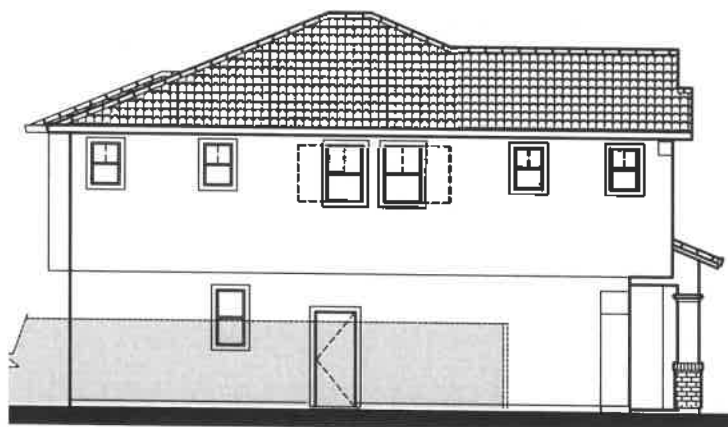
Roof Plan 'A'



Right



Rear



Left

**Plan 1
Elevations - 'A'**

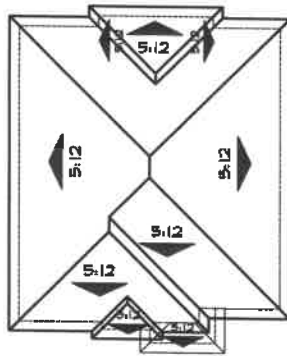


DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

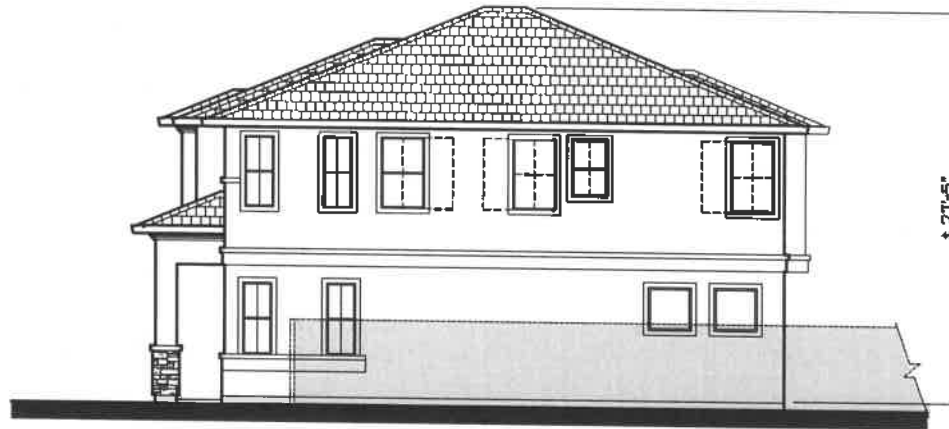
**SAN MARCO
UNIT 13**
PITTSBURG, CA



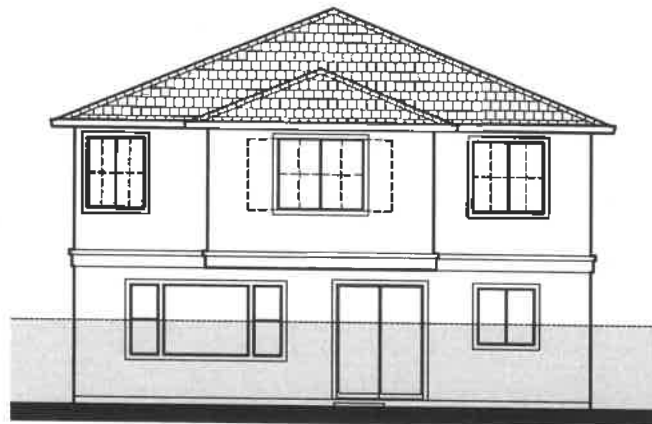
Discovery Builders Inc.
Date 05/28/2020



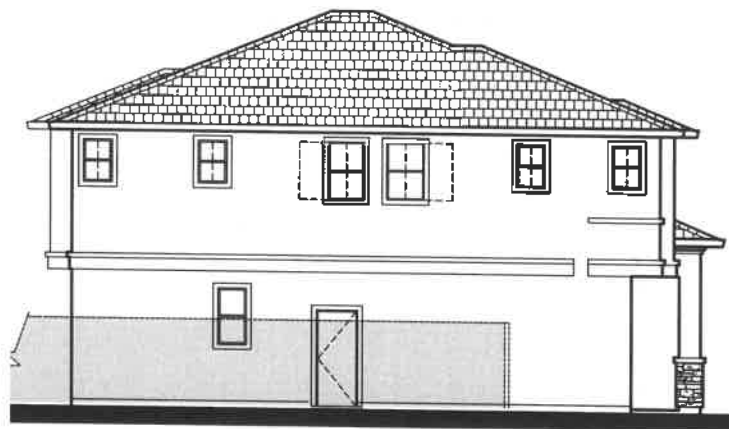
Roof Plan 'B'



Right

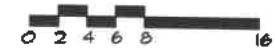


Rear



Left

**Plan 1
Elevations - 'B'**

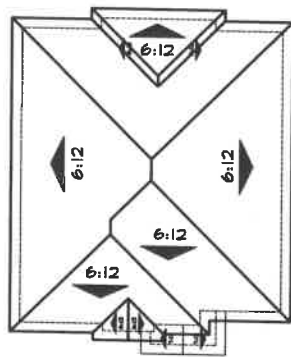


□ DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

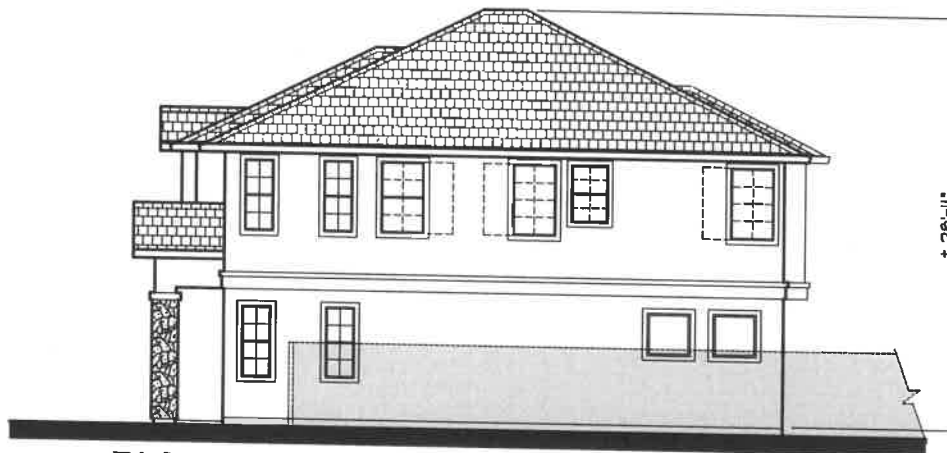
**SAN MARCO
UNIT 13**
PITTSBURG, CA



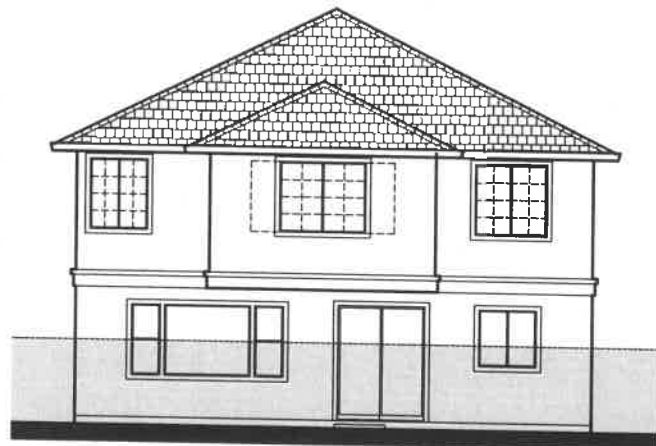
Discovery Builders Inc.
Date 05/28/2020



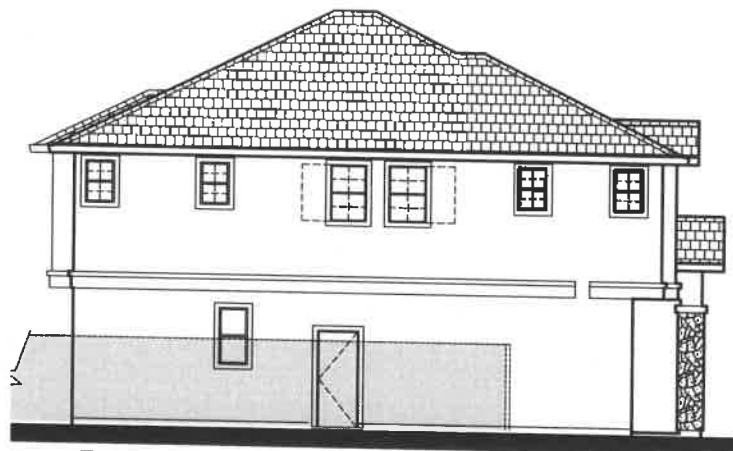
Roof Plan 'C'



Right



Rear



Left

**Plan 1
Elevations - 'C'**



DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

**SAN MARCO
UNIT 13
PITTSBURG, CA**

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020



Elevation A - Scheme #4



Elevation C - Scheme #9

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
SIMULATED BRICK VENEER
MOCK TILE VENTS
MOCK SHUTTERS
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM CORBELS
MOCK VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

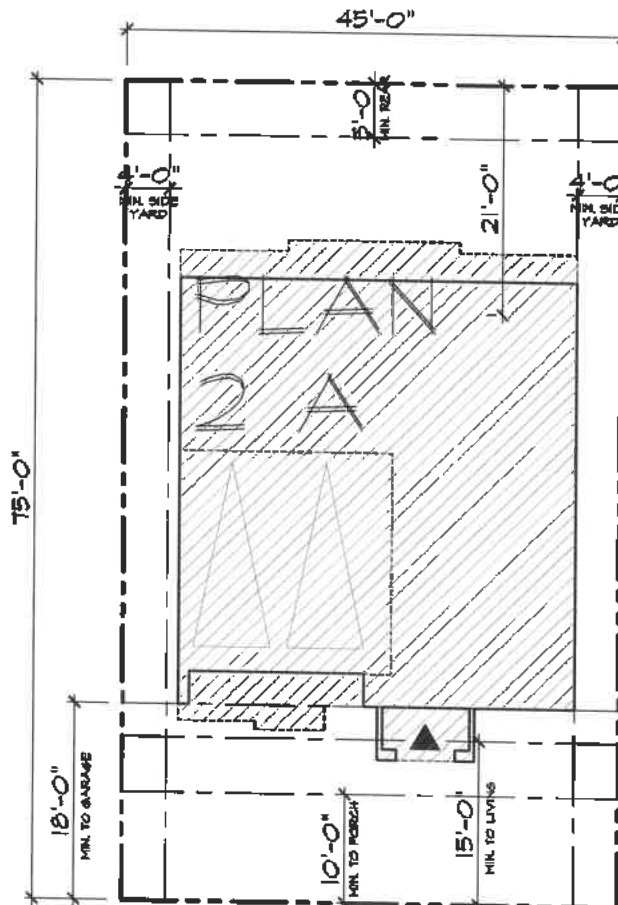


Elevation B - Scheme #6

**Plan 2
Front Elevations
SAN MARCO
UNIT 13
PITTSBURG, CA**



**Discovery Builders Inc.
Date 05/28/2020**



TYPICAL LOT SIZES			
LOT SIZE	FOOTPRINT	COVERAGE	BACKYARD
45' x 75' = 3375 SQ. FT.	1354 SQ. FT.	40%	21'-0"

City of Pittsburg

MINIMUM REQUIREMENTS

FRONT SETBACK - TO LIVING	15' MIN.
FRONT SETBACK - TO GARAGE	18' MIN.
SIDE YARD - SETBACK	4' MIN.
CORNER SIDE YARD - SETBACK	10' MIN.
REAR YARD - SETBACK	5' MIN.
PORCH SETBACK -	10' MIN.
LOT SIZE -	2,900 SQ. FT.

MAX COVERAGE - 2-STORY	50%
------------------------	-----

Plan 2

Site Plan



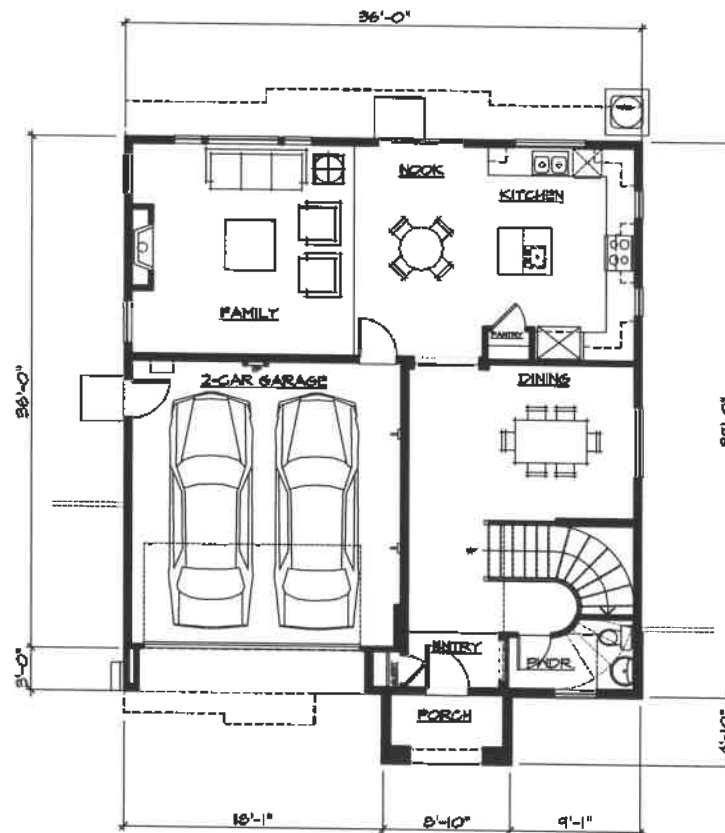
SAN MARCO

UNIT 13

PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



Plan 2
First Floor Plan

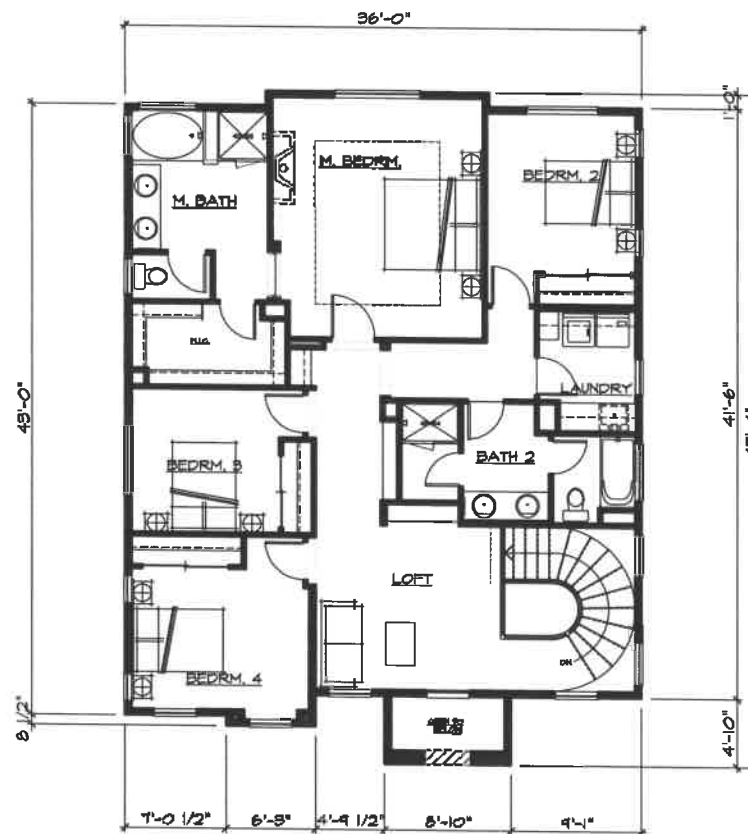
SQUARE FOOTAGE	
FIRST FLOOR	1969 SF
SECOND FLOOR	1441 SF
TOTAL LIVING AREA	2410 SF
GARAGE	341 SF
FOOTPRINT	1954 SF



SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020

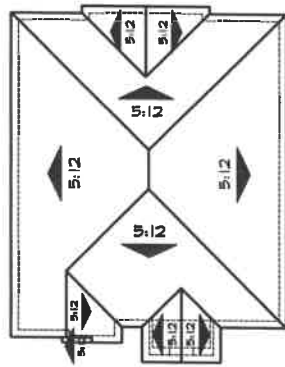


Plan 2
Second Floor Plan

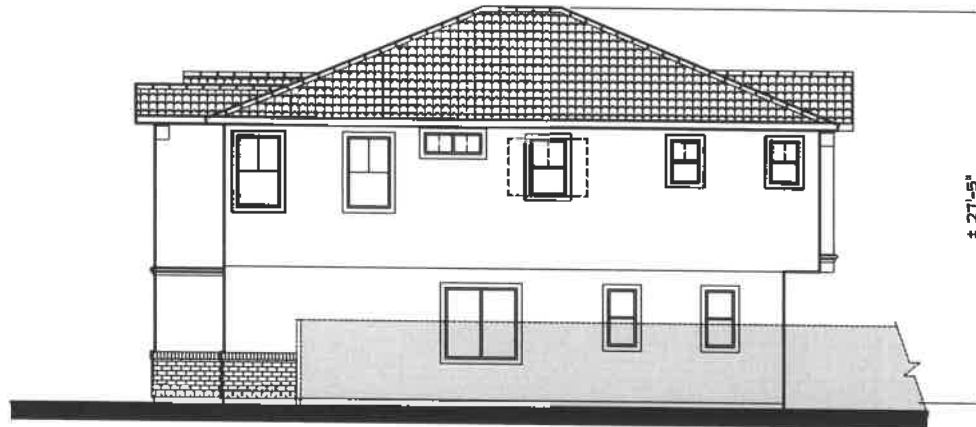
SQUARE FOOTAGE	
FIRST FLOOR	469 SF
SECOND FLOOR	1441 SF
TOTAL LIVING AREA	2410 SF
GARAGE	841 SF
FOOTPRINT	1954 SF



SAN MARCO
UNIT 13
PITTSBURG, CA
 **DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020



Roof Plan 'A'

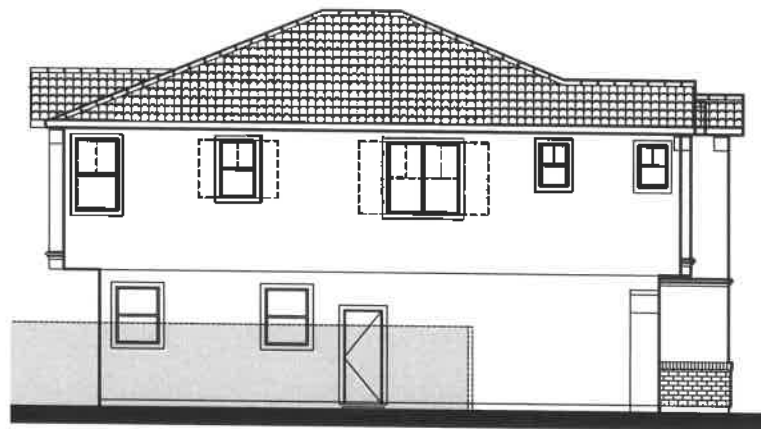


Right

± 27'-5"



Rear



Left

**Plan 2
Elevations - 'A'**

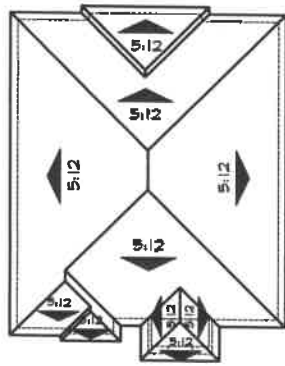


**SAN MARCO
UNIT 13
PITTSBURG, CA**

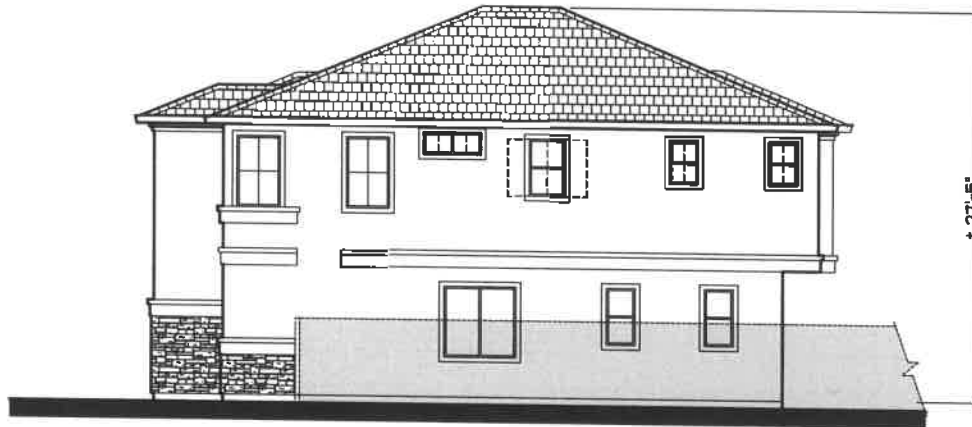


Discovery Builders Inc.
Date 05/28/2020

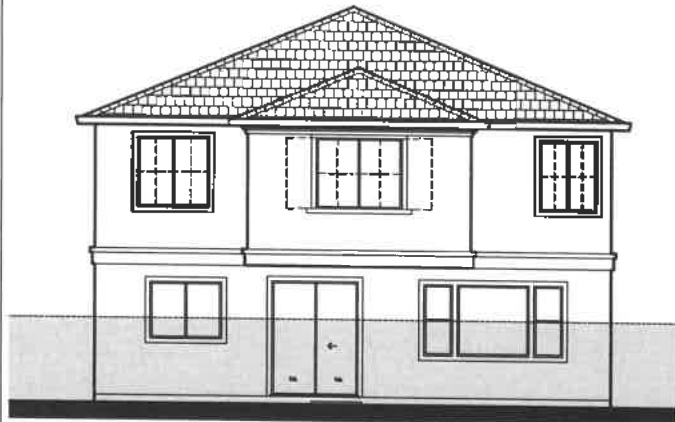
DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



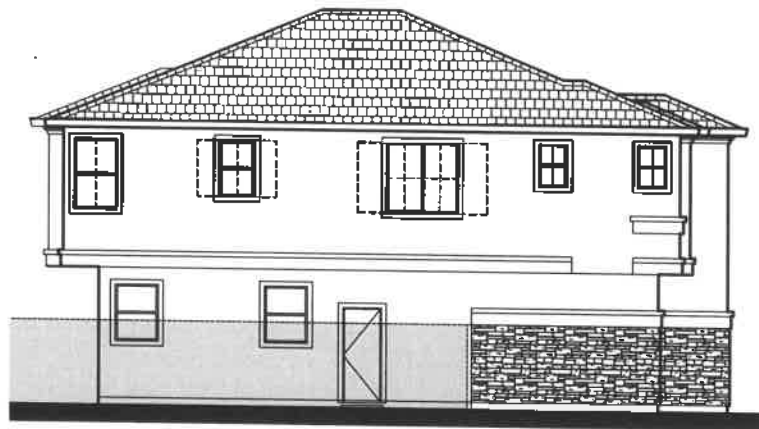
Roof Plan 'B'



Right

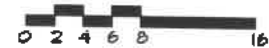


Rear



Left

**Plan 2
Elevations - 'B'**

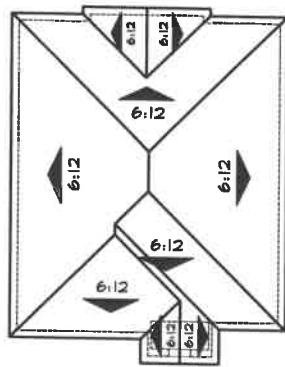


DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

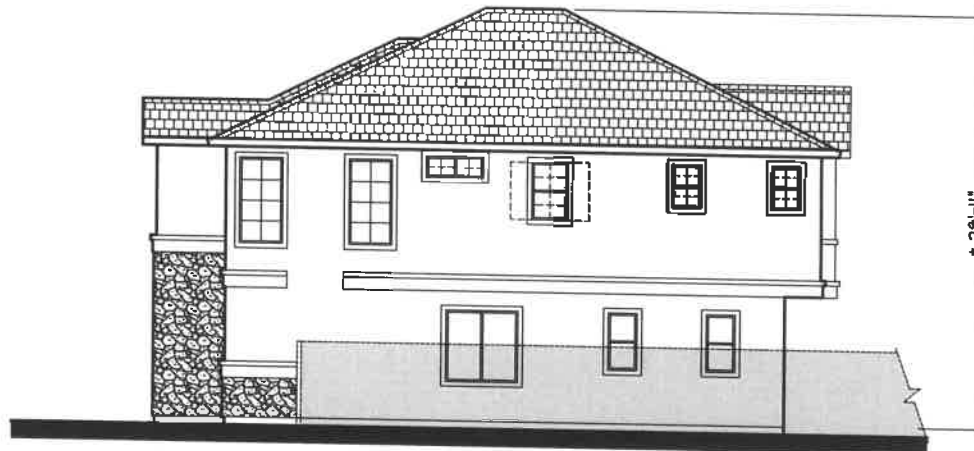
**SAN MARCO
UNIT 13
PITTSBURG, CA**



Discovery Builders Inc.
Date 05/28/2020

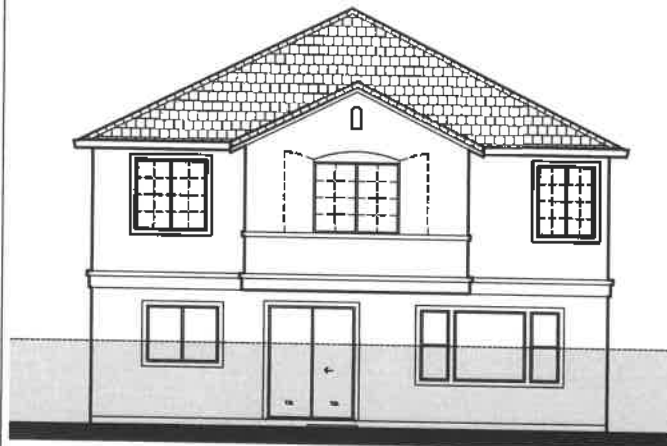


Roof Plan 'C'

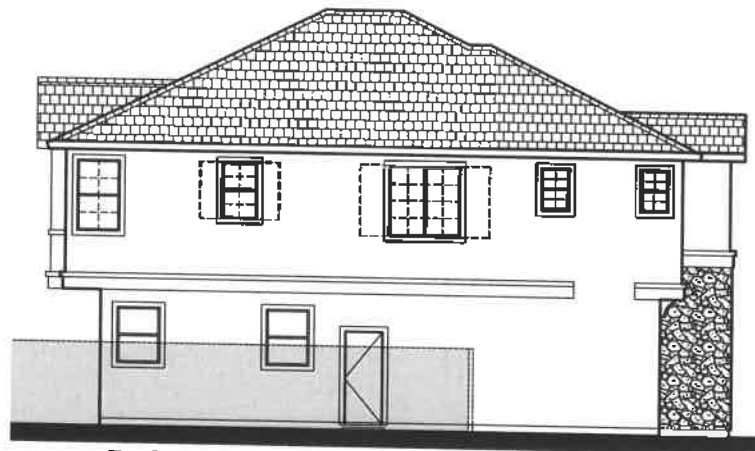


Right

± 28'-11"



Rear



Left

**Plan 2
Elevations - 'C'**



□ DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

**SAN MARCO
UNIT 13
PITTSBURG, CA**
 **DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
 Date 05/28/2020



Elevation A - Scheme #3



Elevation C - Scheme #12

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
MOCK TILE VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM CORBELS
MOCK VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

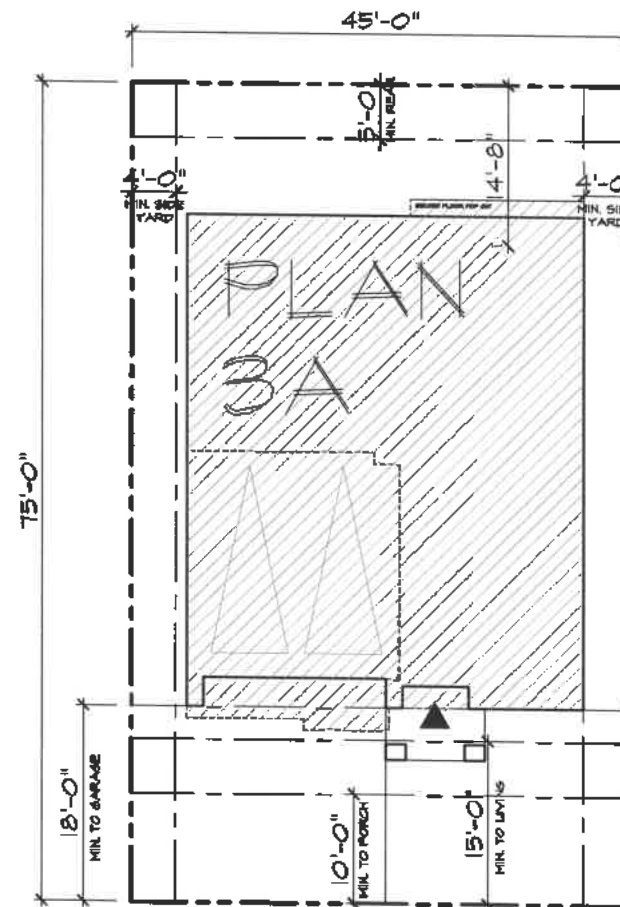


Elevation B - Scheme #8

Plan 3
Front Elevations
SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



LOT COVERAGE			
TYPICAL LOT SIZES	FOOTPRINT	COVERAGE	BACKYARD
45' x 75' = 3375 SQ. FT.	1556 SQ. FT.	46%	15'-0"

City of Pittsburg MINIMUM REQUIREMENTS

FRONT SETBACK - TO LIVING	15' MIN.
FRONT SETBACK - TO GARAGE	15' MIN.
SIDE YARD - SETBACK	4' MIN.
CORNER SIDE YARD - SETBACK	10' MIN.
REAR YARD - SETBACK	5' MIN.
PORCH SETBACK -	10' MIN.
LOT SIZE -	2,900 SQ. FT.

MAX COVERAGE - 2-STORY	50%
------------------------	-----

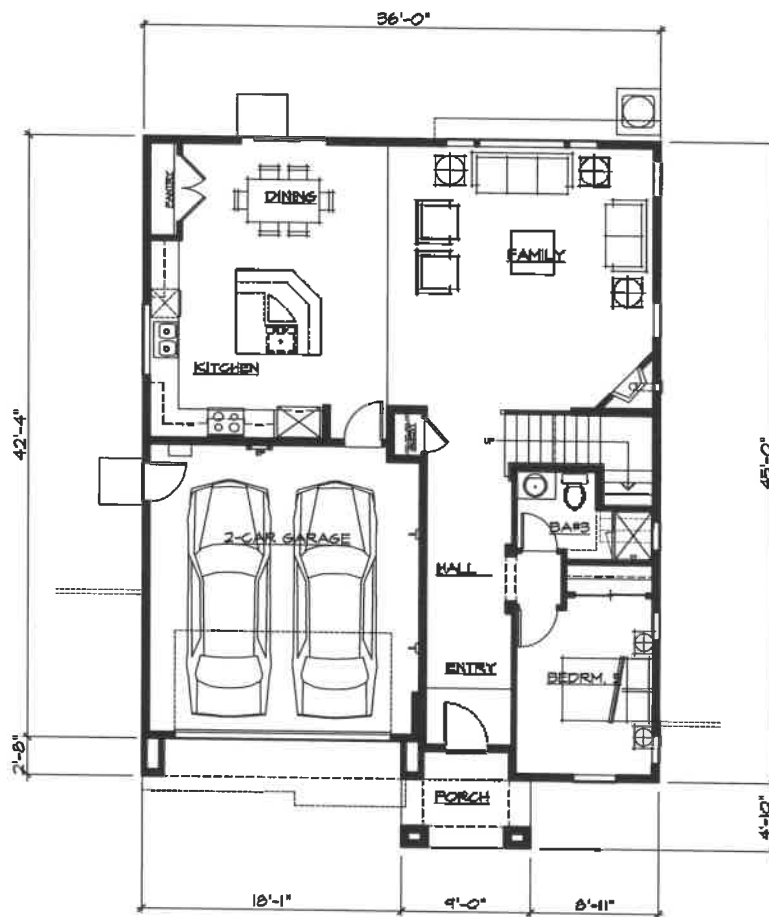
Plan 3 Site Plan



**SAN MARCO
UNIT 13
PITTSBURG, CA**

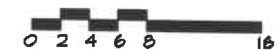


Discovery Builders Inc.
Date 05/28/2020



Plan 3
First Floor Plan

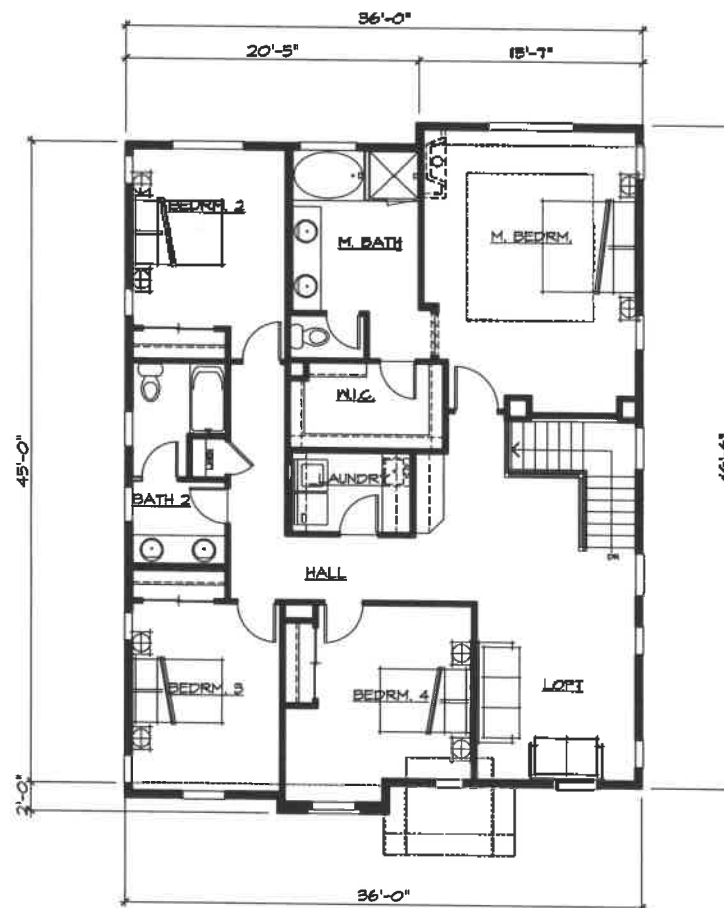
SQUARE FOOTAGE	
FIRST FLOOR	1154 SF
SECOND FLOOR	1011 SF
TOTAL LIVING AREA	2165 SF
GARAGE	341 SF
FOOTPRINT	1526 SF



SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020

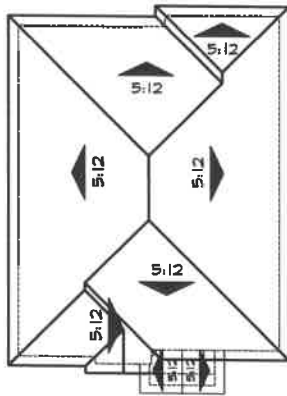


Plan 3
Second Floor Plan

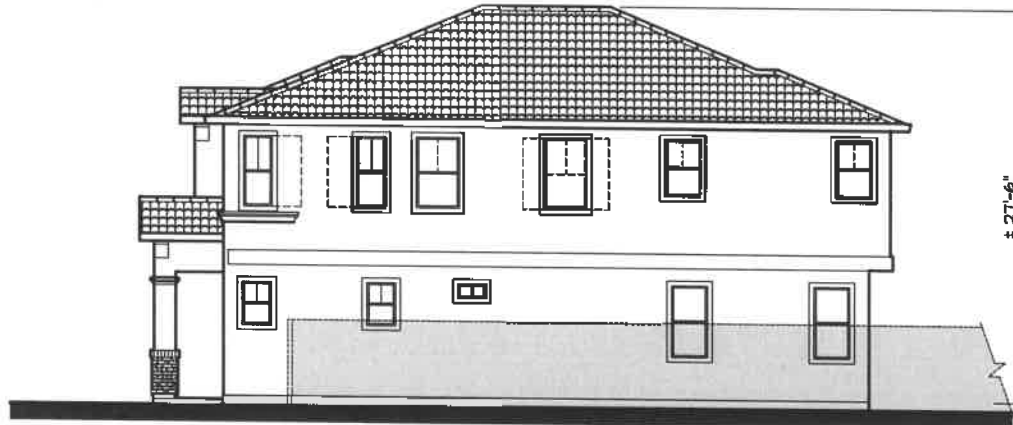
SQUARE FOOTAGE	
FIRST FLOOR	1154 SF
SECOND FLOOR	1611 SF
TOTAL LIVING AREA	2765 SF
GARAGE	341 SF
FOOTPRINT	1556 SF



SAN MARCO
UNIT 13
PITTSBURG, CA
 **DISCOVERY
DESIGN
GROUP**
 Discovery Builders Inc.
 Date 05/28/2020



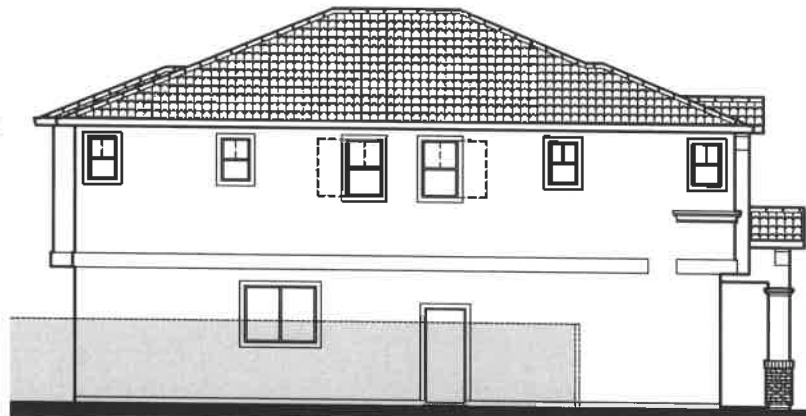
Roof Plan 'A'



Right

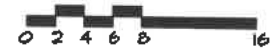


Rear



Left

**Plan 3
Elevations - 'A'**

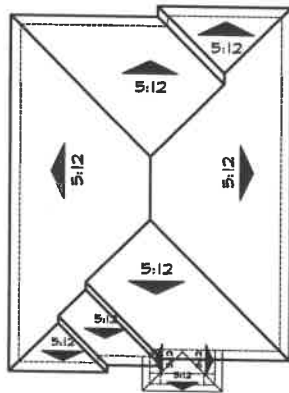


**SAN MARCO
UNIT 13**
PITTSBURG, CA

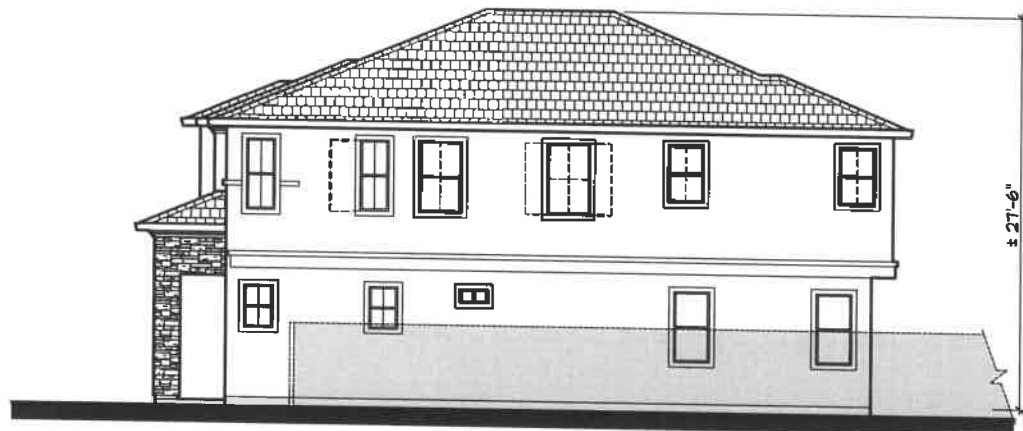


Discovery Builders Inc.
Date 05/28/2020

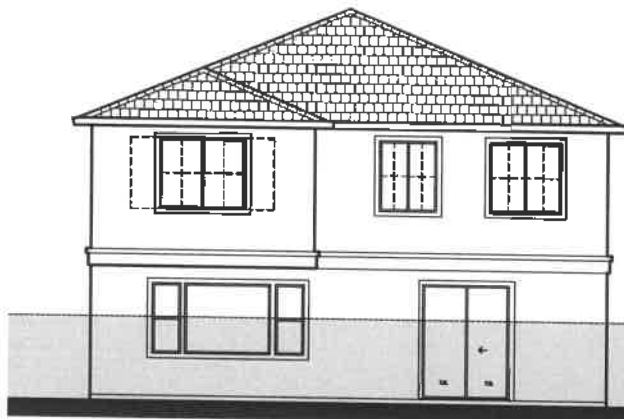
DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



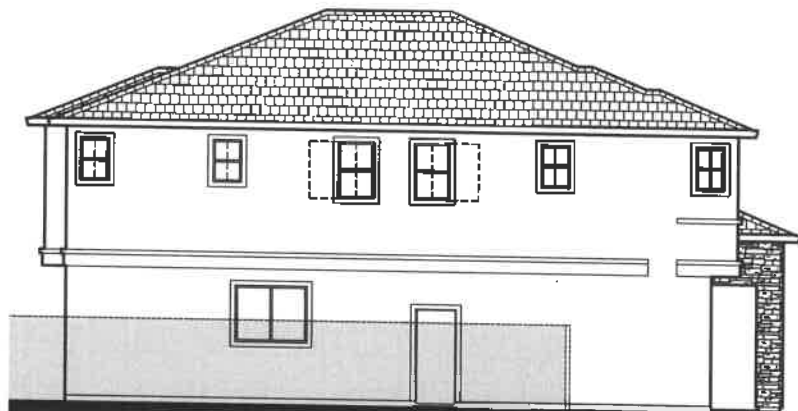
Roof Plan 'B'



Right



Rear



Left

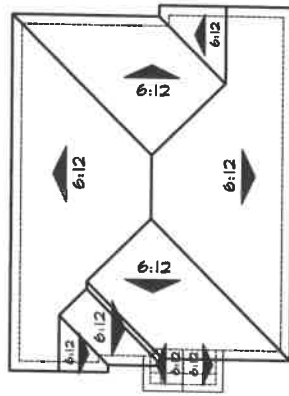
**Plan 3
Elevations - 'B'**



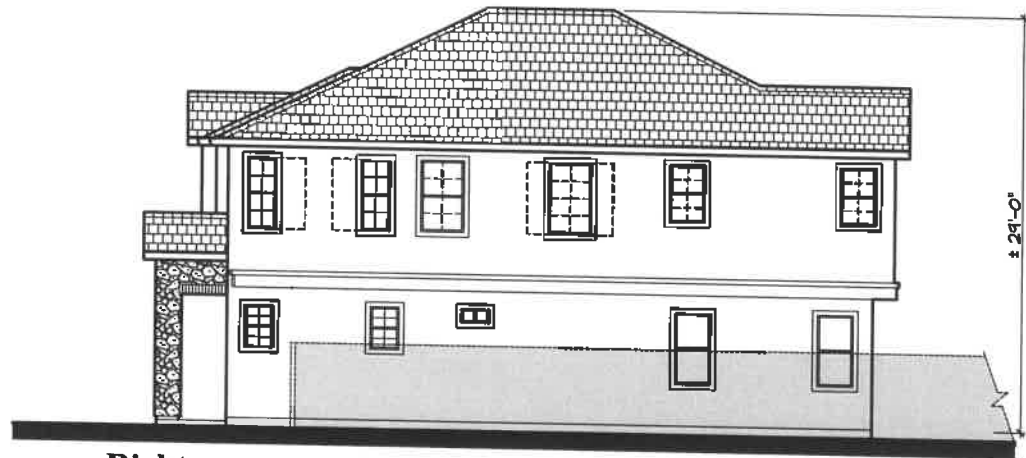
**SAN MARCO
UNIT 13
PITTSBURG, CA**

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

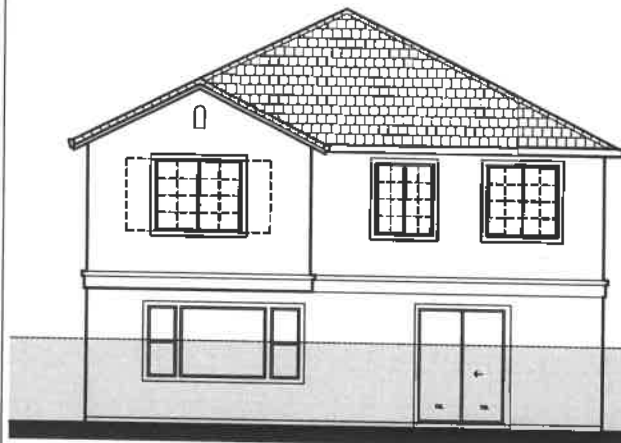
DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



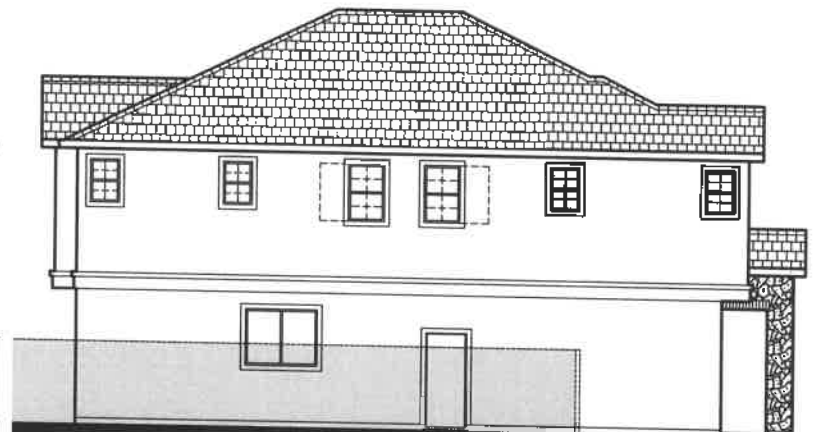
Roof Plan 'C'



Right



Rear



Left

**Plan 3
Elevations - 'C'**



□ DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

**SAN MARCO
UNIT 13**
PITTSBURG, CA

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020



Elevation A - Scheme #2



Elevation C - Scheme #11

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
SIMULATED BRICK VENEER
MOCK TILE VENTS
MOCK SHUTTERS
ROLL-UP GARAGE DOORS
W/ OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
W/ OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM CORBELS
MOCK VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
W/ OPT. WINDOW LITES

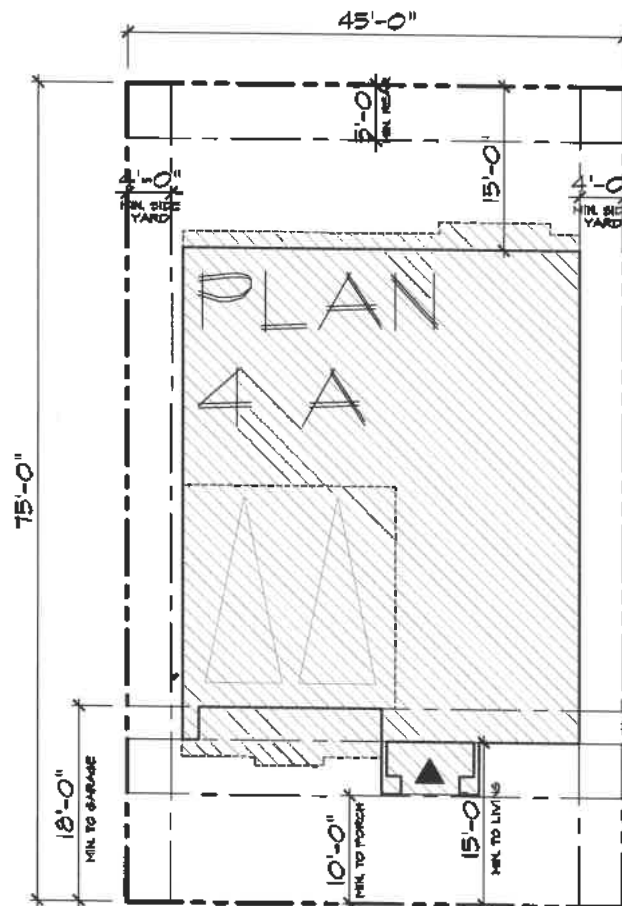


Elevation B - Scheme #5

Plan 4
Front Elevations
SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



LOT COVERAGE			
TYPICAL LOT SIZES	FOOTPRINT	COVERAGE	BACKYARD
45' x 75' = 3375 SQ. FT.	1561 SQ. FT.	46%	14'-8"

City of Pittsburg MINIMUM REQUIREMENTS

FRONT SETBACK - TO LIVING	15' MIN.
FRONT SETBACK - TO GARAGE	18' MIN.
SIDE YARD - SETBACK	4' MIN.
CORNER SIDE YARD - SETBACK	10' MIN.
REAR YARD - SETBACK	5' MIN.
PORCH SETBACK -	10' MIN.
LOT SIZE -	2,900 SQ. FT.

MAX COVERAGE - 50%
2-STORY

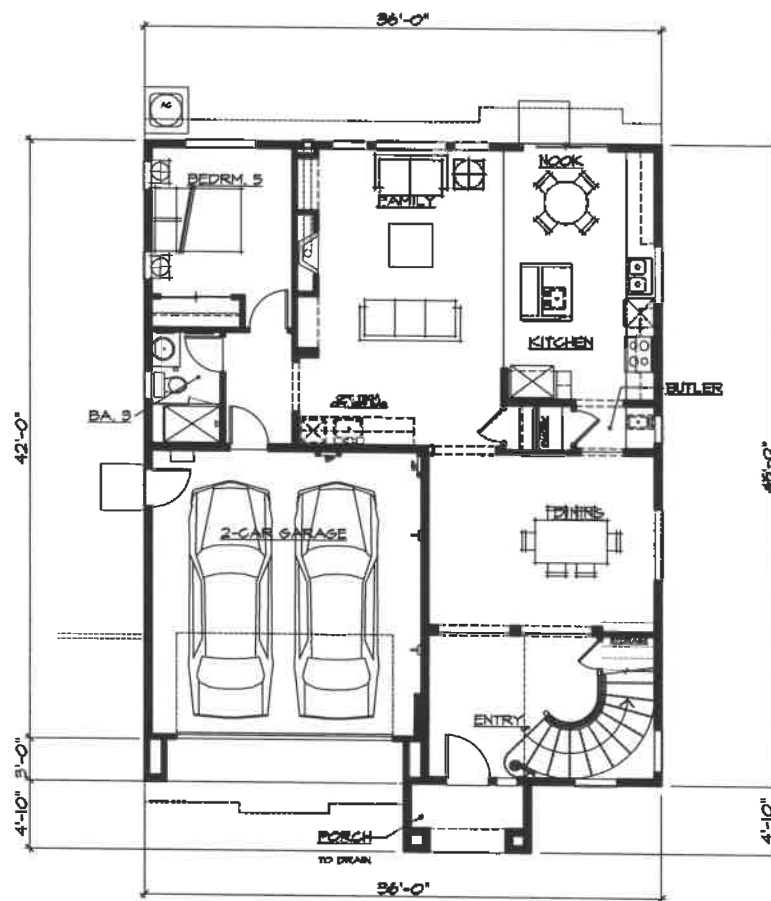
Plan 4 Site Plan



**SAN MARCO
UNIT 13**
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



Plan 4
First Floor Plan

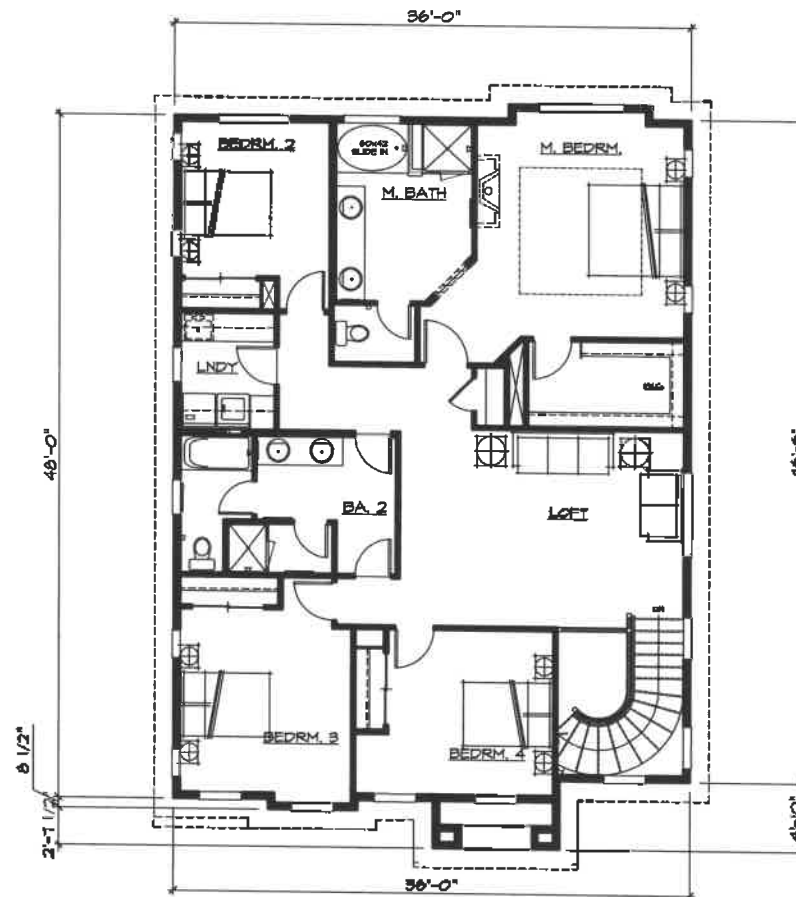
SQUARE FOOTAGE	
FIRST FLOOR	1170 SF
SECOND FLOOR	1636 SF
TOTAL LIVING AREA	2806 SF
GARAGE	391 SF
FOOTPRINT	1561 SF



SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



Plan 4
Second Floor Plan

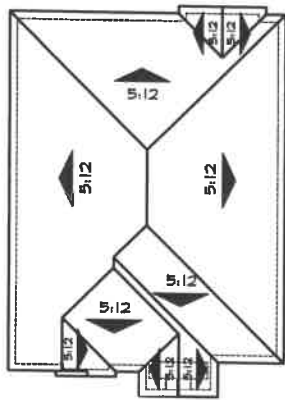
SQUARE FOOTAGE	
FIRST FLOOR	1110 SF
SECOND FLOOR	1686 SF
TOTAL LIVING AREA	2806 SF
GARAGE	341 SF
FOOTPRINT	1561 SF



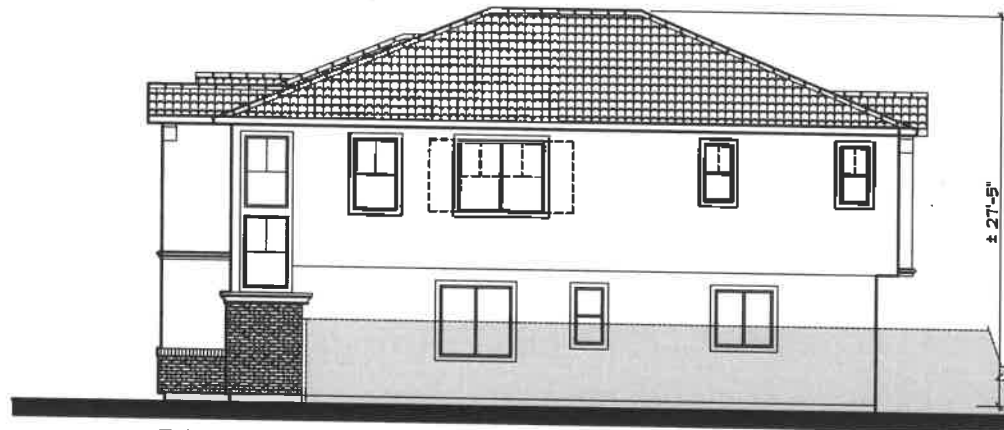
SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



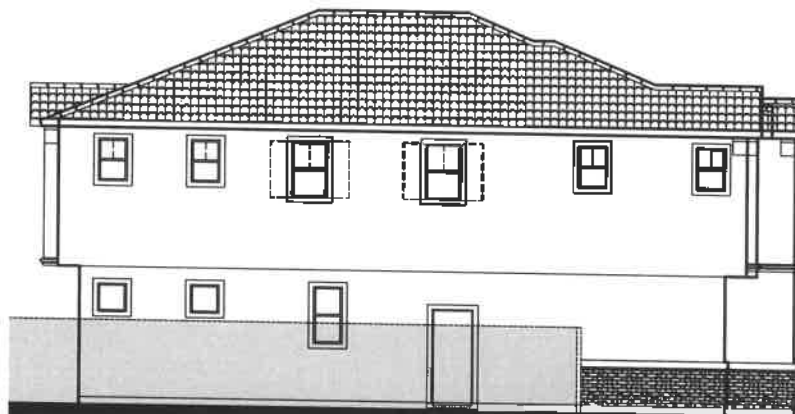
Roof Plan 'A'



Right



Rear



Left

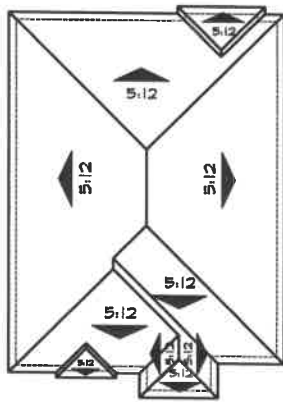
**Plan 4
Elevations - 'A'**



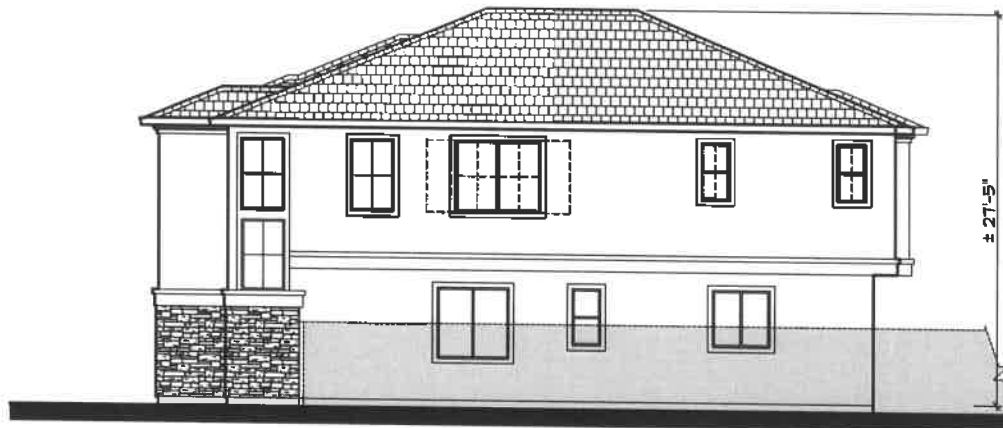
**SAN MARCO
UNIT 13
PITTSBURG, CA**

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

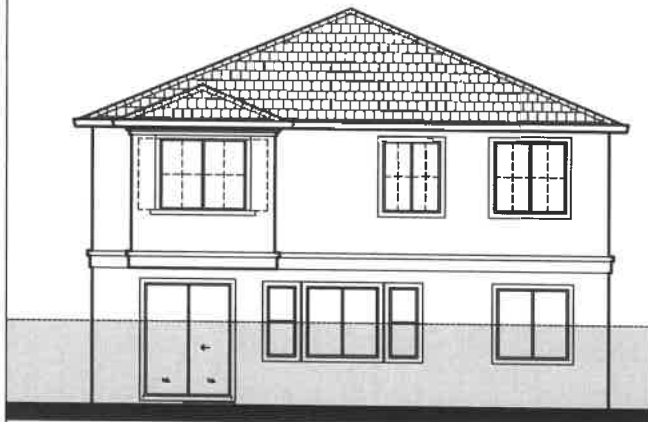
--- DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



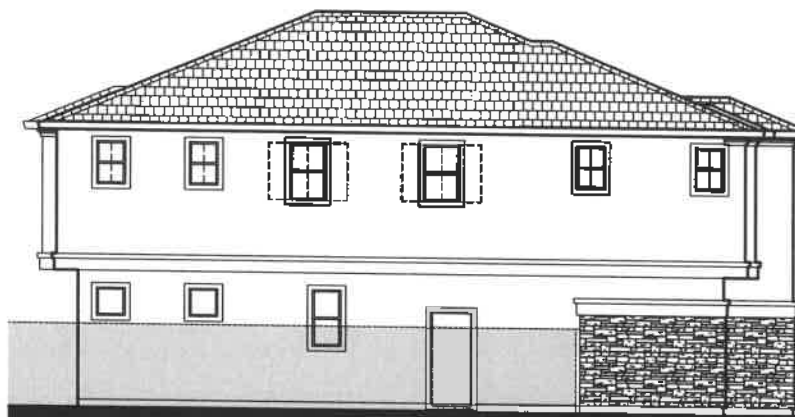
Roof Plan 'B'



Right



Rear



Left

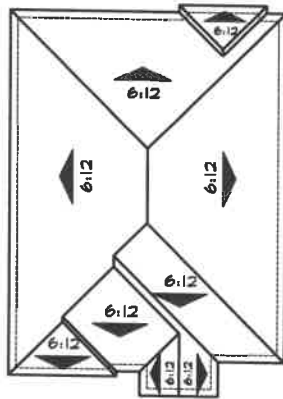
**Plan 4
Elevations - 'B'**



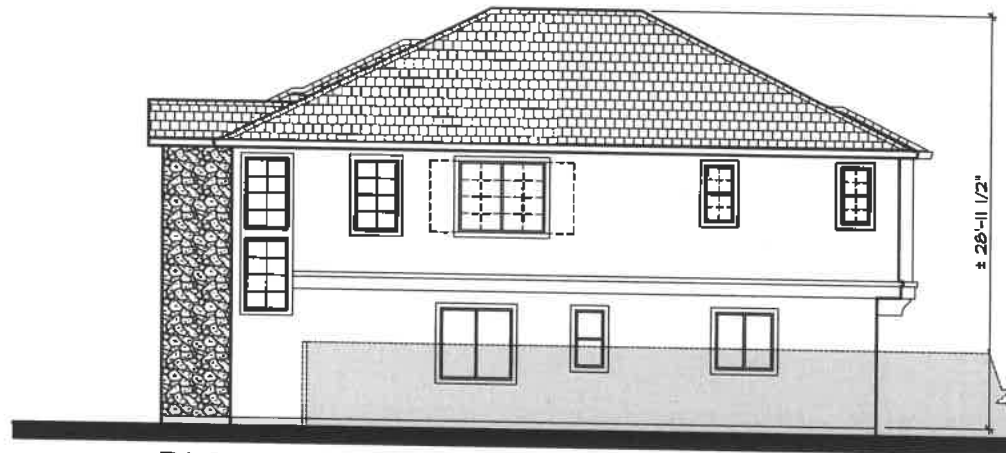
DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

**SAN MARCO
UNIT 13
PITTSBURG, CA**

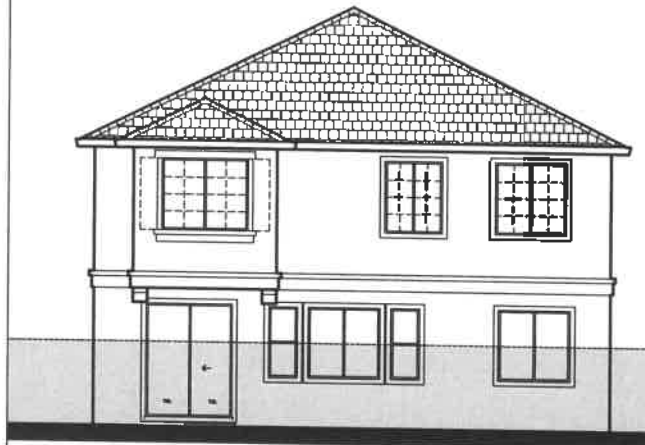
**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020



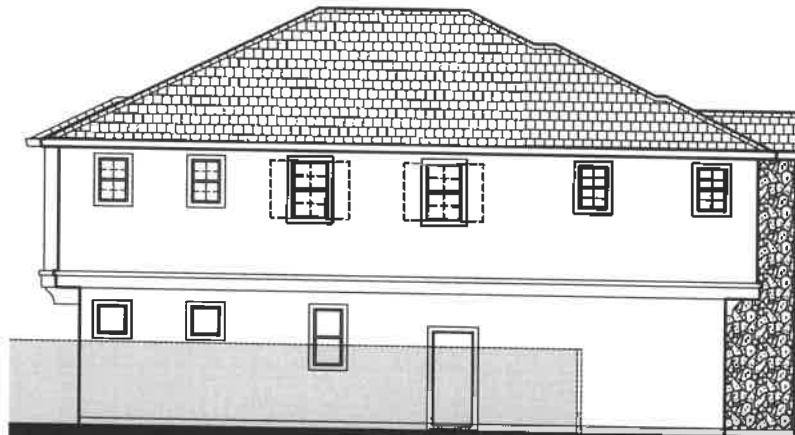
Roof Plan 'C'



Right



Rear



Left

**Plan 4
Elevations - 'C'**



**SAN MARCO
UNIT 13
PITTSBURG, CA**

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



Elevation A - Scheme #4



Elevation C - Scheme #12

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
MOCK TILE VENTS
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM CORBELS
MOCK VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV OPT. WINDOW LITES

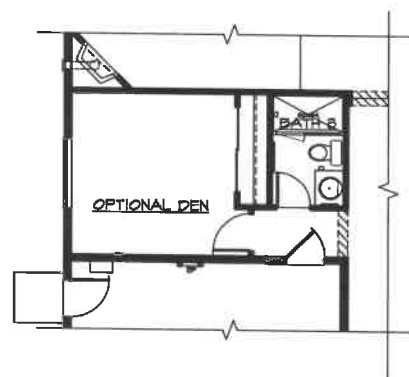


Elevation B - Scheme #6

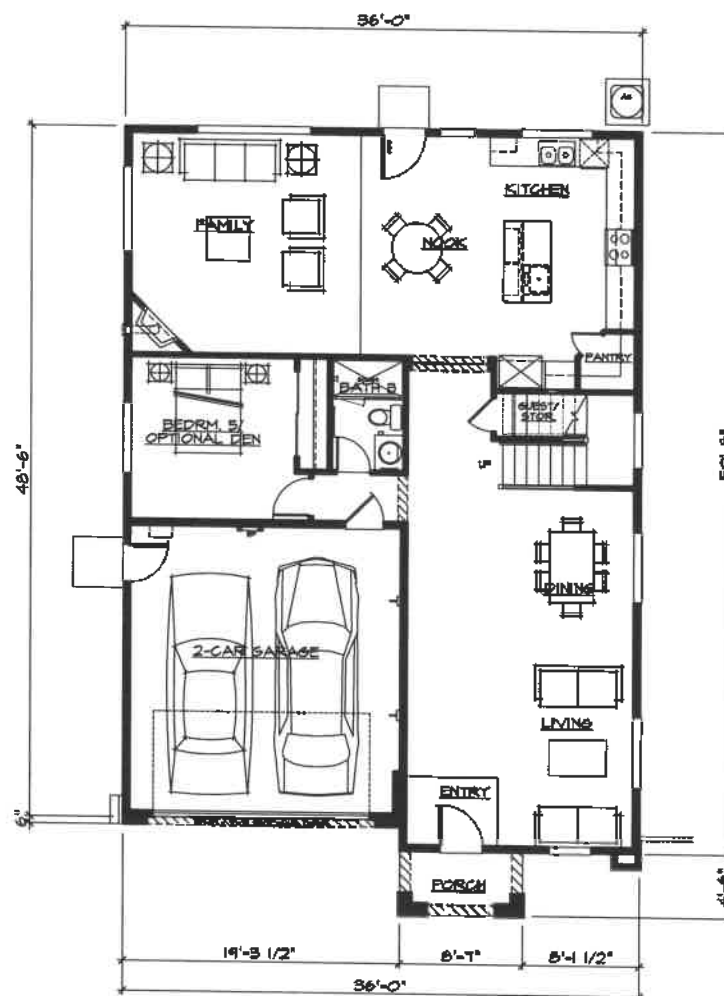
**Plan 5
Front Elevations
SAN MARCO
UNIT 13
PITTSBURG, CA**



**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020



Optional Den



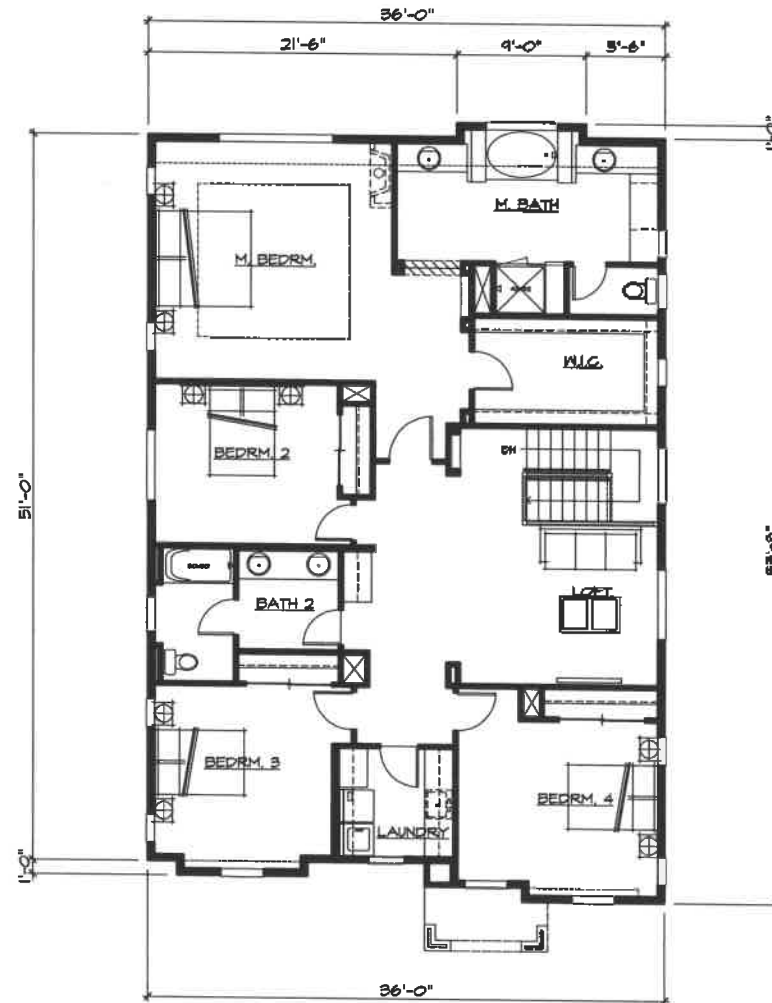
**Plan 5
First Floor Plan**

SQUARE FOOTAGE	
FIRST FLOOR	1888 SF
SECOND FLOOR	1890 SF
TOTAL LIVING AREA	3218 SF
GARAGE	945 SF
FOOTPRINT	1788 SF



**SAN MARCO
UNIT 13**
PITTSBURG, CA

**DISCOVERY
DESIGN
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Discovery Builders Inc.
Date 05/28/2020



Plan 5
Second Floor Plan

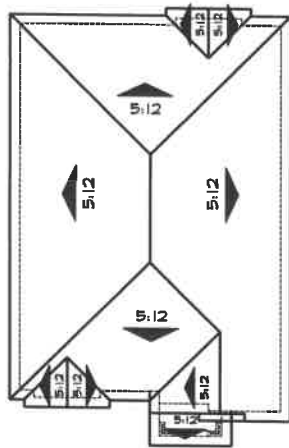
SQUARE FOOTAGE	
FIRST FLOOR	1588 SF
SECOND FLOOR	1090 SF
TOTAL LIVING AREA	2678 SF
GARAGE	345 SF
FOOTPRINT	1788 SF



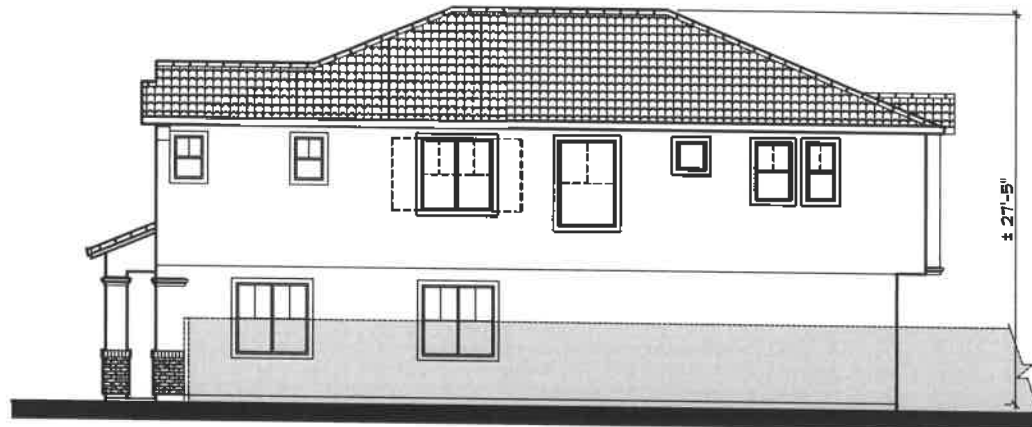
SAN MARCO
UNIT 13
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020



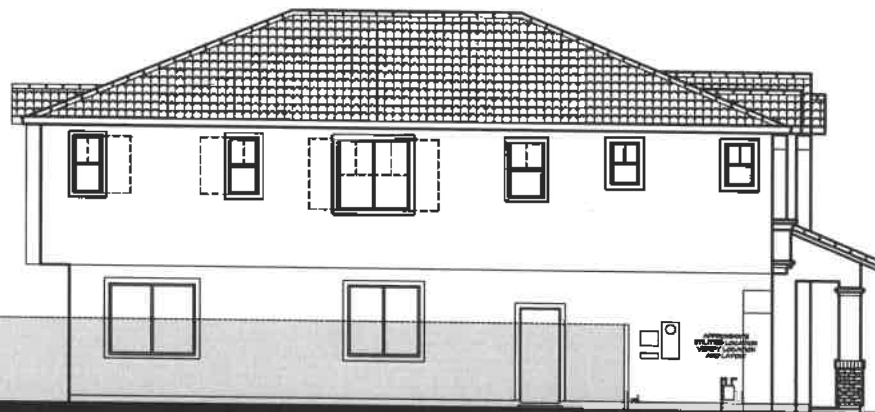
Roof Plan 'A'



Right



Rear



Left

**Plan 5
Elevations - 'A'**

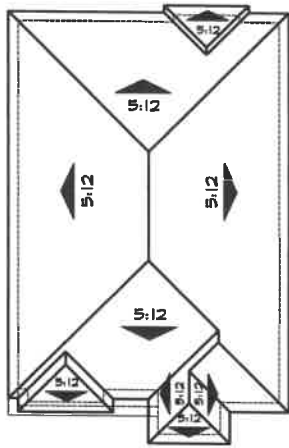


**SAN MARCO
UNIT 13
PITTSBURG, CA**

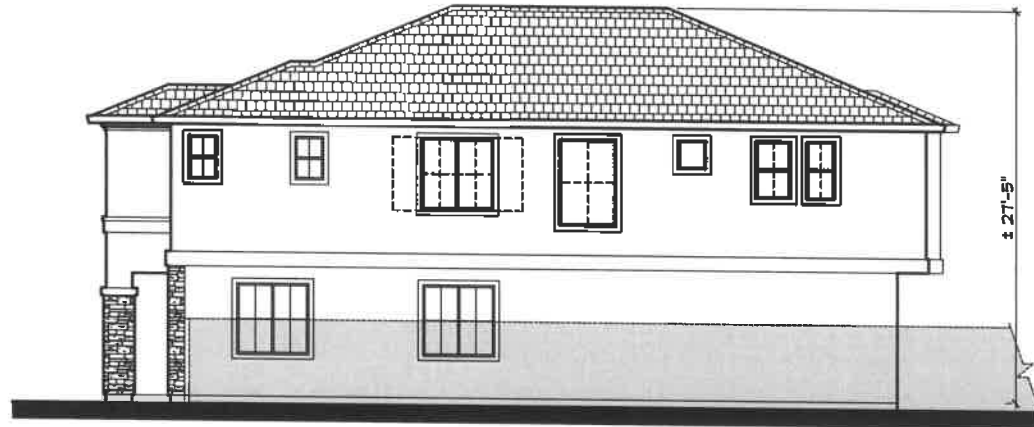


Discovery Builders Inc.
Date 05/28/2020

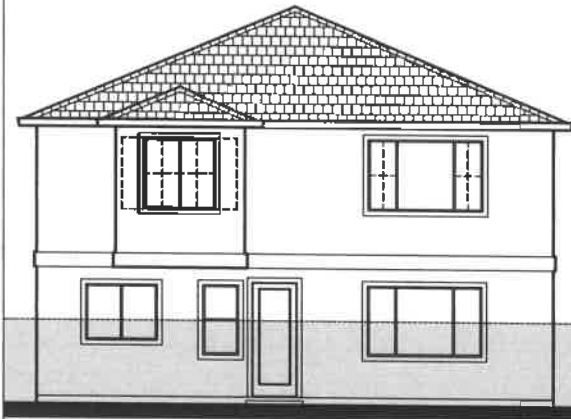
DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



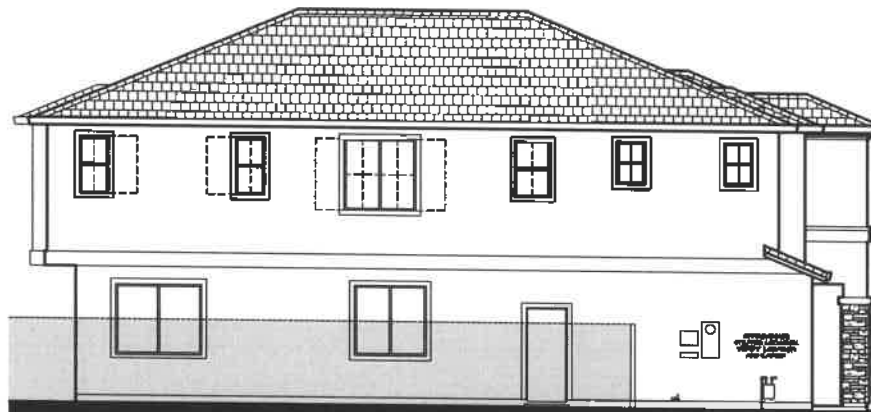
Roof Plan 'B'



Right



Rear



Left

**Plan 5
Elevations - 'B'**

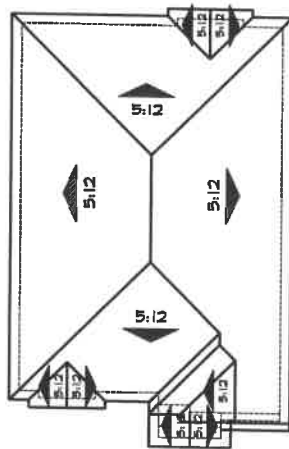


DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

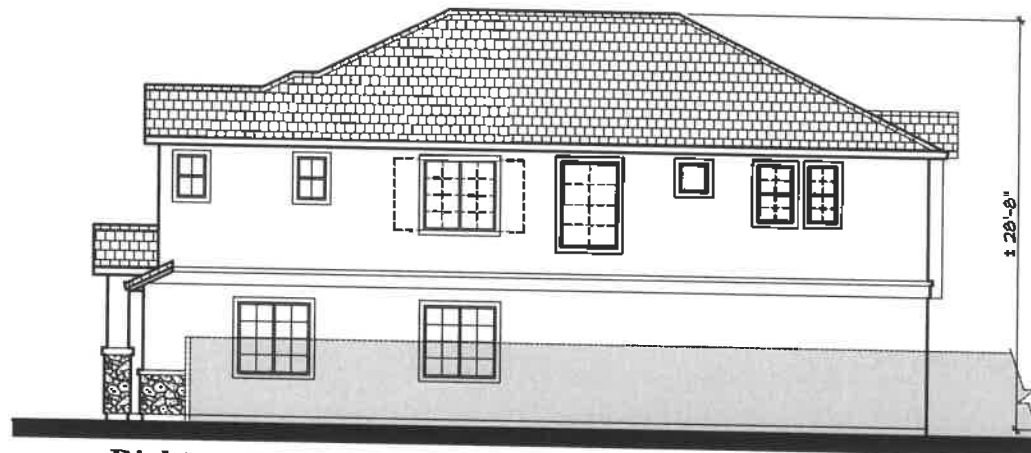
**SAN MARCO
UNIT 13
PITTSBURG, CA**



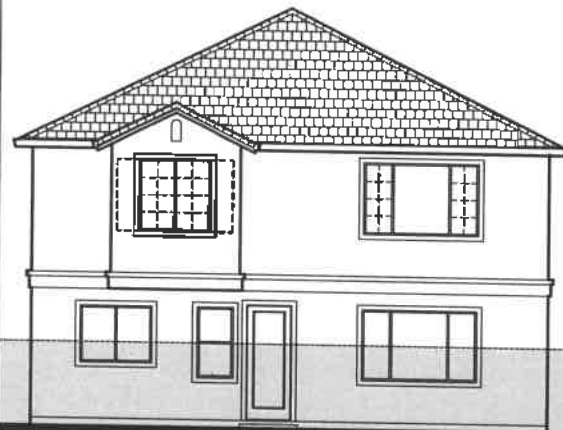
Discovery Builders Inc.
Date 05/28/2020



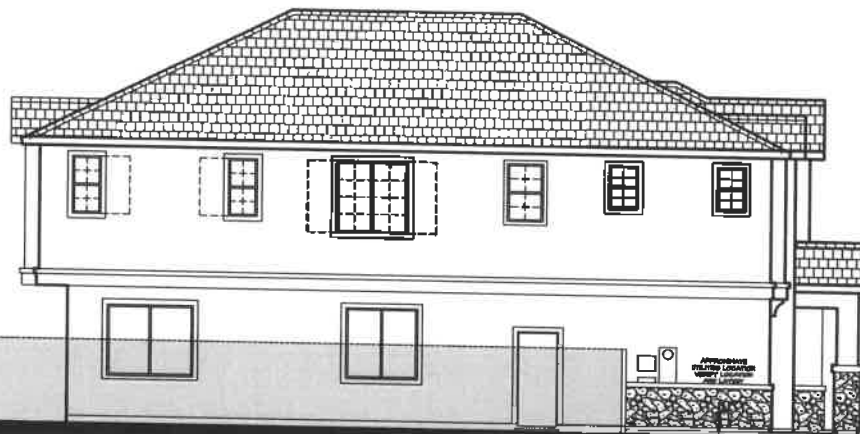
Roof Plan 'C'



Right

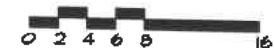


Rear



Left

**Plan 5
Elevations - 'C'**



**SAN MARCO
UNIT 13
PITTSBURG, CA**

**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



Elevation A - Scheme #1



Elevation C - Scheme #9

MATERIAL LEGEND

A VILLA CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
SIMULATED BRICK VENEER
MOCK TILE VENTS
MOCK SHUTTERS
ROLL-UP GARAGE DOORS
IV/ OPT. WINDOW LITES

B FLAT CONCRETE TILE ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV/ OPT. WINDOW LITES

C FLAT CONCRETE TILE ROOFING
HIP & GABLE END ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM CORBELS
MOCK VENTS
MOCK SHUTTERS
SIMULATED STONE VENEER
ROLL-UP GARAGE DOORS
IV/ OPT. WINDOW LITES



Elevation B - Scheme #7

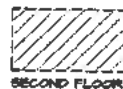
**Plan 6
Front Elevations**

**SAN MARCO
UNIT 13
PITTSBURG, CA**



**DISCOVERY
DESIGN
GROUP**

**Discovery Builders Inc.
Date 05/28/2020**



SECOND FLOOR

APPROXIMATE MIN. LOT SIZE FOR 50% COVERAGE	LOT COVERAGE		
	FOOTPRINT	COVERAGE	BACKYARD
45' x 87' = 3915 SQ. FT.	1975 SQ. FT.	50%	15'-0"

City of Pittsburg MINIMUM REQUIREMENTS

FRONT SETBACK - TO LIVING	15' MIN.
FRONT SETBACK - TO GARAGE	18' MIN.
SIDE YARD - SETBACK	4' MIN.
CORNER SIDE YARD - SETBACK	10' MIN.
REAR YARD - SETBACK	5' MIN.
PORCH SETBACK -	10' MIN.
LOT SIZE -	2,900 SQ. FT.

MAX COVERAGE - 50%
2-STORY

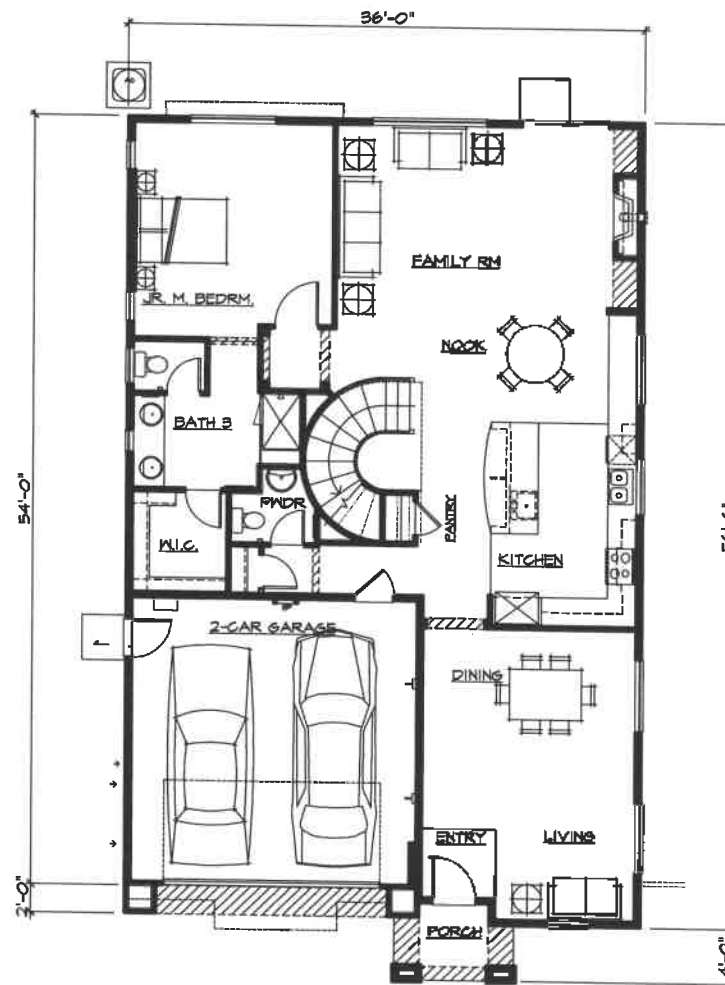
Plan 6 Site Plan



**SAN MARCO
UNIT 13**
PITTSBURG, CA



Discovery Builders Inc.
Date 05/28/2020

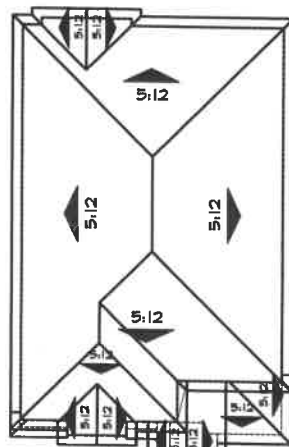


Plan 6
First Floor Plan

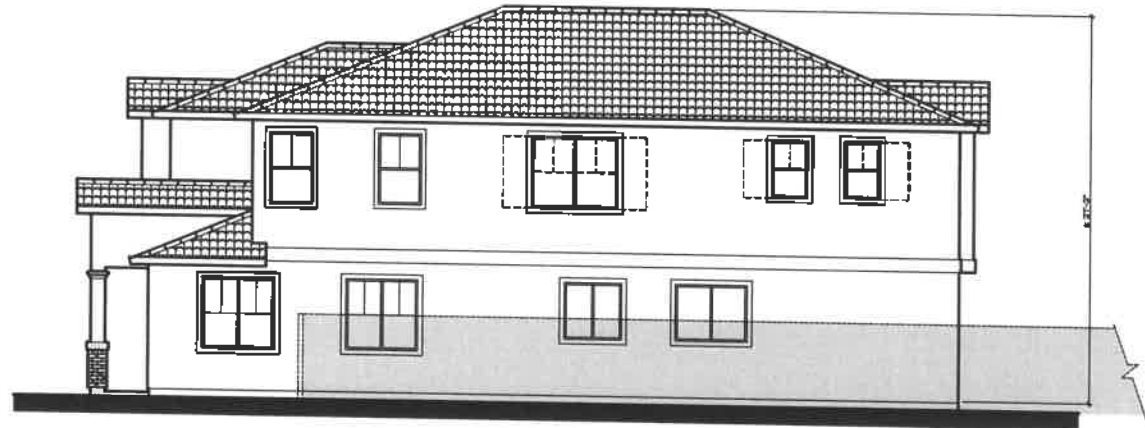
SQUARE FOOTAGE	
FIRST FLOOR	1566 SF
SECOND FLOOR	1850 SF
TOTAL LIVING AREA	3416 SF
GARAGE	401 SF
FOOTPRINT	1915 SF



SAN MARCO
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PITTSBURG, CA
 **DISCOVERY**
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Roof Plan 'A'



Right



Rear



Left

**Plan 6
Elevations - 'A'**

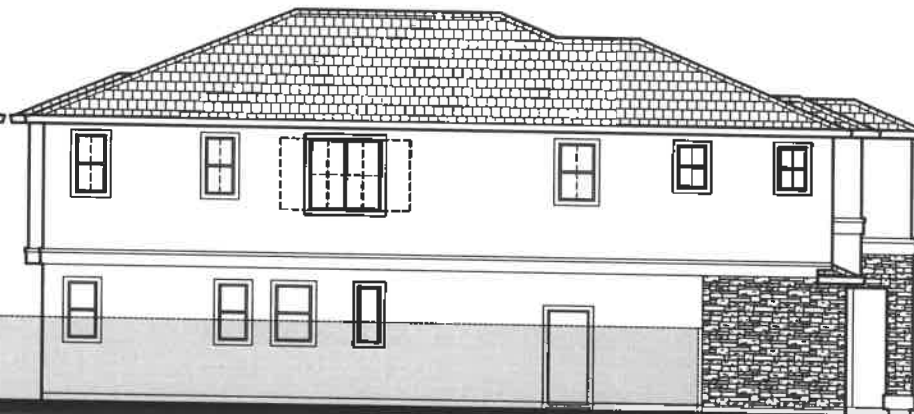
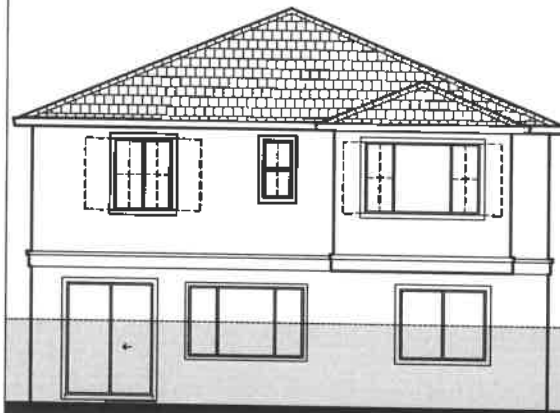
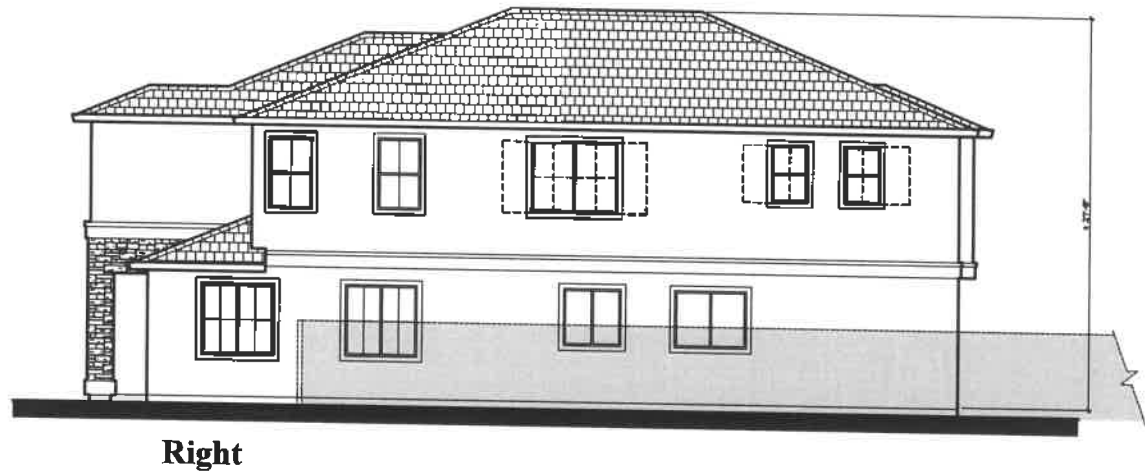
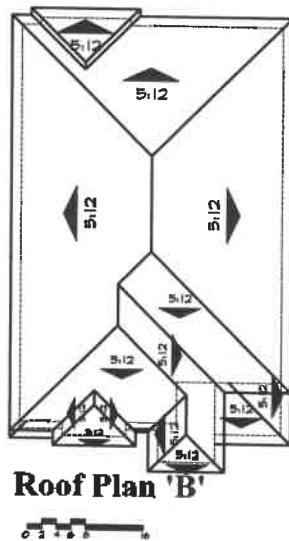


**SAN MARCO
UNIT 13
PITTSBURG, CA**



Discovery Builders Inc.
Date 05/28/2020

DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.



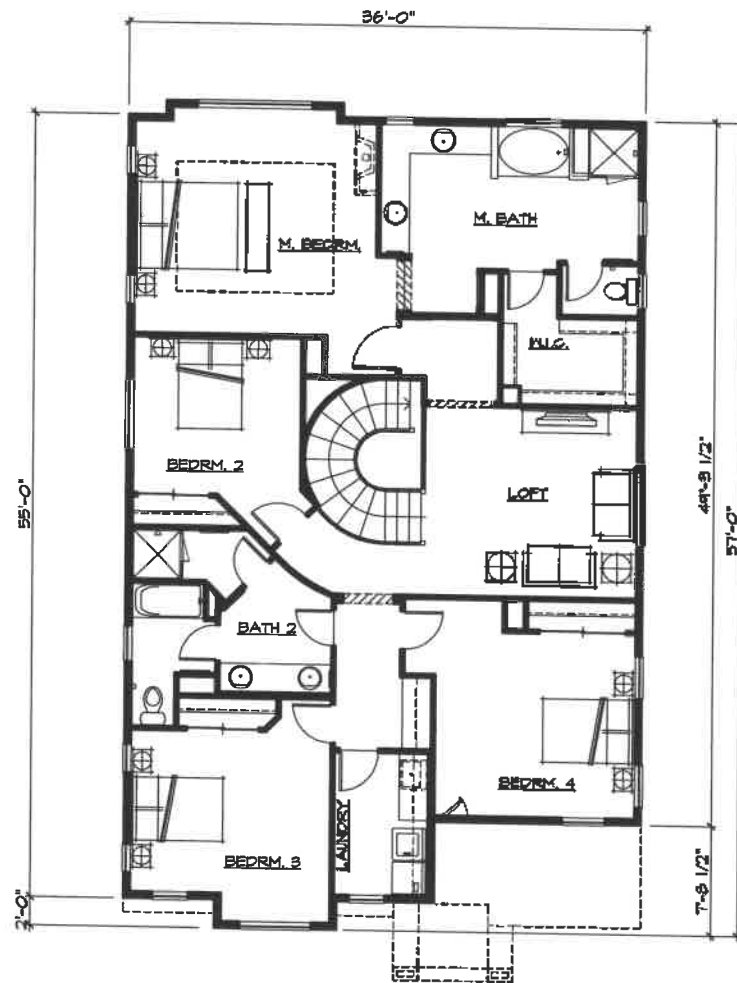
**Plan 6
Elevations - 'B'**



**SAN MARCO
UNIT 13
PITTSBURG, CA**

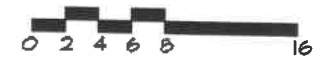
**DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 05/28/2020

DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

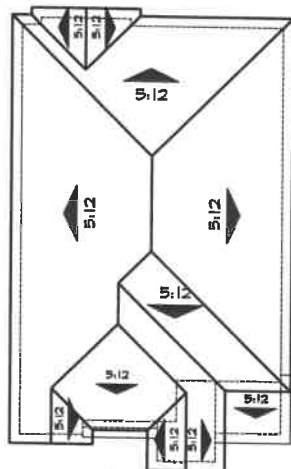


Plan 6
Second Floor Plan

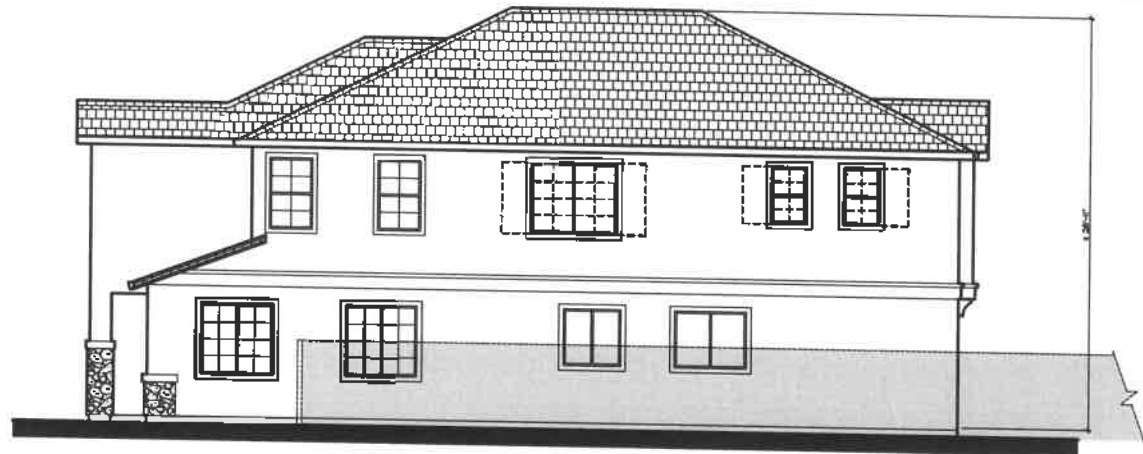
SQUARE FOOTAGE	
FIRST FLOOR	1566 SF
SECOND FLOOR	1850 SF
TOTAL LIVING AREA	3416 SF
GARAGE	401 SF
FOOTPRINT	1475 SF



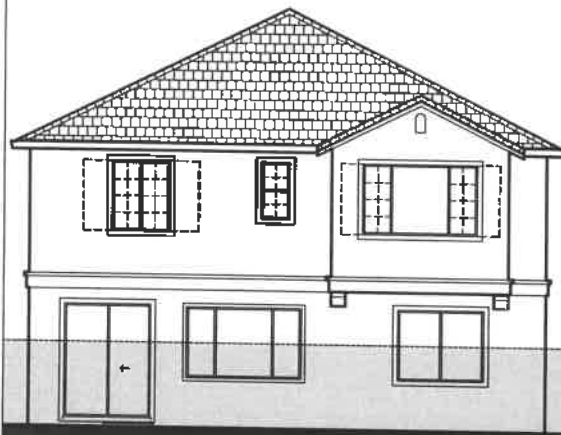
SAN MARCO
UNIT 13
PITTSBURG, CA
 **DISCOVERY**
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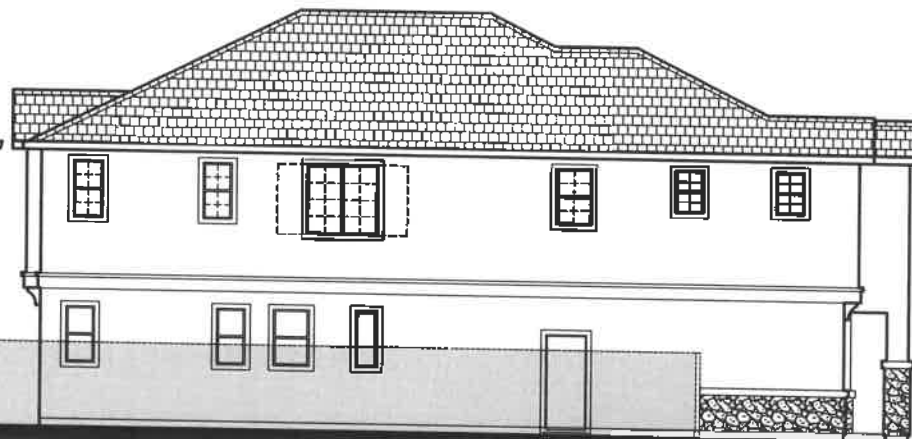
Roof Plan 'C'



Right



Rear



Left

**Plan 6
Elevations - 'C'**



DENOTES WINDOW GRIDS AND
SHUTTERS AT SIDE ELEVATIONS
FACING STREETS.

**SAN MARCO
UNIT 13
PITTSBURG, CA**



Discovery Builders Inc.
Date 05/28/2020

SUBDIVISION: SAN MARCO UNIT 13

SCHEME	VILLA TILE	FLAT TILE	BODY 1	BODY 2	TRIM	ACCENT	STONE	BRICK
SCHEME 1	1VIC5233 BROWN BLEND 	1FAC81132 CHARCOAL BROWN BLEND 	KM128-1 CLAM 	KM5784-3 CREEK BAY 	KM5732-3 STACKED STONE 	KM4582 BEAVER BELT 	SEVILLA DRESSED FIELDSTONE 	SANDY CREEK 
SCHEME 2	1VIC5848 CA MISSION BLEND 	1FAC5848 CA MISSION BLEND 	KM10-1 POGO SANDS 	KM937-3 PAW PRINT 	KM5777 CANERY PARK 	KM4897-5 YIN MIST 	ROMA RIDGE DRESSED FIELDSTONE 	COASTAL BLUFF 
SCHEME 3	1VIC5733B VERONA CLAY 	1FAC56024 DESERT SAGE 	KM4634-2 COMMUNITY 	KM4630-3 HOWLING COYOTS 	KM46 ACOUSTIC WHITE 	KM465-5 PINTON PINE 	TUDOR OLD COUNTRY FIELDSTONE 	MOROCCAN SAND 
SCHEME 4	1VIC56024 DESERT SAGE 	1FAC56031 LA TERRA BLEND 	KM5710 SUNDAY DRIVE 	232 TOSCANA 	KM5708 BONNIE'S BENCH 	KM4812 JUNGLE COVER 	SEVILLA DRESSED FIELDSTONE 	SANDY CREEK 
SCHEME 5	1VIC5733B VERONA CLAY 	1FAC581430 CHARCOAL BLEND 	KM705 RUSTIC MACLEDA 	KM4718-2 WAGON WHEEL 	KM4575-5 MUD ROOM 	KM478-5 LOG CABIN 	GRAND MESA LEDGESTONE 	WASH POINTE 
SCHEME 6	1VIC5233B BROWN BLEND 	1FBCF1132 CHARCOAL BROWN BLEND 	KM4828-2 WARM GRAY PLANER 	KM4837-3 PAW PRINT 	KM4838-5 ARROWHEAD 	KM17 OXFORD BROWN 	UNGER CREEK COUNTRY LEDGESTONE 	TOBACCO ROAD 

ROOFING: BORAL CONCRETE TILE OR EQUIVALENT

STONE: BORAL CULTURED STONE/CULTURED BRICK EQUIVALENT

PAINT: KELLY MOORE OR EQUIVALENT

REVISED: 02/07/2020

SUBDIVISION: SAN MARCO UNIT 13

SCHEME	VILLA TILE	FLAT TILE	BODY 1	BODY 2	TRIM	ACCENT	STONE	BRICK
SCHEME 7	1VIC3113 CAMINO BLEND 	1FAC3113 CHARCOAL BROWN BLEND 	1L4231 ADOBE WHITE 	1K45105-3 PIONEER VILLAGE 	KM5800-5 SAUSALITO RIDGE 	KM442-5 LAMP POST 	BURNT OCHRE DEL MAR LEDGESTONE 	COASTAL BLUFF 
SCHEME 8	1VIC30024 DESERT SAGE 	1FAC31430 CHARCOAL BLEND 	KM4942-3 TIN JAW 	KM4445-6 SECRET PASSAGEWAY 	KM4708-1 FRESH LILY 	KM407 CARBON 	ECHO RIDGE OLD COUNTRY FIELDSTONE 	ALAMO 
SCHEME 9	1VIC33233 BROWN BLEND 	1FBCF1430 CHARCOAL BLEND 	KM405 IRONWOOD 	KM4030-3 G PROUCHY BADGER 	KM216 MALIBU BEIGE 	KM5804-5 YACHT CLUB 	CHARDONNAY OLD COUNTRY FIELDSTONE 	CAPERS ISLAND 
SCHEME 10	1VIC33213 BROWN BLEND 	1FAC31132 CHARCOAL BROWN BLEND 	KM4566-3 CITY LOFT 	KM4558-3 MINK 	KM5800-5 SAUSALITO RIDGE 	KM456-5 SANTANA SOUL 	CHARDONNAY LIFESTONE 	HIGH DESERT 
SCHEME 11	1VIC37330 VERONA CLAY 	1FBCF1132 CHARCOAL BROWN BLEND 	KM419 ANTIQUE WHITE 	KM5707-2 GREIGE 	KM5772-3 PALM LANE 	KM4518-5 MOUNT CARDIGAN 	SEVILLA COUNTRY LEDGESTONE 	OLD GUICHARD 
SCHEME 12	1VIC30024 DESERT SAGE 	1FBCF1430 CHARCOAL BLEND 	KM4604-1 BASHFUL EMU 	KM4450-3 STONE HEARTH 	KM449 ANTIQUE WHITE 	KM442-5 LAMP POST 	SKYLINE COUNTRY LEDGESTONE 	MT. RUSHMORE 

ROOFING: Boral Concrete Tile or Equivalent

STONE: Boral Cultured Stone/Cultured Brick Equivalent

PAINT: Kelly Moore or Equivalent

REVISED: 02/07/2020