



City of Pittsburg Planning Commission Agenda

May 10, 2022

**City Hall Council Chamber
65 Civic Avenue, Pittsburg, CA 94565**

**Regular Meeting
7:00 P.M.**

Planning Commission Members

**Elissa Robinson, Chair
Henry Perkins, Commissioner
Ivelina Popova, Commissioner
Arlene Kobata, Commissioner
Sarah Foster, Commissioner
Alvin Jackson, Commissioner**

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

DELETIONS, WITHDRAWALS OR CONTINUANCES

COMMENTS FROM THE AUDIENCE

PRESENTATIONS

1. **Notice of Preparation - General Plan Update and Discussion**

ZONING ADMINISTRATOR REPORTS

2. **Notice of Intent to Exercise Delegated Design Review Authority**
The Zoning Administrator submits one notice of intent to exercise delegated design review authority: 1) for administrative design review approval to legalize repaving and restriping of an existing approximately ~38,000 square-foot parking area, installation of motorized entrance and exit gates, and construction of four, new pole-mounted lighting fixtures located at 310 Central Avenue, in the CS (Service Commercial) District. Assessor's Parcel Number: 086-160-014.

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

NOTICE TO PUBLIC

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Commission meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at 925-252-4850. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

GENERAL INFORMATION

Copies of the open session agenda packets that are distributed to the Planning Commission are on file in the office of the Planning Department, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning no fewer than 72 hours in advance of the meeting, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except city holidays). Additionally, if any reports or documents that are public records are distributed to the Planning Commission fewer than 72 hours before the meeting, those reports and documents will also be available for public inspection in the city's Planning Department and at the Commission meeting. The Pittsburg Library is also provided a full agenda packet for your convenience. As a courtesy, the agenda is also located on the city's website at www.ci.pittsburg.ca.us.

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
May 10, 2022**

ITEM: Notice of Intent to Exercise Delegated Design Review Authority

ORIGINATED BY: City of Pittsburgh, Zoning Administrator, 65 Civic Avenue, Pittsburgh, CA 94565

SUBJECT: The Zoning Administrator submits one notice of intent to exercise delegated design review authority: 1) for administrative design review approval to legalize repaving and restriping of an existing approximately ~38,000 square-foot parking area, installation of motorized entrance and exit gates, and construction of four, new pole-mounted lighting fixtures located at 310 Central Avenue, in the CS (Service Commercial) District. Assessor's Parcel Number: 086-160-014.

RECOMMENDATION:

Staff recommends that the Planning Commission acknowledge receipt of the attached Notice of Intent to Exercise Design Review Authority.

BACKGROUND:

Delegated Design Review Authority: Planning Commission Resolution No. 9444, as later amended by Resolution No. 9918, allows for delegation of nine categories of design review applications from the Planning Commission to the Zoning Administrator, as follows:

1. Freestanding signs: Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
2. Wireless Communication Equipment: New or replacement antennas on existing poles and their related equipment.
3. Minor Building Remodels: Limited to changes in building colors, awnings, fenestration, and finishes.
4. Changes to Existing Parking Lots.
5. Changes to Existing Landscaping.
6. Additions to Existing Buildings: Additions must be smaller than 2,500 square feet and designed to complement existing building architecture.

Planning Commission Staff Report
Notice of Intent to Exercise Delegated Design Review Authority.

7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
8. Ancillary Structures: Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in the Industrial Districts.

The intent of the delegation is to allow a more efficient approval process for non-controversial design review applications, without compromising the integrity of the design review process or removing from public scrutiny those projects that would be most visible or of high interest to the general public. Prior to approving any delegated design review application, the Zoning Administrator must notify the Commission of his or their intent to exercise delegated design review authority. Copies of resolutions approving any delegated design review application must also be provided to the Commission.

PROJECT DESCRIPTION:

Since the last Planning Commission meeting, staff has received one application requesting design review approval which qualifies within one or more of the nine categories of delegated authority established by Resolution No. 9918.

Pentecostals of the Bay Area, AP-21-1585 (ADR)

This is a request for administrative design review approval to legalize repaving and restriping of an existing approximately ~38,000 square-foot parking area, installation of motorized entrance and exit gates, and construction of four, new pole-mounted lighting fixtures located at 310 Central Avenue, in the CS (Service Commercial) District. Assessor's Parcel Number: 086-160-014.

This project is delegated to staff under Category 4 – Changes to Existing Parking Lots and Category 5 – Changes to Existing Landscaping of Planning Commission Resolution No. 9918.

GENERAL PLAN/CODE COMPLIANCE:

Zoning Administrator Public Hearings: PMC sections 18.32.010 and 18.84.560 authorize the Zoning Administrator to hear and decide on applications for approval of variances, exceptions to fence regulations, large day care homes, small recycling facilities, and wireless telecommunications collocation facilities. PMC section 18.10.100 directs the Zoning Administrator to notify the Planning Commission of his or her intent to schedule and conduct a public hearing on any application for which the Zoning

Planning Commission Staff Report
Notice of Intent to Exercise Delegated Design Review Authority.

Administrator is authorized to act, prior to the Zoning Administrator acting on the application.

Delegated Design Review Authority: Resolution No. 9918 established nine categories of design review applications upon which the Commission would authorize the Zoning Administrator to act. Resolution No. 9918, and PMC section 18.10.100, direct staff to notify the Planning Commission of intent to exercise delegated design review authority on any application that falls within one of those nine categories, prior to approving the application. Upon receiving such notification, a majority of the Commission may direct that the matter be scheduled for future consideration by the entire Commission. Resolution No. 9918 also directs staff to keep the Commission informed about delegated design review application approvals by providing copies of resolutions adopted by the Zoning Administrator.

ANALYSIS:

Not applicable.

ACTION REQUIRED:

Acknowledge receipt of the attached Notice of Intent.

ATTACHMENTS:

1. Notice of Intent Pentecostals of the Bay Area, AP-21-1585 (ADR).
2. Resolution No. 9918

Prepared by: John Funderburg, Zoning Administrator

**NOTICE OF INTENT
TO EXERCISE DESIGN REVIEW AUTHORITY DELEGATED TO STAFF
PURSUANT TO PLANNING COMMISSION RESOLUTION NO. 9918**

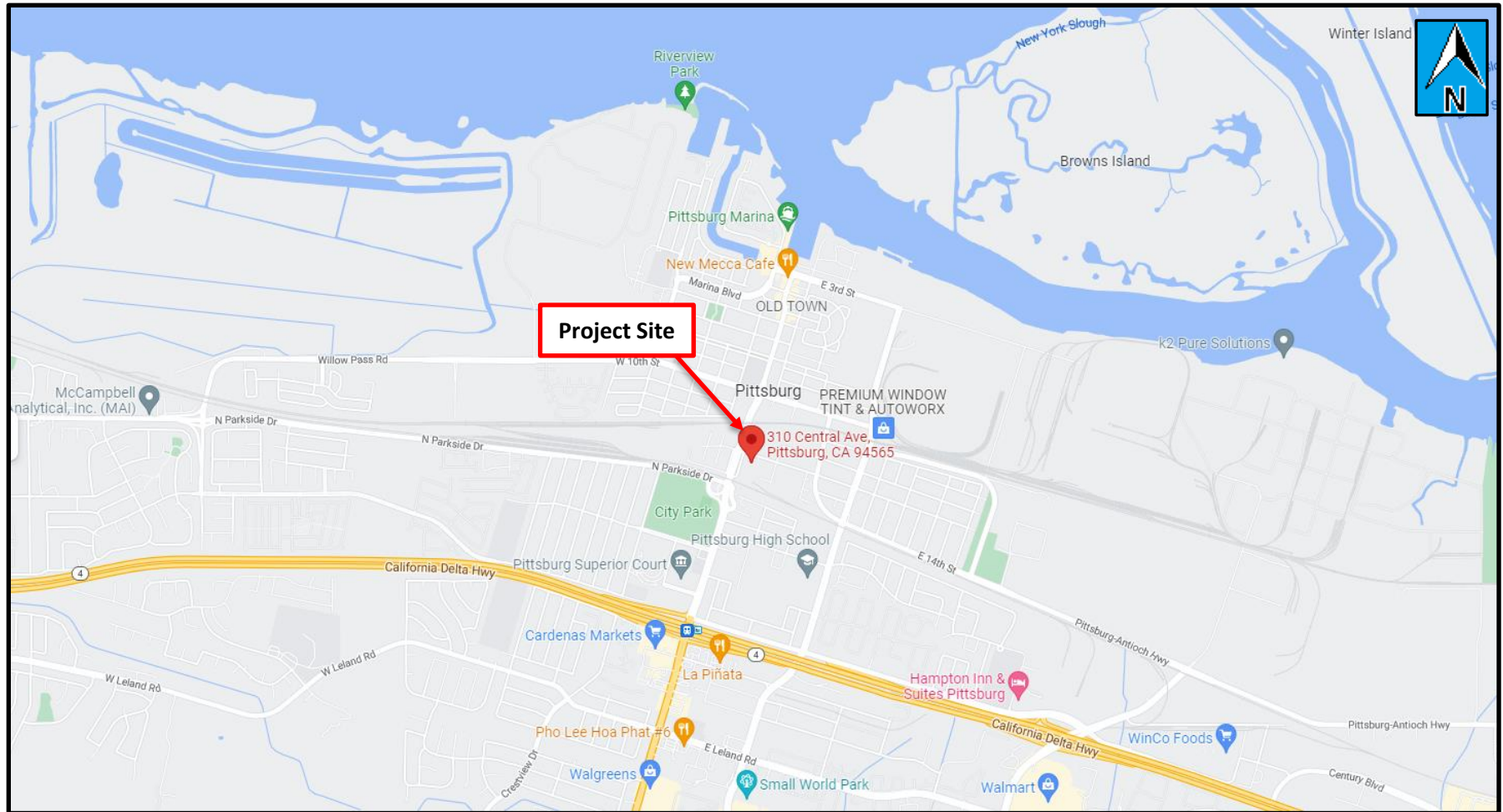
Administrative Design Review Approval for Pentecostals of the Bay Area, AP-21-1585 (ADR).

This is a request for administrative design review approval to to legalize repaving and restriping of an existing approximately ~38,000 square-foot parking area, installation of motorized entrance and exit gates, and construction of four, new pole-mounted lighting fixtures located at 310 Central Avenue, in the CS (Service Commercial) District.
Assessor's Parcel Number: 086-160-014.

This project is delegated to staff under Category 4 – Changes to Existing Parking Lots and Category 5 – Changes to Existing Landscaping of Planning Commission Resolution No. 9918.

The Pentecostals of the Bay Area (ADR) – Vicinity Map

AP-21-1585	310 Central Avenue
Administrative Design Review	APN: 086-160-014



The Pentecostals of the Bay Area (ADR) – Aerial Map

AP-21-1585	310 Central Avenue
Administrative Design Review	APN: 086-160-014



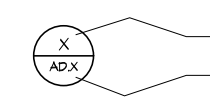
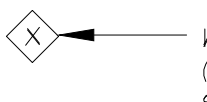
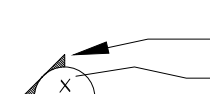
PENTECOSTALS OF THE BAY AREA

PITTSBURG, CA

ABBREVIATIONS

ABV.	AT	(N)	NEW
ADDN.	ABOVE	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR	N.T.S.	NOT TO SCALE
A.V.E.	AVENUE	O/O O.C.	ON CENTER
BLDG.	BUILDING	O/H	OVER
BD'S	BOARDS	O.P.S.	OVER HEAD, OVER HANG
BLK'G.	BLOCKING	O.P.	OPENING
BN	BEAM	O.P.	OPERATED
CONC.	CONCRETE	OPF.	OFFPOSITE
CAB.	CABINET	OPT.	OPTIONAL
C.B.C.	CALIFORNIA BUILDING CODE	PT. / PART.	PARTIAL
CCGFPD	CONTRA COSTA CO. FIRE PROTECTION DIST.	PLYMD.	PLYWOOD
C.P.C.	CALIFORNIA PLUMBING CODE	P.	PLATE
CHAP.	CHAPTER	PT.	POINT
C.J.	CEILING JOIST	PRESS	PRESSURE
C.L.G.	CEILING	P.R.V.	PRESSURE RELIEF VALVE
C.L.O.	CLOSET	P.S.I.	POUNDS PER SQUARE INCH
CNTR.	COUNTER	P.S.F.	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	R.	RADIUS, RISER
CP	CARPET	R.A.	RETURN AIR
CT	CERAMIC TILE	RD.	ROAD
DEG.	DOWN	REINF.	REINFORCED
DN.	DOWN	REG.	REQUIRED / REQUIREMENT
DBL.	DOUBLE	RM.	ROOM
D.S.	DOWN SPOUT	R.S.	ROUGH SAWN
DIA.	DIAMETER	R.O.	ROUGH OPENING
D.J.	DECK JOIST	S.A.	SUPPLY AIR
(E)	EXISTING	S.A.B.	SOUND ATTENUATION BATTS
ELEG.	ELECTRIC	S.D.	SMOKE DETECTOR
ELEV.	ELEVATION	SG	SCALE
ENCL.	ENCLOSURE	SCHED.	SCHEDULE
EXT.	EXTERIOR	SEC. / SECT.	SECTION
EA.	EACH	SHWR	SHOWER
FAU	FORCED AIR UNIT	SH	SINGLE HUNG
FBG.	FIBERGLASS	SIM.	SIMILAR
FDN.	FOUNDATION	SL	SLIDING, SLIDER
F.H.	FULL HEIGHT	SINGL.	SINGLE
FIN.	FINISH	S.O.G.	SLAB ON GRADE
FX	FIXED	SQ.	SQUARE
FIXT.	FIXTURE	S.S.D.	SEE STRUCTURAL DRAWINGS
F.J.	FLOOR JOIST	STD.	STANDARD
FLR.	FLOOR	TEMP.	TEMPERED
FLUOR.	FLUORESCENT	TEL.	TELEPHONE
FMG.	FRAMING	T & G	TONGUE & GROOVE
FR.	FROM	T.D.L.	TRUE DIVIDED LITE
FT.	FEET	T-24	TITLE 24 ENERGY COMPLIANCE
FTG.	FOOTING	T.C.	TRASH COMPACTOR
FURN.	FURNACE / FURNITURE	T.O.G.	TOP OF CURB
GA.	GAUGE	T.O.S.	TOP OF SLAB
GALV.	GALVANIZED	THK.	THICK
G.C.	GENERAL CONTRACTOR	TR.	TREAD
GFI	GROUND FAULT INTERRUPT	TYP.	TYPICAL
GL	GLUE	U/	UNDER
GLB.	GLUE LAMINATED BEAM	U/C	UNDER CABINET
G.S.M.	GALVANIZED SHEET METAL	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD.	GYPSPUM BOARD	V.B.	VAPOR BARRIER
HD.	HEAD	V.I.F.	VERIFY IN FIELD
HR.	HOUR	VIN.	SHEET VINYL
HDR.	HEADER	W/ W/	WITH
HNGR.	HANGER	W/O	WITHOUT
HS	HARD SURFACE	WC	WHEEL CHAIR
HT.	HEIGHT	WD.	WOOD
HAY.	HIGHWAY	WH.	WATER HEATER
IN	INCH	WP.	WATER PROOF
INCAND.	INCANDESCENT	W.W.F.	WELDED WIRE FABRIC
INC.	INCLUDE		
INSUL.	INSULATION		
LIN.	LINOLEUM		
LNDY	LAUNDRY		
LT	LIGHT		
MAX.	MAXIMUM		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MTD.	MOUNTED		
MTL.	METAL		

SYMBOL REFERENCES

	DETAIL REFERENCE SHEET NUMBER STANDARD DETAIL BUBBLE		WINDOW SYMBOL REFERENCE (SEE FLOOR PLAN AND WINDOW SCHEDULE)
	DIRECTION OF SECTION/ELEVATION DETAIL REFERENCE SHEET NUMBER SECTION DETAIL BUBBLE		DOOR SYMBOL REFERENCE (SEE FLOOR PLAN AND DOOR SCHEDULE)
			KEY NOTE REFERENCE (SEE NUMBERED NOTES ON FLOOR PLAN)

PROJECT CONSULTANTS

OWNER/ TENANT:
PENTECOSTALS OF THE BAY AREA
310 CENTRAL AVE.
PITTSBURG, CA 94565
PH: 925-434-3660
FX: 925-434-8121
CONTACT: ELDEN LIMONES

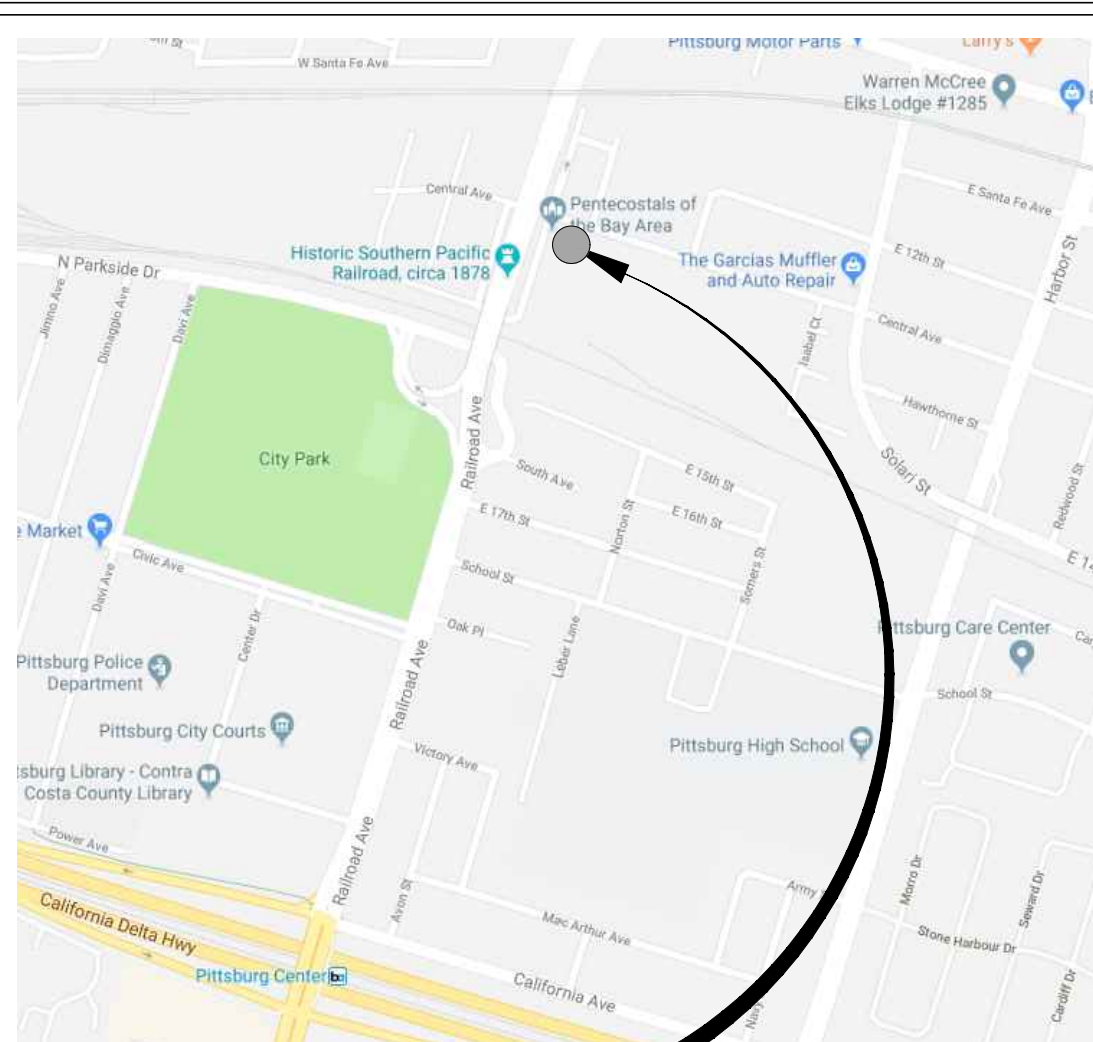
PROJECT ARCHITECT:
STIRLING ARCHITECTS INC.
1145 SECOND STREET, SUITE A100
BRENTWOOD, CA 94513
PH: 925-634-0045
FX: 925-226-4816
CONTACT: DON STIRLING, AIA

SQUARE FOOTAGES

@ PARKING LOT:

NO CHANGES TO EXISTING NUMBER OF PARKING LOT STALLS OR SIZE OF PARKING LOT

VICINITY MAP



PROJECT LOCATION
310 CENTRAL AVE.
PITTSBURG, CA 94565



PROJECT DATA

APPLICABLE CODES:

2019 (C.B.C.) CALIFORNIA BUILDING CODE
2019 (C.M.C.) CALIFORNIA MECHANICAL CODE
2019 (C.P.C.) CALIFORNIA PLUMBING CODE
2019 (C.F.C.) CALIFORNIA FIRE CODE
2019 (C.E.C.) CALIFORNIA ELECTRIC CODE
2019 (C.E.N.C.) CALIFORNIA ENERGY CODE
2019 (CALGREEN) CALIFORNIA GREEN BUILDING STANDARDS CODE

ANY OTHER APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.

PLANS MUST COMPLY WITH LOCAL SECURITY ORDINANCES AND ALL LOCAL MUNICIPAL ORDINANCES AND LOCAL BUILDING CODES.

PROJECT DESCRIPTION:

THIS PROJECT IS A RENOVATION & REMODEL OF AN EXISTING BUILDING INTENDED FOR ASSEMBLY & EDUCATIONAL OCCUPANCIES WITH VENTILATION, SANITATION, HABITABILITY, & OCCUPANCY ISSUES ADDRESSED.

BLDG DATA:

PROJECT ADDRESS: 310 CENTRAL AVE., PITTSBURG, CA 94565

APN: 086-160-014-6

OCCUPANCY CLASSIFICATIONS: GROUP A-3, B & S-1

CONSTRUCTION TYPE: TYPE V-B

FIRE SPRINKLERS: NO

LOT AREA: 63,960 SQ. FT.

EXISTING TOTAL BLDG AREA: 28,517 SQ. FT.

NUMBER OF STORIES: THREE

DEFERRED SUBMITTALS

SCOPE OF WORK

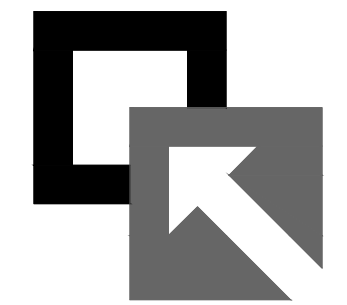
PARKING LOT:

PROVIDE NEW MOTORIZED SECURITY GATES TO PREVENT STOLEN CARS BEING LEFT IN PARKING LOT.

SHEET INDEX

ARCHITECTURAL	A0.0
COVER SHEET	A0.1
GENERAL NOTES	A0.2
SITE PLAN	A0.3
ENLARGED SITE PLAN	A0.4

STIRLING
ARCHITECTS INC.
1145 Second St., Ste. 188
Brentwood, CA 94513
Tel: (925) 634-0095
Fax: (925) 226-4816



PENTECOSTALS OF THE BAY AREA

PARKING LOT MINOR MODIFICATION

**310 CENTRAL AVE.
PITTSBURG, CA 94565
APN: 086-160-014-6**

REVISIONS

THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL NOT BE USED FOR CONSTRUCTION OF THIS OR ANY OTHER WORK UNLESS THE SPACE BELOW INDICATES THE DATE OF ISSUE FOR THAT SPECIFIC PURPOSE TOGETHER WITH THE SIGNATURE AND LICENSE NUMBER OF THE ARCHITECT OF RECORD



DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF STIRLING ARCHITECTS INC. ANY USE, REUSE, OR DISCLOSURE OF THESE DRAWINGS IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF STIRLING ARCHITECTS INC.

COVER SHEET

SET DATE	04-24-20 INITIAL ISSUE
ISSUE DATE	04-23-20
JOB #	400246
DRAWN BY	MSB
SCALE	AS NOTED
SHEET	

A0.0

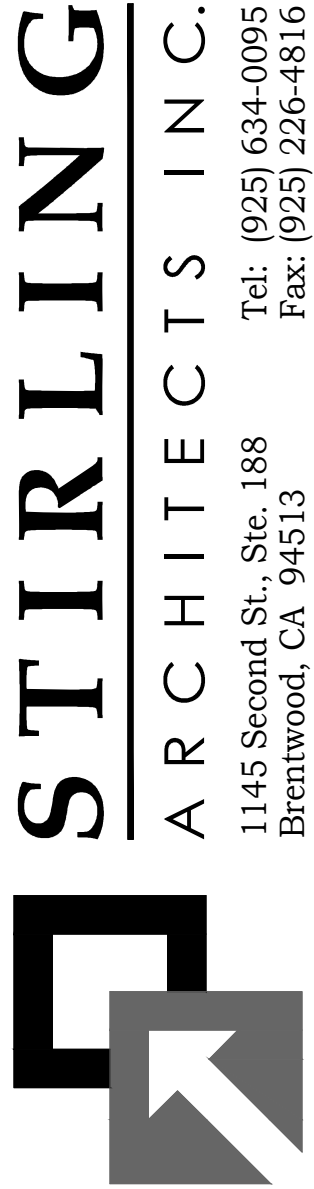
GENERAL NOTES

GENERAL NOTES:

1. ALL DIMENSIONS SHOWN ON DRAWING ARE FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
2. ALL DIMENSIONS MARKED CLEAR OR HOLD SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET (AND PAD), CERAMIC TILE, VCT, GNB, ETC.
3. UNDERCUT ALL DOORS TO CLEAR TOP FINISH FLOOR.
4. ALL GYP BOARD TO BE 5/8" THICK UNLESS NOTED OTHERWISE.
5. VERIFY ALL CONDITIONS & DIMENSIONS IN FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
6. ALL GYPSUM BOARD PARTITIONS SHALL BE ERECTED AS SHOWN ON THE PLANS, DETAILS OR AS CALLED FOR ON THE SPECIFICATIONS (NOTES). ALL GYPSUM BOARD PARTITION JOINTS SHALL BE LOCATED SO THAT THE PANEL EDGES FALL ON THE ALTERNATE STUDS. ALL JOINTS SHALL BE TAPED, SPACKLED AND FINISHED SMOOTH TO RECEIVE FINISH WALL TREATMENT.
7. THE GENERAL CONTRACTOR SHALL PROVIDE METAL CORNER BEADS AT ALL FINISHED EXTERIOR CORNERS OF DRYWALL AND BLOCK PARTITIONS, INCLUDING DRYWALL SOFFIT BREAKS, WALL CAPS, TRIMMED OPENINGS, ETC.
8. THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING AROUND ALL THE WALL OPENINGS FOR DUCT WORK RETURN AIR OPENINGS AND GRILLE OPENINGS ABOVE AND BELOW HUNG CEILINGS. THESE ARE TO BE COORDINATED WITH HVAC DRAWINGS AND MECHANICAL CONTRACTORS SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION. ALL DOORS IN DRYWALL AND MASONRY PARTITIONS SHALL BE SET 6" FROM THE OUTSIDE EDGE OF THE DOOR BUCK TO THE IMMEDIATE ADJACENT WALL, UNLESS NOTED OTHERWISE.
9. ALL PARTITIONS SHALL BE ANCHORED FIRMLY, AS PER MANUFACTURER'S SPECIFICATIONS AND/OR THE BUILDING CODE REQUIREMENTS.
10. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
11. SHOULD CONFLICTS OCCUR BETWEEN THE DRAWINGS AND MANUFACTURERS' SPECIFICATIONS, THE DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY; SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS, FINISHES, & QUALITY.
12. THE ARCHITECT SHALL HAVE LIMITED OBSERVATION OF THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY CONTROL, AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
13. CONTRACTOR TO THOROUGHLY REVIEW DRAWINGS & ALERT ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
14. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE BUILDING CODES AS WELL AS ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES. SUCH CODES & ORDINANCES SHALL TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
15. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS HE OR SHE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE OWNER. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY THE OWNER.
16. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
17. ALL REQUIRED CITY AND/OR COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADES.
18. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION ON FILE WITH THE APPROPRIATE AGENCIES. PROVIDE WRITTEN COPIES TO OWNER.
19. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND/OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETE.
21. CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAR AND ORDERLY MANNER. ALL DEBRIS SHALL BE REMOVED FROM PREMISES, AND ALL AREAS SHALL BE LEFT IN A BROOM-CLEAN CONDITION AT ALL TIMES.

22. CONTRACTOR SHALL PROVIDE ALL REQUIRED PROTECTION, INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND ALL SUPPORTS NECESSARY TO MAINTAIN OVERALL STRUCTURAL INTEGRITY OF THE BUILDING.
23. NO STRUCTURAL MEMBERS SHALL BE CUT TO ACCEPT PIPES, VENTS, DUCTS, ETC.
24. GYPSUM WALLBOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.
25. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP AND/OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
26. IN ADDITION TO EQUIPMENT WARRANTIES, FURNISH OWNER A WRITTEN GUARANTEE AGAINST LATENT AND PATENT DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE YEAR. GUARANTEE SHALL INCLUDE REPAIR, DAMAGE TO, OR REPLACEMENT OF, ANY PART OF EQUIPMENT PROVIDED.
27. GYPSUM WALLBOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.
28. ALL PAINT COLOR AND/OR MATERIAL TRANSITIONS ARE TO OCCUR AT INSIDE CORNERS (U.N.O.).
29. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING "CERTIFICATE OF OCCUPANCY" OR "OCCUPANCY PERMIT" AS NECESSARY.
30. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH FIRE MARSHAL.
31. THE GENERAL CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE ICBO REPORTS.
32. CITY BUSINESS LICENSES SHALL BE REQUIRED FOR ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING WORK ON THE BUILDING OR SITE.
33. PRESSURIZED PIPING IS PROHIBITED UNDER SLAB FLOORS.
34. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR IN THE CONSTRUCTION DOCUMENTS.
35. NEITHER THE ARCHITECT, NOR THE ENGINEERS, NOR THE OWNER SHALL BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR, SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL HAVE LIMITED OBSERVATION OF THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AND THE CONTRACTORS SUBS SHALL BE RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS OF THIS PROJECT.
36. ANY CHANGE ORDER SHALL BE REVIEWED & APPROVED BY THE OWNER & ARCHITECT.
37. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED OR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT.
38. ALL CEILING HEIGHTS ARE MEASURED FROM TOP OF FINISH FLOOR TO THE UNDERSIDE OF FINISH CEILING. ANY DEVIATION FROM HEIGHTS SHOWN MUST BE APPROVED BY ARCHITECT. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR CEILING HEIGHTS.
39. ALL LIGHT SWITCHES, UNLESS NOTED OR SHOWN OTHERWISE SHALL BE LOCATED 3'-6" ABOVE FINISHED FLOOR & LOCATED 6" FROM LATCH SIDE OF DOOR OR DOOR FRAME.
40. ALL THERMOSTATS SHALL BE 4'-0" TO CENTERLINE FROM TOP OF FINISHED FLOOR. WHEN THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER INSTALL BOTH ALIGNED VERTICALLY CENTERLINE EACH.
41. REFER TO ARCHITECTURAL DRAWINGS FOR LIGHT FIXTURE LOCATIONS. SEE ELECTRICAL DESIGN BUILD DRAWINGS FOR LIGHTING FIXTURE SCHEDULE, MOUNTING HEIGHTS AND ADDITIONAL INFORMATION. ALL FIXTURE QUANTITIES ARE TO BE VERIFIED BY THE CONTRACTOR.

42. THE ELECTRICAL CONTRACTORS SHALL SUBMIT CUT SHEETS OF ALL LIGHTING FIXTURES AND NOTIFY ARCHITECT OF ANY FORESEEABLE LEAD TIME PROBLEMS.
43. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ANY ELECTRICAL OR LIGHTING INSTALLATION INTO CABINET WORK WITH CABINET CONTRACTOR.
44. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF DOORS, WINDOWS AND STAIRS PRIOR TO FABRICATION AND PURCHASE.
45. THE GENERAL AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, LIGHTING AND OTHER CEILING OBSTRUCTIONS TO ASSURE THE FINISHED CEILING HEIGHT, AS SHOWN ON DRAWINGS. ANY DISCREPANCIES WILL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY. ALL RECESSED FIXTURES SHALL BE SET FLUSH INTO AC. TILE CEILINGS.
46. PRIOR TO CLOSING UP ANY CEILINGS, ALL PLENUM SYSTEMS (HVAC, PLUMBING AND ELECTRIC) SHALL BE VERIFIED AND INSPECTED, AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND BY THE AUTHORITIES HAVING JUNCTION.
47. ACOUSTICAL CEILING TILE TO BE INSTALLED AS PER MANUF'S SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE CODES. ALL JOINTS IN ACOUSTIC TILE FIELD SHALL BE SQUARE, LEVEL, AND PERFECTLY ALIGNED WITH EACH OTHER AND WITH THE RECESSED LIGHT FIXTURES. THE FINAL CEILING INSTALLATION SHOULD BE FREE OF ALL VISUAL DEFECTS.
48. THE GENERAL CONTRACTOR SHALL PROVIDE CUT OUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WORK AS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS AND OTHER INSERTED ITEMS.
49. THE GENERAL CONTRACTOR SHALL PROVIDE THE NECESSARY FRAMING OR BRIDGING FOR ALL LIGHT FIXTURES, STRIPLINE DIFFUSERS, RETURNS, ETC. AS REQUIRED CUTOITS.
50. REFER TO ELECTRICAL POWER AND SIGNAL PLANS FOR CIRCUIT & AMPERAGE INFORMATION AND REQUIREMENTS, AND FOR ADDITIONAL ELECTRICAL INFORMATION AND SWITCHING DIAGRAMS ON SELL DRAWINGS.
51. ALL ELECTRICAL OUTLETS, TELEPHONE RECEPTACLES AND LIGHT FIXTURES SHALL BE LOCATED AS SHOWN ON THE ARCHITECTURAL DRAWINGS.
52. CONTRACTORS TO REPLACE ALL EXISTING OUTLETS / RECEPT. / SWITCHES / ETC. THAT ARE TO REMAIN WITH DEVICES TO MATCH NEW SPECIFIED TYPE, COLOR AND MANUFACTURER.
53. THE ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS AS REQUIRED FOR COPIERS AND KITCHEN UNITS, SPECIAL A/V UNITS AND/OR ALL OTHER ELECTRICAL DEVICES.
54. THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, PUBLIC UTILITIES COMPANY, TELEPHONE COMPANY AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
55. NOT USED
56. STORAGE, DISPENSING, AND USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS, SHALL COMPLY WITH WITH ALL APPLICABLE FIRE CODE REGULATIONS.
57. CONTRACTOR OR OWNER TO SUBMIT THREE SETS OF DRAWINGS TO THE CONTRA COSTA FIRE PROTECTION DISTRICT FOR THEIR APPROVAL. CONTRACTOR SHALL BE RESPONSIBLE TO RESUBMIT ANY DRAWINGS THAT WERE CHANGED OR MODIFIED TO THE APPROPRIATE FIRE PROTECTION FOR ADDITIONAL REVIEW AND APPROVAL. CONTRACTOR TO CONTACT FIRE DISTRICT FOR REQUIRED INSPECTIONS AND FINAL INSPECTIONS OF THE BUILDING PRIOR TO OCCUPANCY.
58. ALL WARRANTIES SHALL BE FORWARDED TO OWNER UPON COMPLETION OF WORK.
59. CONTRACTOR TO PROVIDE OWNER OF AS BUILT OF ALL WORK AND SUB'S WORK.
60. LANDLORD SHALL REVIEW AND APPROVE DRAWINGS PRIOR TO CONSTRUCTION.
61. CONTRACTOR TO PROVIDE ACCESSIBILITY SYMBOL AT FRONT ENTRANCE OF SPACE PER CBC CHAPTER 11.



PENTECOSTALS OF THE BAY AREA

PARKING LOT MINOR MODIFICATION

310 CENTRAL AVE.
PITTSBURG, CA 94565
APN: 086-160-014-6

REVISIONS

THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL NOT BE USED FOR CONSTRUCTION OF THIS OR ANY OTHER WORK UNLESS THE SPACE BELOW INDICATES THE DATE OF ISSUE FOR THAT SPECIFIC PURPOSE TOGETHER WITH THE SIGNATURE AND LICENSE NUMBER OF THE ARCHITECT OF RECORD

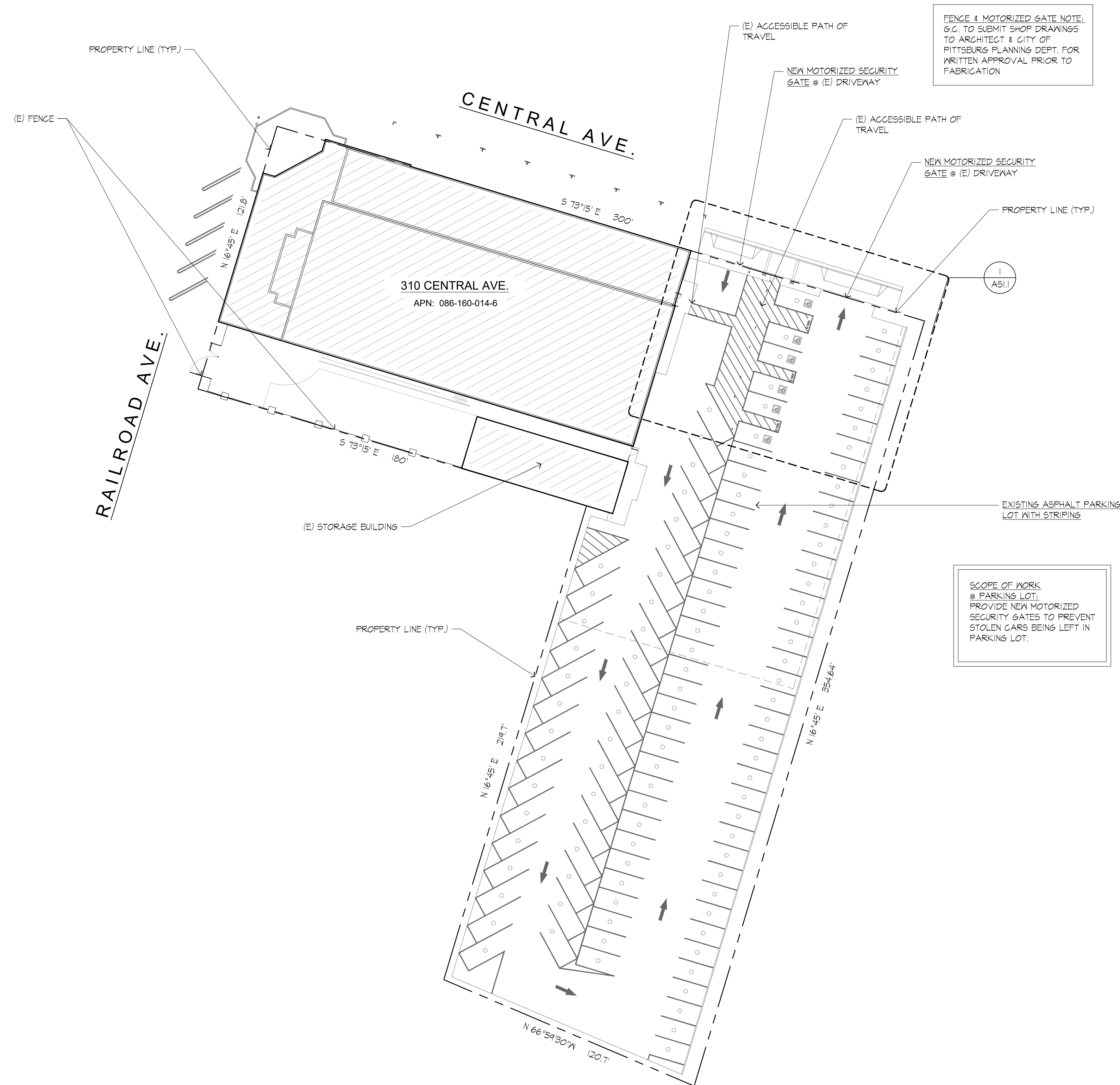


DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF STIRLING ARCHITECTS INC. ANY USE, REUSE, OR DISCLOSURE OF THESE DRAWINGS IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF STIRLING ARCHITECTS INC.

GENERAL NOTES

SET DATE	04-24-20 INITIAL ISSUE
ISSUE DATE	04-23-20
JOB #	400246
DRAWN BY	MSB
SCALE	AS NOTED
SHEET	

A0.1



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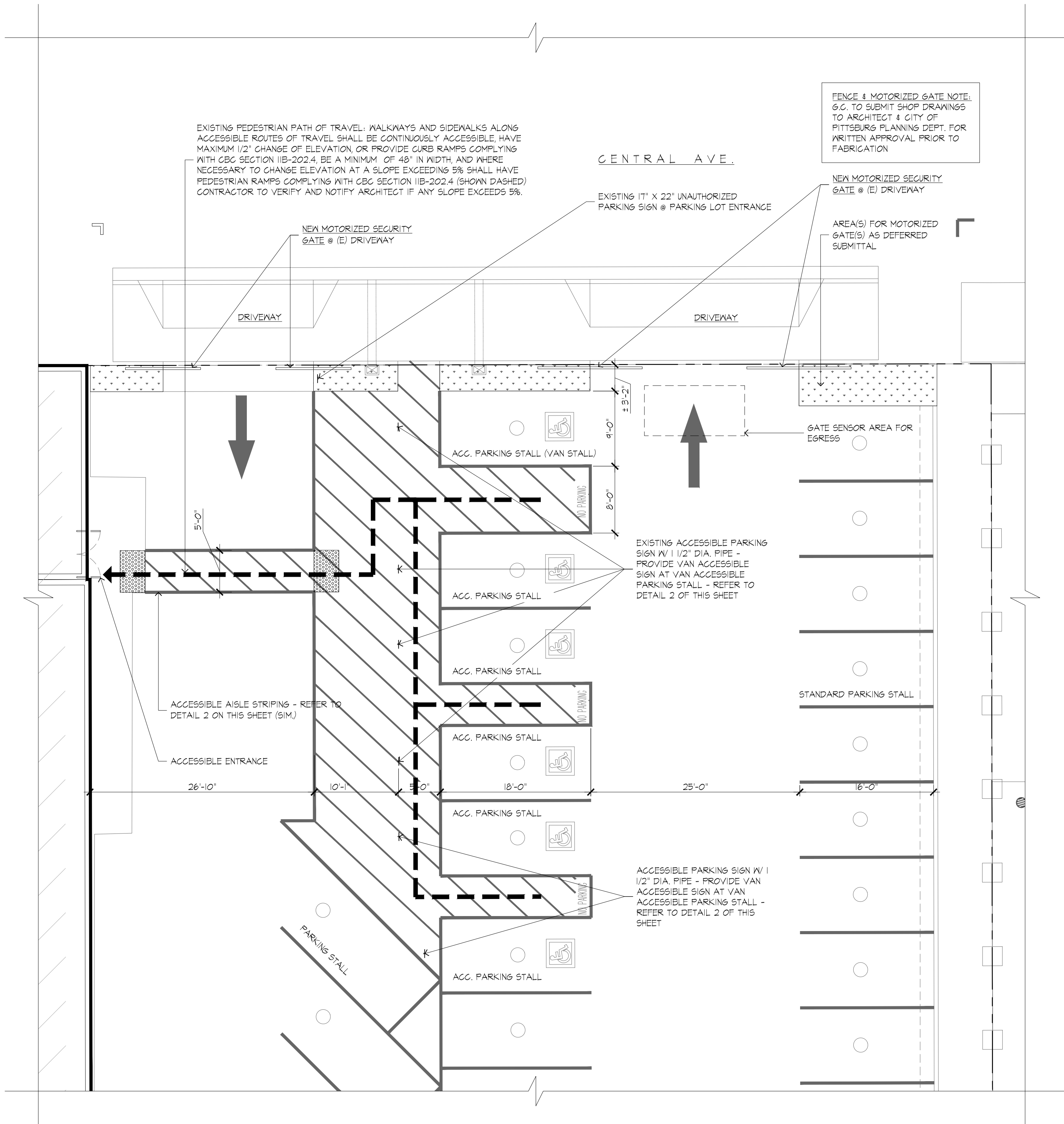


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SITE PLAN

SET DATE	04-24-20 INITIAL ISSUE
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JOB #	400246
DRAWN BY	MSB
SCALE	AS NOTED
SHEET	

AS1.0



1 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"



STIRLING

ARCHITECTS INC.

1145 Second St., Ste. 188
Brentwood, CA 94513

Tel: (925) 634-0095
Fax: (925) 226-4816

**PENTECOSTALS
OF THE
BAY AREA**

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MODIFICATION**

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PITTSBURG, CA 94565
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SHEET	

AS1.1



Planning Application

City of Pittsburg, Community Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

TYPE OF APPLICATION REQUESTED:

☐ UP Conditional Use Permit	☐ ZA Zoning Administrator
☒ DR Design Review	☐ TRP Tree Removal Permit
☐ ADR Design Review (Admin)	☐ TA Temporary Activity
☐ GP General Plan Amendment	☐ PPR Preliminary Plan Review
☐ RZ Rezoning (Includes PUD)	☐ MM Minor Modification (wireless)
☐ SUB Major Subdivision	☐ SR Sign Review (Type: _____)
☐ MS Minor Subdivision	
☐ VA Variance	☐ Other: _____

STAFF USE ONLY

Application Number: _____ Date Filed: _____

PROJECT INFORMATION:

Project Name (Business/Development): THE PENTECOSTALS OF THE BAY AREA

Address/Location of Project: 310 CENTRAL AVE.

Assessor's Parcel No(s): 086-160-014-6 00

Mapping Address (Latitude/Longitude): _____

Existing General Plan / Zoning Designations: _____

Proposed General Plan / Zoning Designations: _____

Existing Use: CHURCH PARKING AREA

Proposed Use: CHURCH PARKING AREA - secured by motorized gate

Size of Existing Structure(s): _____

Size of Proposed Additions / New Structure(s): _____

Amount of New Impervious Surfaces (s.f. or acres)¹: _____

Property Size (s.f. or acres): _____ No. of Existing Lots: _____ Proposed: _____

Days/Hours of Operation: Sun - Friday, 9am - 9pm

No. of Employees, Existing: 10 Proposed: _____

No. of On-Site Parking Stalls, Existing: 109 Proposed: 109

¹ If over 10,000 square feet, a stormwater control plan and related documents may be required per PMC §13.28.050(A)(2). Please contact Planning staff or refer to the Stormwater C.3 Guidebook available at www.cccleanwater.org/construction/nd.php for further guidance.

Proposed Project/Use Description:

(Attach additional sheets if necessary. For sign permits, include length x width x height dimensions, sign copy, colors, and length of building frontage.)

Install motorized entrance and exit gates to secure parking lot area. Repave and restripe existing parking area. Install new pole mounted lighting fixtures for illumination.

APPLICANT INFORMATION:

Applicant Name: The Pentecostals of the Bay Area **Primary Contact:** Don Stirling, Elden Limones

E-Mail: don@stirlingarchitects.com **Phone:** 925-634-0095

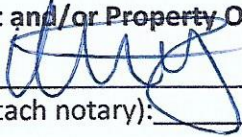
Mailing Address: 1145 Second St. Ste. 188, Brentwood, CA 94513

Property Owner(s): The Pentecostals of the Bay Area

E-Mail: elden@pba.church **Phone:** 925-752-6641

Mailing Address: 310 Central Ave. Pittsburg, CA 94565

Notarized Signature of Agent and/or Property Owner:

Agent (Attach Notary):  **Date:** 11/27/20
Property owner/manager (attach notary): _____ **Date:** _____

(If not property owner or manager, provide letter from property owner authorizing agent to sign application.)

SUBMITTAL REQUIREMENTS: (to be completed by the applicant)

- ☐ Consultation with Planning Division
- ☐ Completed Planning Application Form
- ☐ 2 sets (minimum) of Project Plans* + 1 electronic set on a flash drive or CD
- ☐ Correct Filing Fees (if paying by check, make payable to "City of Pittsburg")
- ☐ Anticipated Postage Fees for Public Notices (check with Planning Division if applicable)

*One full-sized and one reduced (8.5" x 11" or 11" x 17") required. Please review the Planning Application Submittal Checklist (separate handout) for details about what needs to be included on the project plans.

STAFF USE ONLY

TOTAL FEES PAID*: _____ **Date Rec'd:** _____ **By:** _____

*Attach Copy of Completed Planning Receipt Form or Developer Deposit Request

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Amending the Categories of Eligible)
Projects and Revising the Procedures for) Resolution No. 9918
Delegating Design Review Authority of Certain)
Types of Projects to the Zoning Administrator)

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On August 26, 2003, the Planning Commission adopted Resolution No. 9444 in an effort to streamline the planning review process for certain projects that the Commission had determined to be routine in nature and have minimal visual impacts on the surrounding community. This resolution authorized various types of projects to be reviewed by the Zoning Administrator rather than the Planning Commission, including "Wireless Communication Antennas, Monopoles and Related Structures and Equipment."
- B. On August 14, 2012, in response to recent Commission concerns regarding the approval process for wireless telecommunication equipment, a study session was conducted with the Planning Commission to review proposed updates to the existing design review delegation procedures. At this study session, the consensus of a majority of Commissioners was to keep all staff proposed changes, with an added clarification on the recommended voting process (Section B) for calling up items to be reviewed by the Commission.
- C. Proposed changes to the existing staff delegated design review authority (as presented during the August 14, 2012, study session) generally include: 1) a modification to the text of category 2, "Wireless Communication Antennas, Monopoles and Related Structures and Equipment," intended to separate out construction of new wireless telecommunications facilities from requests for modifications to existing facilities, with the only latter retaining eligibility for delegated review by the Zoning Administrator; 2) a revision to Category 3 to clarify that it applies to all minor building remodels and not just 'storefront' remodels; 3) a consolidation of Category 7 (changes in building colors) into Category 3; 4) a clarification to Category 9 to confirm application within all districts, not just Industrial areas; and 5) a clarification within Section B clarifying that a Commissioner's request to rescind delegated authority for a specific application, otherwise eligible for Zoning Administrator review, must be supported by a majority of the Commissioners present.
- D. Pittsburgh Municipal Code (PMC) Section 18.10.020, *Powers and Duties of the Planning Commission*, grants primary design review authority to the Planning

Commission. In 2003 the Planning Commission delegated its review and approval authority of certain routine and non-controversial application types to the Zoning Administrator through the adoption of Resolution No. 9444. Changes or revisions to Resolution No. 9444 fall within the same category as the original delegation, which the Commission has authority to approve under PMC 18.10.020.

- E. PMC Section 18.10.030 identifies the City Planner as the Zoning Administrator, and in accordance with PMC Section 18.10.100, the City Planner will continue to give notice to the Planning Commission of intent to exercise any authority that the Commission previously granted, including the authority to review and approve staff delegated design review applications.
- F. Staff would continue to be responsible for reviewing delegated applications for compliance with the General Plan, City Codes and adopted Design Guidelines, and the Zoning Administrator would continue to be required to make findings for approval and identify evidence to support the required findings, consistent with PMC Section 18.36.220(B). Approved resolutions would continue to be signed by the Zoning Administrator and no separate staff reports would be prepared on these items.
- G. Copies of all Zoning Administrator approved resolutions would continue to be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- H. The proposed action delegating certain Planning Commission discretionary authority to the Zoning Administrator is not considered a project, as defined by the Public Resources Code section 21065, of the California Environmental Quality Act (CEQA).
- I. On September 25, 2012, the Planning Commission considered the proposed revisions to the staff delegated design review authority process as previously established by adoption of Resolution No. 9444.

Section 2. Decision

- A. The Planning Commission hereby delegates discretionary Design Review Authority to the Zoning Administrator, for the following types of applications, when categorically or statutorily exempt from the provisions of CEQA:
 - 1. Freestanding Signs. Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
 - 2. Wireless Communication Equipment. New or replacement antennas on existing poles and their related equipment.

3. Minor Building Remodels. Limited to changes in building colors, awnings, fenestration, and finishes.
 4. Changes to Existing Parking Lots.
 5. Changes to Existing Landscaping.
 6. Additions to Existing Buildings. Additions must be smaller than 2,500 sq. ft. and designed to complement existing building architecture.
 7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
 8. Ancillary Structures. Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in Industrial Districts.
- B. In compliance with PMC Section 18.10.100, staff shall prepare a list and brief description along with a copy of the project plans when applicable, of new pending applications for which the Zoning Administrator intends to exercise delegated design review authority, and submit it to the Commission at a Commission meeting prior to taking any action on the applications. Any member of the Planning Commission may then request at that time to have the matter scheduled for future consideration by the entire Commission. The Commission must approve the request as a group through a majority vote, prior to scheduling the item for future consideration.
- C. Staff shall continue to prepare resolutions of approval, when appropriate, describing the project, project location, applications being filed, required findings to approve the project and identifying evidence to support the required findings. Resolutions shall be signed by the Zoning Administrator and continue to have conditions of project approval, where applicable.
- D. To keep the Commission informed about what applications are processed under this proposal, copies of all Zoning Administrator approved resolutions shall be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- E. If the Zoning Administrator does not believe he/she can make the required design review findings to approve a project, and the applicant is unwilling or unable to make the changes requested, the application shall automatically be referred to the Commission for action on the design review application.

Section 3. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner Wirick, seconded by Commissioner Gargalikis, the foregoing resolution was passed and adopted the 25th day of September, 2012, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES: Fardella, Fogleman, Gargalikis, Kelley, Ohlson, Wirick

NAYES:

ABSTAIN:

ABSENT: Diokno

I hereby certify that the above Resolution No. 9918 was adopted by the Planning Commission of the City of Pittsburg on September 25, 2012.



KRISTIN VAHL POLLOT, SECRETARY
PITTSBURG PLANNING COMMISSION