



City of Pittsburg Planning Commission Agenda

07/23/2024

**City Hall Council Chamber
65 Civic Avenue, Pittsburg, CA 94565**

**Regular Meeting
7:00 P.M.**

Planning Commission Members

**Arlene Kobata, Chair
Sarah Foster, Vice-Chair
Donna Smith, Commissioner
Elissa Robinson, Commissioner
Frank Gordon, Commissioner
Deandra Stokes, Commissioner
Ivelina Popova, Commissioner**

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

This agenda was posted in City Hall on Friday, July 19, 2024

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

DELETIONS, WITHDRAWALS OR CONTINUANCES

COMMENTS FROM THE AUDIENCE

CONSENT

1. **Minutes**
Minutes of June 25, 2024

COMMISSION CONSIDERATIONS

2. **AP-24-0064 - Public Storage Redevelopment – Extension of Approval of AP-18-1315 (RZ, DR, TRP).**
This is a request for a two-year extension of design review approval to construct a three-story self-storage building totaling approximately 151,392 square feet. The site is zoned PD-O (Planned Development with limited overlay) District. Assessor's Parcel No. 073-270-088.

Environmental Determination: The project is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15061 (b)(3).

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

NOTICE TO PUBLIC

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Commission meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at 925-252-4850. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

GENERAL INFORMATION

Copies of the open session agenda packets that are distributed to the Planning Commission are on file in the office of the Planning Department, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning no fewer than 72 hours in advance of the meeting, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except city holidays). Additionally, if any reports or documents that are public records are distributed to the Planning Commission fewer than 72 hours before the meeting, those reports and documents will also be available for public inspection in the city's Planning Department and at the Commission meeting. The Pittsburg Library is also provided a full agenda packet for your convenience. As a courtesy, the agenda is also located on the city's website at www.ci.pittsburg.ca.us.

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG PLANNING COMMISSION**

June 25, 2024

A regular meeting of the Pittsburg Planning Commission was called to order by Chair Kobata at 7:00 p.m. on Tuesday, June 25, 2024, in the Council Chambers at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Chair Kobata, Commissioners Gordon, Robinson, Smith, Stokes

Absent: Vice-Chair Foster, Commissioner Popova

Staff: Director of Community and Economic Development Jordan Davis, Associate Planner Kelsey Gunter, Administrative Analyst I Candace Hatch

PLEDGE OF ALLEGIANCE

Commissioner Gordon led the Pledge of Allegiance.

DELETIONS / WITHDRAWALS / CONTINUANCES

1. Consideration of a Resolution Approving Design Review and Variance Applications to Construct a 40-Foot Mono-Eucalyptus Telecommunications Facility on Assessor's Parcel Number 094-030-004, AP-24-0026 (DR, VA).

Staff will be requesting a continuance on this item to a date to be determined. Once a date has been determined, staff will re-notice the item for the Planning Commissions consideration and prepare a staff report.

2. Bancroft Gardens II Continuance, AP-16-1170 (DR).

Staff will be requesting a continuance on this item to a date to be determined. Once a date has been determined, staff will re-notice the item for the Planning Commissions consideration and prepare a staff report.

COMMENTS FROM THE AUDIENCE

A comment was received from Henery Bermudez, a Pittsburg resident, expressing concerns on item No. 1, the construction of a 40-foot Mono-Eucalyptus Telecommunications.

A comment was received from Kristine Ramos, a Pittsburg resident, expressing concerns on item No. 1, the construction of a 40-foot Mono-Eucalyptus Telecommunications.

A written comment was received from Rosa Ramirez, a Pittsburg resident, expressing concerns on item No. 1, the construction of a 40-foot Mono-Eucalyptus Telecommunications.

CONSENT

2. Minutes
Minutes of May 28, 2024
Minutes of June 11, 2024

On motion by Commissioner Robinson, to approve the consent item(s), seconded by Commissioner Smith.

AYES: Gordon, Kobata, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: None
ABSENT: Foster, Popova

PUBLIC HEARING

3. Crash Consideration of a Resolution Approving Design Review and Sign Review Applications for Discovery Office Building, AP-23-0161 (DR, SR).

A public hearing requesting approval of Design Review and Sign Review to construct a two-story office building, an attached wall sign, two detached warehouses, and hard and soft scape improvements to establish an "Office, Business, and Administrative" use for Discovery Builders, Inc. at 1000 Center Drive. Assessor's Parcel Number (APN) 086-100-037.

Associate Kelsey Gunter gave a presentation
Applicant Mick Dupont spoke on behalf of the project.
Chair Kobata opened the public hearing.
Public comments was received by Bruce Ohlson, Pittsburg resident.
There being no one to speak further on this time, Chair Kobata closed the public hearing.

On a motion by Commissioner Robinson, to approve Design Review, and Sign Review to construct a two-story office building, an attached wall sign, two detached warehouses, and hard and soft scape improvements to establish an "Office, Business, and Administrative" use for Discovery Builders, Inc. at 1000 Center Drive, subject to conditions enclosed in the Staff Report and proposed Resolution, with the revision to Engineering Condition of Approval No. 26 (AP-23-0161), seconded by Commissioner Gordon:

AYES: Gordon, Kobata, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: None
ABSENT: Foster, Popova

ZONING ADMINISTRATOR REPROTS

There were no zoning administrator reports.

STAFF COMMUNICATIONS

There were no staff communications.

COMMITTEE REPORTS

There were no committee reports.

ADJOURNMENT

The meeting was adjourned at 8: 00 p.m. to July 9, 2024.

Respectfully Submitted,

Jordan Davis, Acting Secretary

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Extending the Term of Design Review Approval)
of Architectural and Site Development Plans,)
for the “Public Storage Redevelopment project)
AP-18-1315 (RZ, DR, TRP).”)

Resolution No.

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On April 18, 2024, Brian Ulrich of Public Storage, Inc., filed Planning Application No. 24-0046, requesting a time extension of the design review approval (AP-18-1315) to construct a three-story self-storage building totaling approximately 151,392 square feet. This approval also included a Tree Removal Permit for the removal of four protected trees. The site is zoned PD-O (Planned Development with limited overlay) District. Assessor’s Parcel No. 073-270-088.
- B. The proposed project is governed by the applicable goals and policies of the Pittsburgh General Plan, RASP, Pittsburgh Municipal Code (PMC), and the City’s Design Review and Development Guidelines (DRDGs) adopted by Planning Commission through Resolution No. 9864.
- C. On September 14, 2017, the applicant submitted a preliminary plan review application to solicit feedback from the City’s Land Use Subcommittee on a potential redevelopment of the site in order to construct a brand-new, modernized storage facility with increased capacity. On September 19, 2017, the Land Use Subcommittee met to discuss the proposal which included an increase in the maximum allowable FAR from 1.0 to 1.75 in order to facilitate redevelopment of the site, as well as a potential reduction in the 10 percent landscaping requirement. While the Subcommittee was unanimously supportive of the increased FAR and redevelopment of the site, concerns were raised regarding the potential request for reduced landscape requirements, and it was recommended the applicant utilize landscaping to softening the walls of the north side of the building, which would be visible from neighboring homes. As such, the applicant has not pursued reduced landscaping.
- D. On July 17, 2018, the applicant presented the proposed project to nearby residents of the Stone Harbour Subdivision at the Homeowners’ Association (HOA) Board Meeting. During the meeting, the residents and HOA Board voiced their appreciation for the applicant’s willingness to meet and discuss the project, and generally supported the redevelopment. Residents’ main concern and request of the applicant was that several of the large, mature Blackwood Acacia trees along the northern

project boundary be trimmed and better maintained, as they were beginning to show signs of potentially damaging the existing wall and neighboring properties.

- E. On November 27, 2018, the Planning Commission held a study session to review the proposed application and provide feedback. During the study session, Commissioners generally supported the project, and did not express any concerns regarding the proposed PD-O zoning or the architectural design of the new structure. The Commission did express concerns regarding: solar access for neighboring properties, particularly the two residential properties directly adjacent to the north of the project site; the ability for large trucks to turn within the proposed drive aisles; and the locations of the proposed entry and exit.
- F. On May 14, 2019, the Planning Commission held a public hearing on Planning Application No. 18-1315, at which time oral and/or written testimony was considered, and adopted Resolution No. 10120, recommending to the City Council approval of design review of architectural and site development plans to construct the self-storage building, as well as a tree removal permit.
- G. On June 3, 2019, City Council adopted Resolution 19-13637 approving the Design Review and Tree Removal Permit.
- H. Pursuant to Condition No. 50 of Resolution No. 19-13637, design review approval was set to expire on June 3, 2024, unless the applicant was issued a grading or building permit, or requested an extension.
- I. The applicant has applied for multiple building and engineering permits, with the initial building permit application submitted to the City in March 2022, prior to the expiration of the design review approval. However, the project has been slowed slightly, and a building permit has not been issued for the project. The applicant has diligently pursued the project.
- J. Pittsburgh Municipal Code (PMC) section 18.36.240 gives the Commission authority to extend the period to pull a building or grading permit in relation to a design review approval, if a written request is submitted within the effective period of approval.
- K. On April 18, 2024, the applicant submitted a request for a time extension of the design review approvals entitled with the adopted Resolution No. 19-13637. Condition No. 50 of Resolution No. 19.13637 does not set an expiration date for the Tree Removal Permit, and as such, this approval remains valid.
- L. The approved development and the currently requested extension are governed by the applicable goals and policies of the Pittsburgh General Plan and the Pittsburgh Municipal Code.
- M. While not required, on or prior to Friday, July 12, 2024, , a 'Notice of Public Hearing' for the July 23, 2024, public hearing on this item was posted at City Hall and on the 'Public Notices' section of the city's website and was mailed via first class or

electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the project site, to local service agencies expected to provide services to the site, and to individuals who had previously filed written request for such notice, in accordance with Pittsburg Municipal Code section 18.14.010 and Government Code section 65091.

- N. The proposed use conforms to the applicable General Plan land use designation of *Mixed Use* and the applicable goals and policies of the Pittsburg General Plan, the Railroad Avenue Specific Plan (RASP), and the Pittsburg Municipal Code (PMC).
- O. Since the adoption of Resolution No. 19-13637 there have been no General Plan, specific plan, or zoning ordinance amendments related to this property.
- P. On July 23, 2024, the Planning Commission considered the request for the extension of the term of approval for two-years of Design Review for Application No. 18-1315.

Section 2. Findings

- A. Based on the Planning Commission Staff Report entitled, “Public Storage Redevelopment – Extension of Approval of AP-18-1315 (DR, TRP),” dated July 23, 2024, and based on all the information contained in the Planning Division files on this project, incorporated here by reference and available for review in the Planning Division located at 65 Civic Avenue, and based on evidence presented to the Planning Commission on July 23, 2024, the Planning Commission finds that:
 - 1. All recitals above are true and correct and are incorporated herein by reference.
 - 2. The design of the project is in substantial conformity with the approved site plan, architectural plans, and elevations for this project.
 - 3. The request for extension of the project review approval was filed within the effective period of approval, in compliance with the requirements of PMC section 18.36.240.
 - 4. There is good cause to support the extension of design review approval for this project in that the General Plan land use designation, RASP land use designation, and zoning classification for the site have not changed since the initial project approval in June 2019, and staff does not anticipate any changes to the development and architectural design standards contained within the RASP or the DRDGs which would potentially require additional conditions or architectural changes.

5. The developer has attempted to move the project forward and has submitted applications for grading and building permits; however, due to unforeseen issues, the issuance of permits has been delayed.
6. Extension of design review approval for this project will allow for redevelopment of the parcel and afford the applicant and staff additional time to prepare and review grading and building permit applications.

Planning Conditions:

1. Conformity with project plans. The project shall be constructed and operated in substantial conformity with the project plans dated May 18, 2018, except as hereinafter modified.
2. Signage. No signage is approved at this time. The developer shall file a sign review permit application prior to the installation or replacement of any signage.
3. Refuse containment. The business operator shall ensure that trash generated from the site is discarded in covered cans or bins, and items left outside of storage units by tenants or others is removed immediately.
4. Roof-mounted equipment. All roof mounted equipment on the new structure shall be screened completely from view from all public rights-of-way. A sight-line study may be necessary to determine appropriate screening method, prior to the issuance of a building permit.
5. Cool roof. The roof of the new building shall be finished with a white color in order to create a reflective surface, and the developer shall comply with all “solar-ready” requirements of Title 24 of the California Building Code (CBC) applicable to the type of construction.
6. Downspouts. All downspouts shall be painted in a color similar to that of the wall to which they are directly attached.
7. Landscaping maintenance. All site landscaping shall be maintained so as to remain thriving and free of weeds.
8. Outdoor cleaning. The applicant shall ensure that detergents/degreasers are never used in the process of outdoor cleaning, and that employees use dry cleanup methods whenever possible.
9. Bike parking. The applicant shall provide permanent, fixed bicycle parking for at least two (2) additional bicycles on-site in a location providing convenient access and natural surveillance. The design, color, and proposed location of the racks shall be reviewed and approved by Planning Division staff prior to issuance of a building permit.

10. Business licenses. The developer or their subcontractor(s) shall record with the California Board of Equalization a nexus or additional location within the City of Pittsburg to ensure any and all sales tax paid shall be recorded and paid to the City of Pittsburg. Developer or subcontractors shall add a new location to an existing account or ensure the seller of goods and materials subject to sales tax have registered a location within the City of Pittsburg with the Board of Equalization.
11. Security cameras. Prior to issuance of a building permit, the developer shall provide the City of Pittsburg Police Department with a scope of work showing the locations and coverage of all proposed video surveillance equipment and security lighting. If the security system is web-based, the developer shall provide the Police Department with the internet protocol (IP) addresses of the camera system. The Chief of Police shall reserve the right to require additional cameras, which shall be procured and installed at the business owner's sole expense.
12. Wayfinding entry signage. Prior to the issuance of a building permit, the developer shall provide funding in the amount of \$25,000, for the development of an entry monument sign along the south side of the proposed project. The developer shall reserve a 5' x 10' space along the frontage of the property for a future wayfinding sign, in an area generally located directly north of the terminus of the westbound Railroad Avenue/Harbor Street freeway offramp. The final location and design of the sign shall be subject to the review and approval of the Planning Division and Public Storage. The sign shall be designed, constructed and maintained by the City of Pittsburg. The City shall maintain sole discretion of the design and messaging contained within the sign; however, no commercial messaging shall be allowed. Should construction of the monument sign not commence construction within two (2) years of the date of payment, the developer shall be entitled to a full refund of funding provided for the sign.
13. Protected tree removal. Pursuant to PMC section 18.84.855(A)(1), the developer shall plant a minimum of 16, 24-inch-box trees. Pursuant to PMC section 18.84.830(F)(3), these trees shall be considered protected upon installation.

Mitigation Measures (MM):

14. **MM AQ-1.1. Implement dust control measures. To reduce particulate matter emissions during construction, the City shall ensure that all development proposed under the Railroad Avenue Specific Plan complies with the dust control strategies developed by BAAQMD. These dust control strategies shall include:**
 - **Cover all trucks hauling construction and demolition debris from the site;**
 - **Water all exposed or disturbed soil surfaces at least twice daily;**

- Use watering to control dust generation during demolition of structures or break-up of pavement;
- Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved parking areas and staging areas;
- Sweep daily (with water sweepers) all paved parking areas and staging areas during the earthwork phases of construction;
- Provide daily clean-up of mud and dirt carried onto paved streets from the site;
- Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.);
- Limit traffic speeds on unpaved roads to 15 mph;
- Install sandbags or other erosion control measures to prevent silt runoff to public roadways; and
- Replant vegetation in disturbed areas as quickly as possible.

15. MM AQ-1.2. Reduce emissions from heavy-duty diesel-powered equipment. The City shall ensure that all development proposed under the Railroad Avenue Specific Plan implements measures to reduce the emissions of pollutants generated by heavy-duty diesel-powered equipment during demolition and construction:

- Keep all construction equipment in proper tune in accordance with manufacturer's specifications.
- Use late model heavy-duty diesel-powered equipment at the Project Site to the extent that it is readily available in the San Francisco Bay Area.
- Use diesel-powered equipment that has been retrofitted with aftertreatment products (e.g., engine catalysts) to the extent that it is readily available in the San Francisco Bay Area.
- Use low-emission diesel fuel for all heavy-duty diesel-powered equipment operating and refueling at the project site to the extent that it is readily available and cost effective in the San Francisco Bay Area (this does not apply to diesel-powered trucks traveling to and from the site).
- Utilize alternative fuel construction equipment (i.e., compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent that the equipment is readily available and cost effective in the San Francisco Bay Area.
- Limit truck and equipment idling time to five minutes or less.
- Rely on the electricity infrastructure surrounding the construction sites rather than electrical generators powered by internal combustion engines to the extent feasible.

16. MM AQ-6.1 Develop and implement a plan to reduce operational air emissions. Prior to approval of building entitlements and permits, the project developers shall be required to demonstrate to the City that

stationary source emissions reduction measures have been included to reduce operational emissions resulting from development in the project area to the maximum extent practicable. A plan for reducing stationary sources shall be approved by City staff. The plan shall include measures such as, but not limited to, incorporating energy saving appliances for heating and air conditioning units and energy efficient lighting.

17. MM BIO-1. Conduct a nesting bird survey within the Specific Plan Area. Project applicants shall be required to comply with the following activities prior to construction during the nesting season, March 1st to August 1st. Outside the specified time period, no mitigation would be required.
- a) Between March 1st and August 1st, a qualified biologist shall conduct nest surveys 30 days prior to any demolition/construction activities that are within 500 feet of potential nest trees. A preconstruction survey report shall be submitted to CDFG [now the California Department of Fish and Wildlife (CDFW)] and the City of Pittsburg that includes, at a minimum: (1) a description of the methodology including dates of field visits, the names of survey personnel with resumes, and a list of references cited and persons contacted; and (2) a map showing the location(s) of any bird nests observed on the project site. This report shall be consistent with the requirements from the East Contra Costa County HCP. If no active nests of the MBTA, CDFG, or USFWS protected species are identified then no further mitigation is required.
 - b) Should active bird nests be located in the survey area, the applicant, in consultation with the City of Pittsburg and CDFG, shall delay construction in the vicinity of active nest sites during the breeding season (March 1st through August 1st) while the nest is occupied with adults and/or young. A qualified biologist shall monitor any occupied nest to determine when the nest is no longer used. If the construction cannot be delayed, avoidance shall include the establishment of a non-disturbance buffer zone around the nest site. The size of the buffer zone will be determined in consultation with the CDFG, but will be a minimum of 100 feet. The buffer zone shall be delineated by highly visible temporary construction fencing.
 - c) No intensive disturbance (e.g., heavy equipment operation associated with construction or use of cranes) or other project related activities that could cause nest abandonment or forced fledging, shall be initiated within the established buffer zone of an active nest between March 1st and August 1st.
 - d) If demolition/construction activities are unavoidable within the buffer zone, the project applicant shall retain a qualified biologist to monitor the nest site to determine if construction activities are disturbing the adult or young birds. If abandonment occurs the biologist shall consult with CDFG or USFWS for the appropriate

salvage measures. This could include taking any nestlings to a local wildlife rehabilitation center.

- e) Trees that support active nests which are to be removed shall only be removed during the non-breeding, non-nesting season.

18. MM CR-1. Treatment of Unexpected Paleontological Resources. Should paleontological resources be identified at project construction sites during any phase of construction, the construction contractor/supervisor shall cease operation at the site of the discovery and immediately notify the City of Pittsburgh Planning Department. The project applicant shall retain a qualified paleontologist to provide an evaluation of the find and to prescribe mitigation measures to reduce impacts to a less-than-significant level. In considering any suggested mitigation proposed by the consulting paleontologist, the City of Pittsburgh Planning Department shall determine whether avoidance is necessary and feasible in light of factors such as the nature of the find, project design, costs, specific plan policies and land use assumptions, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation for paleontological resources is carried out.

19. MM NO-1.1. Implement construction best management practices to reduce construction noise. The construction contractor(s) shall implement the following measures during the construction under the Railroad Avenue Specific Plan:

- Restrict construction activities to the hours of 8:00 a.m. to 5:00 p.m.
- Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically attenuating shields or shrouds, wherever feasible).
- Impact tools (e.g., jackhammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to 10 dBA. External jackets on the tools themselves shall be used where feasible, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible.
- Construction contractor shall use “quiet” gasoline-powered compressors or other electric-powered compressors, and use electric rather than gasoline- or diesel-powered forklifts for small lifting.

- **Stationary noise sources, such as temporary generators, shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible.**
- **Erect temporary plywood noise barriers around the construction site, to shield adjacent uses.**
- **Prohibit trucks from idling along residential streets serving the construction site.**

Engineering Fees:

20. Improvement and Grading Plan review fees. These fees are based on the engineer's estimated costs for site improvements and grading, which shall be submitted with the plans. The improvement plan check fee is 6% of the cost of the improvements. The grading plan check fee is 2.5% of the cost for grading, or it may be based upon cubic yards of earth disturbance as set forth in the City's Master Fee Schedule. Fifty percent (50%) of each fee shall be due payable with first plan submittal. These initial payments will be credited towards the final fees as determined at engineering permit. The remainder of the fee shall be due payable prior to issuance of an engineering permit.
21. Improvement and Grading Inspection fees. Prior to the issuance of an engineering permit, the Developer shall submit the Improvement and Grading Inspection Fee. The current improvement inspection fee is 5.75% of the engineer's estimated cost for improvements. The grading inspection fee is 3% of the engineer's estimated cost of grading. The grading inspection fee may also be based upon an approved engineer's estimate of total cubic yards, according to the current schedule of grading fee charges as set forth in the City's Master Fee Schedule.
22. Facility Reserve Charge. Prior to issuance of a building permit, the Developer shall pay the City of Pittsburgh Facilities Reserve Charge (PMC Chapters 13.08, 13.12 and 13.24) (the "FRC") to the Engineering Division, for water and sewer service in the amounts in effect when the Developer obtains a building permit. The Developer understands that the current FRC on file, effective August 20, 2005, shall be paid in accordance with the fee schedule approved by Resolution No. 05-10290, and amended by Resolution No. 12-11778, on February 21, 2012, a copy of which is available at the City.
23. Local Traffic Mitigation Fee. Prior to issuance of a building permit, the Developer shall pay the Local Transportation Mitigation Fee (PMC Chapter 15.90) (the "LTMF") amount in effect when the Developer obtains a building permit. The Developer understands that the LTMF is reviewed and adjusted annually to the current Construction Cost Index (CCI) and may be increased at the City Council's discretion based on revised cost estimates for roadway and transit facilities and other factors that demonstrate an increase is needed to offset traffic impacts

caused by new development. The LTMF is calculated by dividing the total fee share of improvement costs by the total number of Dwelling Unit Equivalencies ("DUE") in the City, as described in PMC Chapter 15.90 and the Pittsburg Local Transportation Mitigation Fee Program Update, copies of which are available from the City.

24. Regional Traffic Mitigation Fee. Prior to issuance of a building permit, the Developer shall pay the Regional Transportation-Development Impact Mitigation Fee (PMC Chapter 15.103) (the "RTDIM") amount in effect when the Developer obtains a building permit. The RTDIM will be automatically increased or decreased on January 1 of each year based on the percent change in the Engineering News-Record Construction Costs Index – San Francisco Bay Area, between September 1 and September 1 of the preceding two calendar years.
25. GIS. Prior to the issuance of an engineering permit, the Developer shall pay the Geographic Information System fee as set forth in the City's Master Fee Schedule. The current fee is \$0.05/sf of parcel for non-residential uses, and \$100/dwelling unit for residential uses.
26. Kirker Creek Watershed Drainage Fee. Prior to issuance of an engineering permit, the Developer shall pay the Kirker Creek drainage fee as set forth in the City's Master Fee Schedule. The current Kirker Creek drainage fee is \$0.68/sf of newly created impervious surface.
27. NPDES Plan review fee. Prior to issuance of an engineering permit, the Developer shall pay a National Pollutant Discharge Elimination System ("NPDES") plan review fee for review of stormwater control plans and processing of closeout agreements and/or review of Storm Water Pollution Prevention Plans ("SWPPP"). The current fee is:
 - \$3,000 for the first 10,000 sf up to 1st acre
 - Add additional \$136/acre for projects greater than 1 acre, up to the first 5 acres
 - Add additional \$31/acre for projects greater than 5 acres
28. NPDES site inspection deposit. Prior to issuance of an engineering permit, the Developer shall pay an NPDES inspection deposit for city staff's inspection of C.3 compliant facilities constructed, and/or inspection of construction site for compliance with Best Management Practices in accordance with the City's Municipal Regional Stormwater NPDES Permit. The current rate is:
 - \$12,000 for the first 10,000 sf up to 1st acre
 - \$24,000 for projects greater than 1 acre

This deposit shall remain in place for the duration of the first year of the project. If the project is completed prior to the project's one-year anniversary, the remaining balance of the deposit will be returned to the Developer.

29. Supplemental studies. If additional engineering studies are deemed necessary by the City Engineer, i.e. geotechnical, structural, hydraulic, etc., or expedited reviews are requested by the Developer, the Developer shall pay for all costs related to the extra work. The costs may include the preparation of special studies, additional staff time, and/or reviews of the special studies if studies are prepared by the Developer's engineer. These fees shall be due payable at the time of initial submittal.

Engineering Submittals:

30. Improvement plans. The Developer shall submit five (5) copies of the engineering plans to the Engineering Division for review and approval. The plans shall be prepared by a registered civil engineer, to include but not be limited to the following:

- A Site Plan
- A Grading and Drainage Plan
- A Utilities Plan
- A Landscaping and Irrigation Plan
- An Erosion and Sedimentation Control Plan
- Offsite Improvements due to Project Impacts

31. Geotechnical report. The Developer shall submit a current geotechnical report that supports the design features incorporated into this project including, but not limited to, grading activities, compaction requirements, utility construction, slopes, retaining walls, and roadway sections. The geotechnical report shall be submitted to the Engineering Division for review prior to the approval of any civil plans and/or the issuance of a site development permit.

National Pollutant Discharge Elimination System (NPDES):

32. Stormwater pollutants. The Developer shall incorporate long-term best management practices (BMP's) for the reduction or elimination of storm water pollutants. The project design shall incorporate wherever feasible, the following long term BMPs to limit pollutant generation, discharge, and runoff. Such source control design measures may include:

- a. Incorporating landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices.

- b. Providing covered trash, food waste, and compactor enclosures.
- c. Using pavers for walkways and other appropriate hardscape surfaces to minimize impervious areas.
- d. Minimizing the amount of directly connected impervious surface area.
- e. Marking all storm drains with “No Dumping, Drains to Delta” messages.
- f. Constructing concrete driveway weakened plane joins at angles to assist in directing run-off to landscaped/pervious areas prior to entering the street curb and gutter.
- g. Plumbing of the following discharges to the sanitary sewer, subject to Delta Diablo’s authority and standards:
 - i. Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurant.
 - ii. Dumpster drips from covered trash and food compactor enclosures.
 - iii. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv. Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option.

33. Consistency with Stormwater Control Plan. Grading, improvement, and/or building plans shall be consistent with the approved Stormwater Control Plan. The Developer shall submit a complete Stormwater Control Plan and Report compliant with the requirements set forth in the City’s most current NPDES permit. The C.3 treatment facilities shall be adequately sized to treat the stormwater runoff from the associated drainage management areas. The grading and/or building plans shall include drawings and specifications necessary to implement all measures in the approved Stormwater Control Plan. Design features should incorporate low impact development design standards as outlined in the most current edition of the Contra Costa Clean Water Program’s C.3 Guidebook. These features include limiting directly connected impervious area, and incorporating pervious pavements, self-retaining areas, treatment BMPs, permanent stormwater control BMPs, and other features that control stormwater flow and potential for stormwater pollutants. Grading and/ or building permits shall not be issued until this condition is met to the satisfaction of the Engineering and Planning Divisions.

34. Stormwater pollution protection during construction. Prior to issuance of a grading permit, the Developer shall submit the following to the Engineering Department for review: an Erosion and Sedimentation Control Plan or Stormwater Pollution prevention Plan if the project requires a permit from the

State Water Resources Control Board under the provisions of the General Construction Permit. The Stormwater Pollution Prevention Plan measures shall also include measures to prevent soil, dirt, and debris from entering the storm drain system, in accordance with California Stormwater Quality Association's (CASQA's) construction handbook.

35. Operations and Maintenance Plan for C.3 facilities. Prior to final inspection approvals by the Engineering Division, the Developer shall submit a Stormwater Best Management Practices (BMPs) Operation and Maintenance Plan for review and approval by the Engineering Division. Guidelines for the preparation of Stormwater BMP Operation and Maintenance Plans are available on the Contra Costa Clean Water Program's website.
36. Operations and Maintenance Agreement. Prior to issuance of the Certificate of Occupancy, the Developer shall execute the Operations and Maintenance Agreement and Right of Entry, which pertain to the transfer of ownership and / or long-term maintenance of stormwater treatment BMPs or hydrograph modification BMPs. The Guidelines for the preparation of Stormwater BMP Operation and Maintenance Plans are found on the Contra Costa County Clean Water Program website (www.cccleanwater.org) or the Stormwater C.3 Guidebook, most current edition.
37. Trash capture devices. The Developer shall install full trash capture devices in all inlets located within the boundaries of the project site, that are not within the treatment chain of a stormwater treatment facility. Continuous maintenance of these devices shall be the responsibility of the Developer. Devices shall meet all requirements of the City's NPDES permit for trash load reduction, and device vendors must be included on the pre-approved vendor list, available for public review on the State Water Resources Control Board's website.

Utilities:

38. Capacity evaluation. The Developer shall evaluate the existing, receiving storm, sewer, and water facilities for adequate capacity and provide the results to the City to identify any service or supply problems. The cost for installation of additional facilities required to be constructed to accommodate the project shall be borne by the Developer.

Site Improvements:

39. ADA compliance. All public and pedestrian facilities shall be designed in accordance with Title 24, Handicap Access, and the California Department of State Architect's standards for accessibility compliance. All driveways along California Avenue shall be ADA compliant.

40. Utility undergrounding. Pursuant to Pittsburg Municipal Code Chapter 12.36.130, "Underground Utilities for New Construction," Developer shall pay a fair share fee for the undergrounding of overhead utility lines adjacent to the project site along the project frontage (the "Undergrounding") in an amount not to exceed \$221,450 ("Fair Share Amount"). This amount shall be adjusted annually based on the San Francisco Bay Area Consumer Price Index (CPI) until paid.

- a. Upon submittal of the first application for a building or engineering permit, Developer shall submit to the Engineering Division an amount not to exceed 20 percent of the Fair Share Amount in order to allow the City to prepare or have prepared a design for the Undergrounding ("Design Costs").
- b. Prior to issuance of a building permit, Developer shall submit the balance of the Fair Share Amount not previously delivered to the City for Design Costs (balance shall be equal to the Fair Share Amount less Design Costs). Developer shall not be obligated to submit the remainder of the Fair Share Amount unless and until it pulls the final building permit. The City's issuance of the building permit to Developer shall not be contingent upon the City having commenced or completed its design for the Undergrounding.
- c. Subject to item (D) below, if a building permit is issued for the project, Developer shall defer construction of the proposed 10-foot sidewalk along California Avenue ("Sidewalk") until the City has completed installation of the Undergrounding. A Certificate of Occupancy shall not be issued until either (1) the Sidewalk is completed or (2) Developer has posted a bond, with surety acceptable to the City of Pittsburg, to cover the costs of installation of the Sidewalk in an amount reasonably agreed upon by the City and Developer not to exceed 110% of the estimated costs to complete said Sidewalk (the "Bond") and repair any damage to the existing sidewalk with hot mix asphalt. For clarity, the City may not withhold or deny issuance of a Certificate of Occupancy for the project for Developer's failure to complete the Sidewalk if Developer has posted the required Bond.
- d. If a final Certificate of Occupancy has been issued without the Sidewalk having been completed under item (C), the City will have 12 months from the issuance of such final Certificate of Occupancy to deliver notice to Developer of the City's election, in its sole discretion, to either (1) require Developer to complete the Sidewalk (regardless of the status of the Undergrounding), or (2) waive Developer's obligation to complete the Sidewalk and require Developer, in lieu thereof, to make a one-time cash payment in an amount equal to 100% of the estimated costs to complete said Sidewalk (as agreed to pursuant to item (C) above). The City's failure to deliver such notice within such 12 month period shall be deemed the

City's irrevocable election to proceed under clause (2) of this Section. If the City elects to proceed under clause (1) of this Section, Developer shall promptly construct the Sidewalk at its cost and upon completion, the Bond shall be released to Developer and Developer shall have no further obligations with respect to the Undergrounding. If the City elects, or is deemed to elect, to proceed under clause (2) of this Section, then (x) within 30 days of receipt of such notice or, if no notice is delivered, of expiration of such 12-month period, Developer shall pay the amounts due to the City under clause (2), and (y) upon payment of such amounts, the Bond shall be released to Developer and Developer shall have no further obligations with respect to the Undergrounding. Any release of the Bond in accordance with this item (D) shall not affect the validity of Developer's Certificate of Occupancy for the Project. Regardless of the City's election under this item (D), the City will have no obligation to refund any Fair Share Amount or Design Costs.

- e. If the Undergrounding is not completed within five (5) years of submittal of the required fees, then the City may redirect the Fair Share Amount and any in-lieu fees paid under item (D) to the City of Pittsburg Capital Improvement Project (CIP) Fund."

41. Westbound through lane. The developer shall reimburse the City, in an amount not to exceed \$5,000, for the study and design of a third west-bound through lane on California Avenue approaching SR4 westbound freeway off-ramp within the existing right-of-way.

Engineering Exactions (CFD inclusion):

42. Annexation Documentation for CFD 2005-1. Community Facilities District 2005-1 is for public safety services; the fee will provide funding for an increase of police coverage in the area. The rate of the CFD 2005-1 fee is subject to City Council Resolution No. 05-10342. The developer shall deliver written approval in a manner acceptable to the Community Development Director, that the owner of the parcel is electing to annex the subject property into the 2005-1 Public Safety Services Community Facilities District (CFD 2005-1), prior to the issuance of any building or engineering permits.

43. Annexation Documentation for CFD 2014-1. Community Facilities District 2014-1 is for the Railroad Avenue Specific Plan area. The rate of the CFD fee is subject to City Council Resolution No. 14-12094. The developer shall deliver written approval in a manner acceptable to the Community Development Director, that the owner of the parcel is electing to annex the subject property into the 2014-1 Railroad Avenue Specific Plan Community Facilities District (CFD 2014-1), prior to the issuance of any building or engineering permits.

44. Annexation Documentation for CFD 2017-1. Community Facilities District 2017-1 is for fire facilities and fire safety and emergency services. The rate of the CFD 2017-1 fee is subject to City Council Resolution No. 17-13311. The developer shall deliver written approval in a manner acceptable to the Community Development Director, that the owner of the parcel is electing to annex the subject property into the 21017-1 Fire Facilities and Fire Safety and Emergency Services Community Facilities District (CFD 2017-1), prior to the issuance of any building or engineering permits.

Standard Conditions:

45. Standard Conditions of Development. The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 shall apply as conditions of approval for this project as applicable. Where there is a conflict between the Standard Conditions of Development, and this Resolution, this Resolution shall prevail.
46. Regulatory compliance. The developer shall comply with all the requirements of the Planning Division, Engineering Division, Contra Costa County Fire Protection District, Delta Diablo Sanitation District, and all other applicable local, state and federal agencies.
47. Site development. All site development shall comply with Title 12 (Streets, Sidewalks, and Utilities), Title 13 (Water and Sewers) and Chapter 15.88 (Grading, Erosion and Sediment Control) of the PMC as determined by the City Engineer. Issuance of a site development permit will be required whereby specific engineering requirements will be made as conditions of approval.
48. Indemnity. The developer agrees to indemnify, defend, and hold harmless the City, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at Developer's sole cost and expense. Developer may select its own legal counsel to represent developer's interests at developer's sole cost and expense. Developer shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

Section 3. Decision

Based on the findings set forth above, the Planning Commission hereby extends approval of Design Review for Application No. 18-1315, to the following:

1. Expiration of Approval: Design Review approval for the project shall expire on June 3, 2026, unless a building permit or grading permit has been issued or a written request for extension is filed with the Planning Division prior to the expiration date and subsequently approved by the Planning Commission. The approval shall be valid for no more than six months from the date of building or grading permit issuance, unless work is commenced and diligently pursued prior to the expiration of the building or grading permit.

Section 4. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner _____, seconded by Commissioner _____, the foregoing resolution was passed and adopted the 23rd day of July, 2024, by the Planning Commission of the City of Pittsburg, California, by the following vote:

AYES:

NAYES:

ABSTAIN:

ABSENT:

I hereby certify that the above Resolution No. _____ was adopted by the Planning Commission of the City of Pittsburg on July 23, 2024.

JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION

A REDEVELOPMENT FOR PUBLIC STORAGE

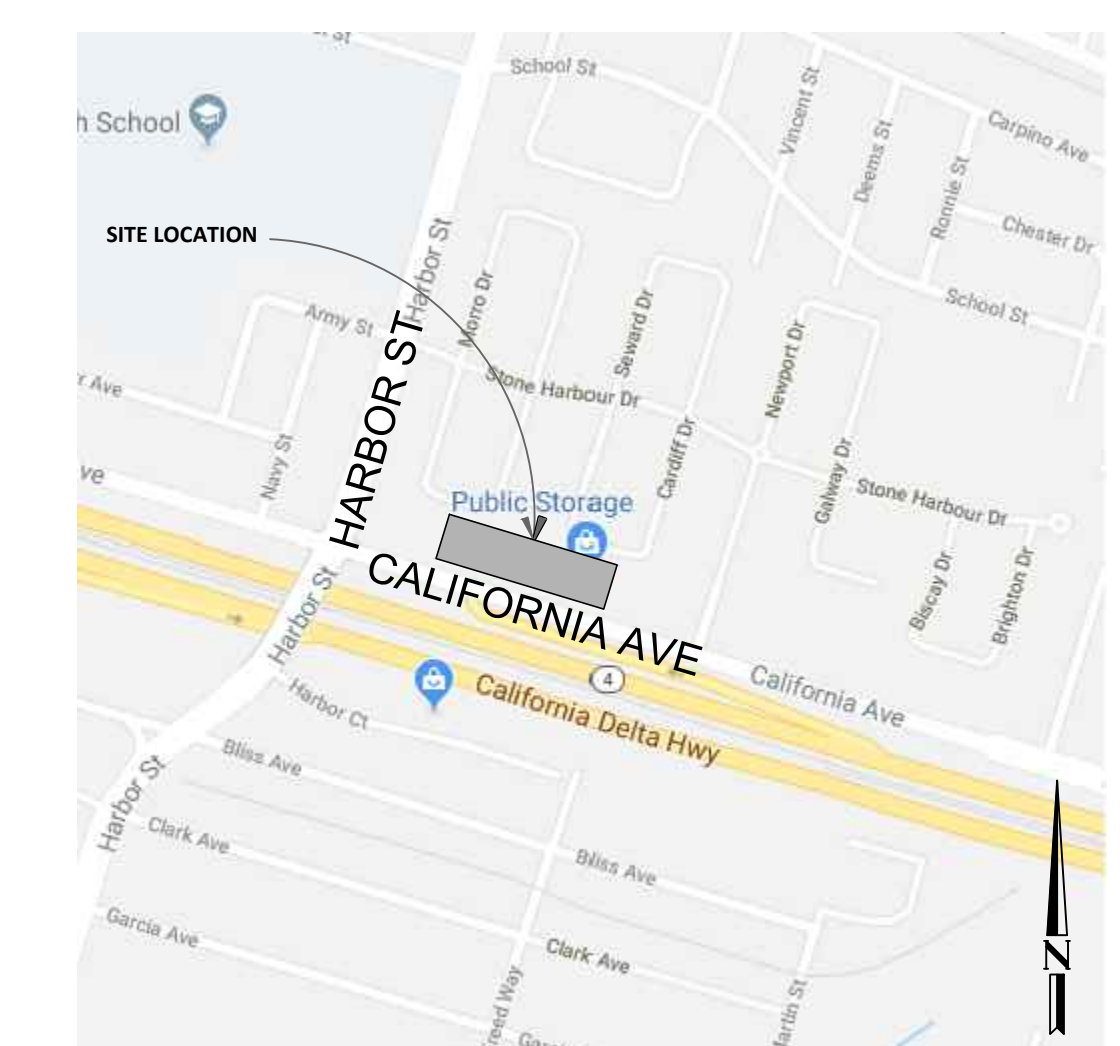
ATTACHMENT 2



SHEET INDEX

1. COVER SHEET
 - 1.1 FIRE FLOW TESTS
 2. CONCEPTUAL SITE PLAN
 3. CONCEPTUAL FIRST FLOOR PLAN
 4. CONCEPTUAL SECOND FLOOR PLAN
 5. CONCEPTUAL THIRD FLOOR PLAN
 6. CONCEPTUAL ROOF PLAN
 7. CONCEPTUAL ELEVATIONS
 8. CONCEPTUAL VIEWS
 9. CONCEPTUAL VIEWS
 10. CONCEPTUAL LANDSCAPE PLAN
 11. EXISTING CONDITION PLAN
 12. PRELIMINARY GRADING & UTILITY PLAN
 13. PRELIMINARY STORMWATER MANAGEMENT PLAN
- SIGN PACKAGE (SHEETS 1-7)

VICINITY MAP



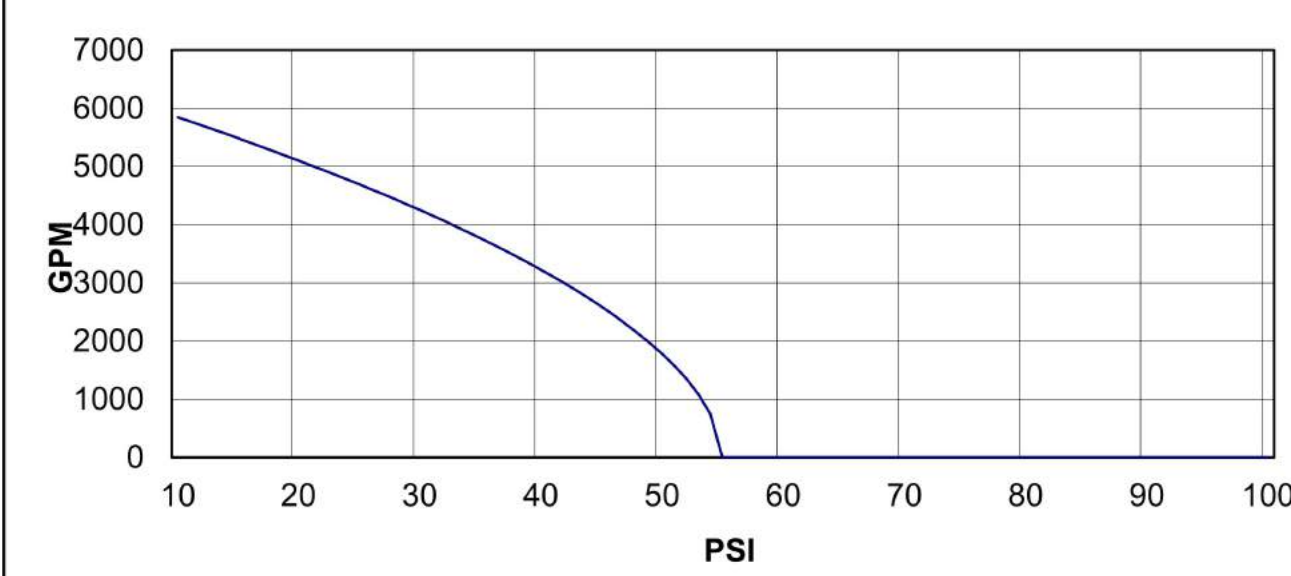
NOT TO SCALE



525 CALIFORNIA AVENUE | PITTSBURG, CA

COVER SHEET
05.18.18

SHEET 1
KSP
STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771

Attachment 3A - Fire Flow Test Response Fire Protection Fire Flow Report					
Test Hydrant Information					
Location 525 California Avenue, Pittsburg CA		Date 3/26/2018	Time 9:45 am		
		Conducted by Pittsburg Water Utilities Department Contact name: Freddy Rivera			
Legend			Fire Flow @ 20psi Fire Flow @ 10psi		
Q _t Flow in GPM C _d Friction loss Coefficient D diameter of opening in inches P _p Pressure on Pitot in psi Q _t Fire flow in GPM at 20psi P _s Static Pressure in psi P _r Residual Pressure in psi			5,102 5,844		
			Static Pressure Residual Pressure		
			55 50		
Hyd #	Port #	D	C _d	P _p	Q _t
1	1	4	0.75		0
	2	2.5	0.9	28	810
2	1	2.5	0.9		0
	2	2.5	0.9	40	974
3	1	2.5	0.9		0
	2	2.5	0.9		0
Total GPMs flowed in test 1784					
Total Fire Flow					
					
3/26/2018					

Pittsburg
LAUREN

**CITY OF PITTSBURG
WATER UTILITIES DEPARTMENT
357 E. 12th Street, Pittsburg, California 94565**

FIRE FLOW TESTING

Date: 3/26/18 Time Started: 9:45

PROJECT INFORMATION:

Company: Respond Fire Pro.

Requestor: Laura DeBell

GENERAL WATER SYSTEM INFORMATION:

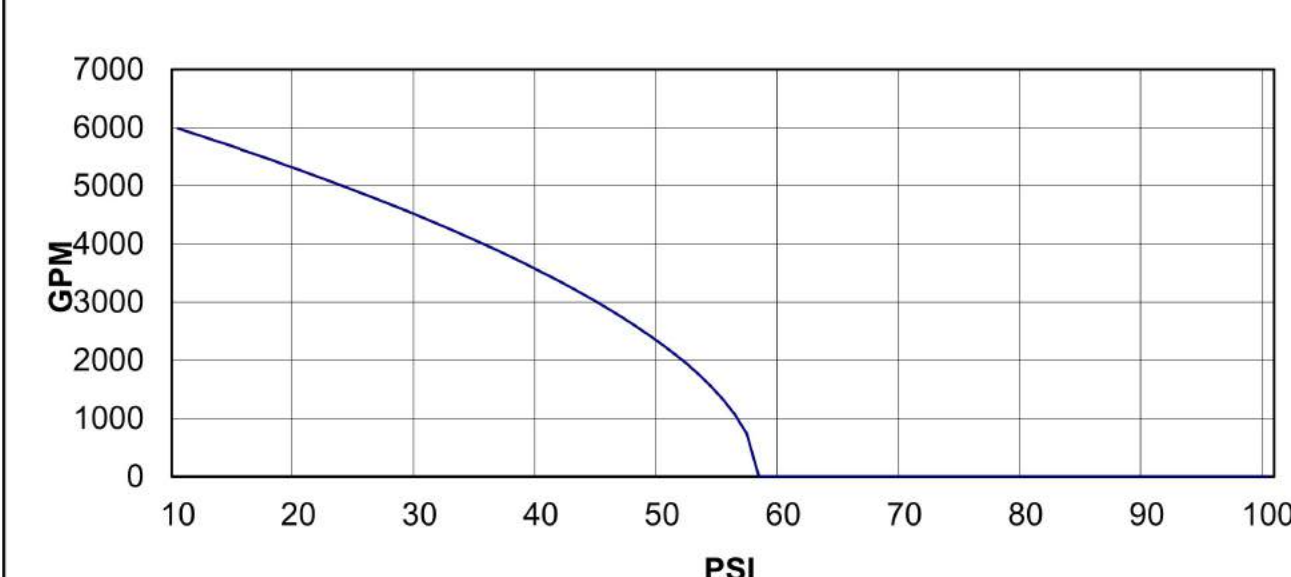
Location of Nearest Fire Hydrant: 525 California

Hydrant #: 16465 Size of Water Main Supplying Fire Flow: 12"

Check One: ☒ Looped System ☐ Dead End Water Main

Static psi: 55.2 psi Residual psi: 50.2 psi Flow gpm: 810-974/974-0

Hydrant Test Conducted by: Chad, John, Jason

Attachment 3B - Fire Flow Test Response Fire Protection Fire Flow Report					
Test Hydrant Information					
Location 1275 California Avenue, Pittsburg CA		Date 10/25/2017	Time 10:00 am		
		Conducted by Pittsburg Water Utilities Department			
Legend			Fire Flow @ 20psi Fire Flow @ 10psi		
Q _t Flow in GPM C _d Friction loss Coefficient D diameter of opening in inches P _p Pressure on Pitot in psi Q _t Fire flow in GPM at 20psi P _s Static Pressure in psi P _r Residual Pressure in psi			5,278 5,988		
			Static Pressure Residual Pressure		
			58 52		
Hyd #	Port #	D	C _d	P _p	Q _t
1	1	4	0.75		0
	2	2.5	0.9	40	974
2	1	2.5	0.9		0
	2	2.5	0.9	40	974
3	1	2.5	0.9		0
	2	2.5	0.9		0
Total GPMs flowed in test 1948					
Total Fire Flow					
					
3/26/2018					

Pittsburg
LAUREN

**CITY OF PITTSBURG
WATER UTILITIES DEPARTMENT
357 E. 12th Street, Pittsburg, California 94565**

FIRE FLOW TESTING

Date: 3/26/18 Time Started: 10:15

PROJECT INFORMATION:

Company: _____

Requestor: Laura DeBell

GENERAL WATER SYSTEM INFORMATION:

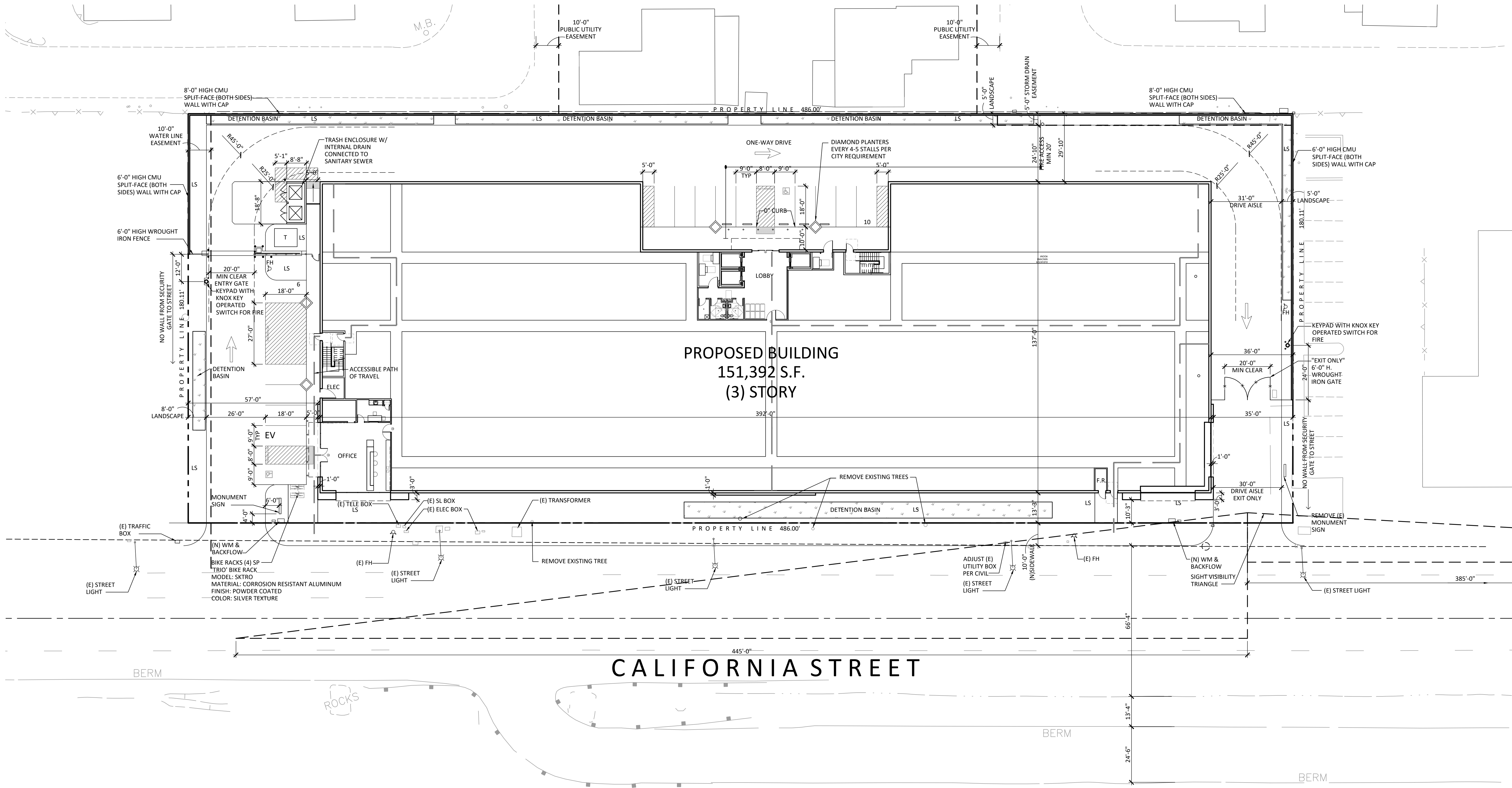
Location of Nearest Fire Hydrant: 1275 California

Hydrant #: 14645 Size of Water Main Supplying Fire Flow: 12"

Check One: ☒ Looped System ☐ Dead End Water Main

Static psi: 58 psi Residual psi: 52 psi Flow gpm: 974-974/974-0

Hydrant Test Conducted by: Chad, John, Jason



PROJECT INFORMATION	
PROJECT ADDRESS:	525 CALIFORNIA STREET, PITTSBURG, CA
SITE APN:	073-270-088-5
SITE AREA:	87,534 S.F. OR 2.01 ACRES
ZONE:	PD RASP TOD-M PD(O) SELF-STORAGE
PROPOSED ZONE:	PD
USE:	RASP
FLOOR AREA RATIO ALLOWED:	1.00
F.A.R. PROPOSED:	1.75
LOT COVERAGE MAX:	NO REQUIREMENT
LOT COVERAGE PROPOSED:	57.65%
SETBACKS REQUIRED:	
FRONT:	0'-15"
SIDE:	0'-0"
REAR:	10'-0"
SETBACKS PROVIDED:	
FRONT:	10'-3"
SIDE (WEST):	57'-0"
SIDE (EAST):	35'-0"
REAR:	29'-10"
HEIGHT MAXIMUM:	40'-0"
HEIGHT PROPOSED:	40'-0"
LANDSCAPE REQ'D:	MINIMUM 10% OF LOT = 8,753 S.F.
LANDSCAPE PROVIDED:	9,880 S.F. OR 11.3%

BUILDING AREA	
EXISTING BLDG(S) TO BE DEMO'D:	48,428 S.F.
EXISTING BLDG A:	18,279 S.F.
EXISTING BLDG B:	17,427 S.F.
EXISTING BLDG C:	12,732 S.F.
PROPOSED BUILDING:	
1ST FLOOR OFFICE:	1,801 S.F.
1ST FLOOR STORAGE:	49,163 S.F.
2ND FLOOR STORAGE:	50,464 S.F.
3RD FLOOR STORAGE:	50,464 S.F.
TOTAL:	151,392 S.F.

PARKING ANALYSIS	
PROPOSED BLDG PARK'G REQ'D:	NO MINIMUM REQUIRED
MINIMUM # OF PARKING SPACES:	151,392 S.F. / 333 SF = 455 SP
MAXIMUM # OF PARK'G SPACES 1 SP/333 SF:	455 SP
TOTAL PARKING REQ'D:	
CAL GRN EV PRKG REQ'D:	1
ADA PARKING REQ'D:	1
PARKING PROVIDED:	
ADA VAN:	1 SP
ADA CAR:	1 SP
EV PRKG:	1 SP
STANDARD:	15 SP
TOTAL:	16 SP
CAL GREEN BICYCLE PARKING REQ'D:	1 SP
1/8% OF ADDED STALLS:	1 SP
TOTAL:	1 SP
BICYCLE PARKING PROVIDED:	4 SP

CITY OF PITTSBURG NOTES:

- ALL TRASH ENCLOSURES SHALL INCLUDE 6 FT. WALLS AND A ROOF DESIGNED WITH MATERIALS WHICH ARE COMPATIBLE IN COLOR, TEXTURE AND APPEARANCE WITH THE MAIN STRUCTURE. THE ENCLOSURE MUST HAVE OPAQUE GATES WHICH HAVE AN OPENING SUFFICIENT TO PERMIT REMOVAL AND REPLACEMENT OF STANDARD COMMERCIAL SIZE TRASH BINS (PVC 18.56 DIA. & 18.80/0.0351).
- ALL AIR CONDITIONING UNITS (IN PRIVATE AND COMMON AREAS), UTILITY BOXES, TRANSFORMERS, BACKFLOW PREVENTERS, METERS AND JUNCTION BOXES SHOULD BE UNDERGROUND, WHENEVER POSSIBLE, OR SUBSTANTIALLY SCREENED FROM VIEW BY WAY OF A PERMANENT SCREEN OR APPROPRIATELY SIZED PLANT MATERIAL.
- A LIGHTING AND PHOTOMETRIC ANALYSIS MAY BE REQUIRED TO ENSURE LIGHT FROM THE PROJECT DOES NOT SPILL OVER INTO NEIGHBORING RESIDENCES.
- COPPER PRODUCTS OR PRODUCTS WHICH CONTAIN COPPER MATERIALS SHALL NOT BE USED IN BUILDING FINISHES.

BUILDING CODE ANALYSIS	
APPLICABLE BUILDING CODES:	
BUILDING CODE:	2016 CALIFORNIA BUILDING CODE
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE:	2016 CALIFORNIA ELECTRICAL CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
GREEN BUILDING CODE:	2016 GREEN BUILDING STANDARDS CODE

BUILDING AREA QUALIFICATION EQUATIONS

AA = [AT + (NS x IF)] x SA (EQUATION 5-3)

AA = ALLOWABLE AREA (S.F.)

AT = ALLOWABLE AREA FACTOR (TABLE 506.2)

NS = ALLOWABLE AREA FACTOR FOR NON-SPRINKLERED BLDG. (TABLE 506.2)

IF = AREA FACTOR INCREASE DUE TO FRONTAGE INCREASE (1%)

SA = 3 UNLESS PART OF GROUP A, E, H, I, L, or R

IF = [F/P - 0.25] W/30 (EQUATION 5-5)

IF = AREA FACTOR INCREASE DUE TO FRONTAGE

F = BUILDING PERIMETER THAT FRONTS ON PUBLIC WAY OR OPEN SPACE HAVING A MINIMUM DIST. 20'-0"

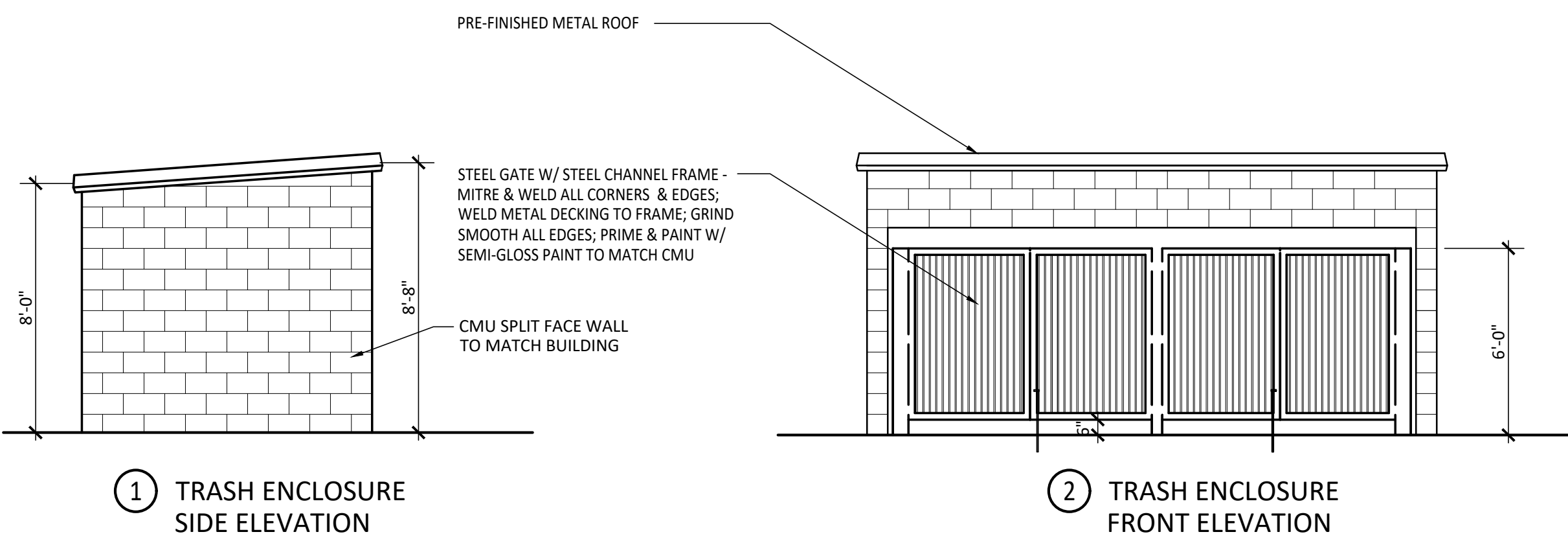
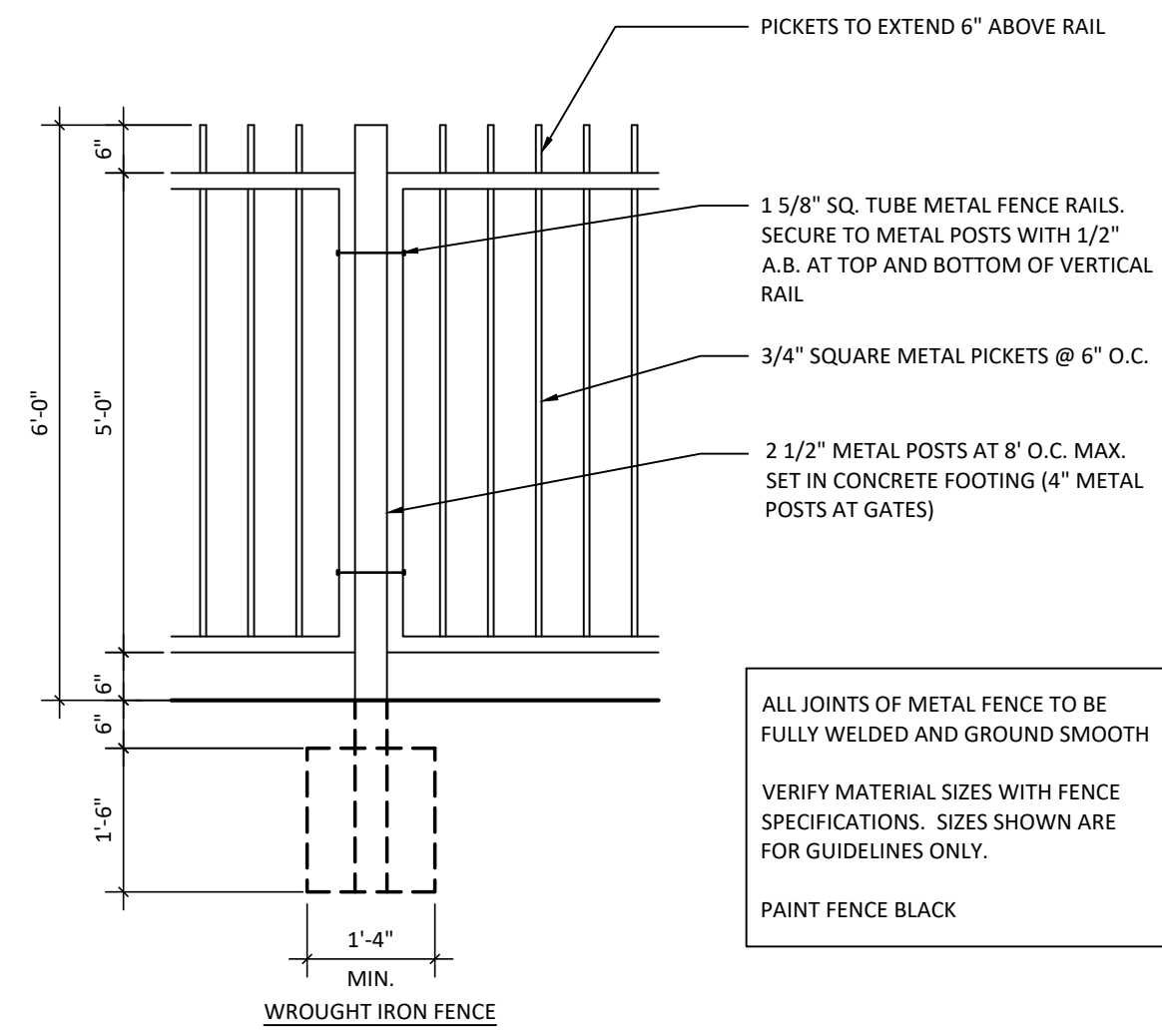
PROPOSED BUILDING	
BUILDING CLASSIFICATION:	S-1 - STORAGE
OCCUPANCY GROUP:	III-B
CONSTRUCTION TYPE:	YES
FIRE SPRINKLERS:	YES
ROOFING CLASSIFICATION:	CLASS A

ALLOWABLE HEIGHT	
ALLOWABLE HEIGHT:	75' FULLY SPRINKLERED (TABLE 504.3)
PROPOSED BUILDING HEIGHT:	40'-0"
ALLOWABLE # OF STORIES:	3 STORIES ALLOWED (TABLE 504.4)

BUILDING QUALIFICATION	
F =	137' + 137' + 392' = 666'
P =	137' + 137' + 392' + 392' = 1,058'
W =	30'
IF =	(666 / 1,058) - .25 / 30' = .38
SA =	3
AA =	[52,800 S.F. + (17,500 S.F. x .38)] x 3
AA =	177,423 S.F.
AA =	177,423 S.F. > 151,392 S.F.

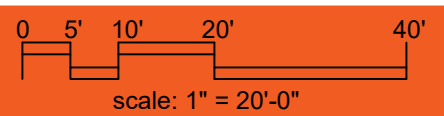
PROPOSED STORAGE UNITS	
TOTAL STORAGE AREA:	151,392 S.F.
151,392 S.F. x 73% EFFICIENCY = 110,516.16	
110,516.16 / 100 S.F. AVG. UNIT = APPROXIMATELY 1,105 STORAGE UNITS	

- FIRE DISTRICT NOTES**
- ACCESS ROADWAYS SHALL BE ALL-WEATHER (PAVED) SURFACES, OF NOT LESS THAN 20' UNOBSTRUCTED WIDTH AND NOT LESS THAN 13'-6" OF VERTICAL CLEARANCE, TO WITHIN 150' OF TRAVEL DISTANCE TO ALL PORTIONS OF THE EXTERIOR WALLS OF EVERY BUILDING. ACCESS SHALL HAVE A MIN. OUTSIDE TURN RADIUS OF 45' AND MUST BE CAPABLE OF SUPPORTING THE IMPOSED FIRE APPARATUS LOADING OF 37 TONS (50.3) CFC.
 - ACCESS ROADS LESS THAN 28' UNOBSTRUCTED WIDTH SHALL HAVE SIGNS POSTED OR CURBS PAINTED RED WITH "NO PARKING - FIRE LANE". ACCESS ROADS 28' OR GREATER, BUT LESS THAN 30' UNOBSTRUCTED WIDTH SHALL HAVE "NO PARKING - FIRE LANE" SIGNS POSTED, ALLOWING FOR PARKING ON ONE SIDE ONLY OR CURBS PAINTED RED WITH "NO PARKING - FIRE LANE". PARKING IS PERMITTED ONLY ON THE SIDE OF THE ROAD THAT DOES NOT HAVE HYDRANTS (503.3) CFC.
 - NOT USED
 - THE DEVELOPER SHALL SUBMIT A MIN. (2) COPIES OF SITE IMPROVEMENT PLANS INDICATING ALL EXISTING OR PROPOSED HYDRANT LOCATIONS & FIRE APPARATUS ACCESS FOR REVIEW AND APPROVAL PRIOR TO OBTAINING A BUILDING PERMIT (501.3) CFC.
 - EMERGENCY APPARATUS ACCESS ROADS AND HYDRANTS SHALL BE INSTALLED, IN SERVICE, AND INSPECTED BY THE FIRE DISTRICT PRIOR TO CONSTRUCTION OR COMBUSTIBLE STORAGE ON SITE (501.4) CFC. NOTE: A TEMPORARY AGGREGATE BASE OR ASPHALT GRINDINGS ROADWAY IS NOT CONSIDERED AN ALL-WEATHER SURFACE FOR EMERGENCY APPARATUS ACCESS. THE FIRST LIFT OF ASPHALT CONCRETE PAVING SHALL BE INSTALLED AS THE MINIMUM ROADWAY MATERIAL AND MUST BE ENGINEERED TO SUPPORT THE DESIGNATED GROSS VEHICLE WEIGHT OF 22/37 TONS.
 - ACCESS GATES FOR FIRE DISTRICT APPARATUS SHALL BE A MINIMUM OF 20-FT WIDE. ACCESS GATES SHALL SLIDE HORIZONTALLY OR SWING INWARD AND SHALL BE LOCATED A MINIMUM OF 30-FT FROM THE STREET. ELECTRICALLY OPERATED GATES SHALL BE EQUIPPED WITH A KNOX COMPANY KEY-OPERATED SWITCH ON BOTH ENTRY AND EXIT SIDE. MANUALLY OPERATED GATES SHALL BE EQUIPPED WITH A NONCASE HARDENED LOCK OR APPROVED FIRE DISTRICT LOCK. CONTACT THE FIRE DISTRICT FOR INFORMATION ON ORDERING THE KEY-OPERATED SWITCH (D163.5) CFC.
 - THE DEVELOPER SHALL PROVIDE AN ADEQUATE AND RELIABLE WATER SUPPLY FOR FIRE PROTECTION WITH A MINIMUM FIRE FLOW OF 4000 GPM. REQUIRED FLOW SHALL BE DELIVERED FROM NOT MORE THAN 4 HYDRANTS FLOWING SIMULTANEOUSLY FOR A DURATION OF 240 MINUTES WHILE MAINTAINING 20-POUNDS RESIDUAL PRESSURE IN THE MAIN (508.1), (510.5) CFC.
 - THE DEVELOPER SHALL PROVIDE TRAFFIC SIGNAL PRE-EMPTION SYSTEMS (OPTICOM) ON ANY NEW OR MODIFIED TRAFFIC SIGNALS INSTALLED WITH THIS DEVELOPMENT (2135.1) CVC.
 - PREMISES IDENTIFICATION SHALL BE PROVIDED. SUCH NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF FOUR INCHES HIGH WITH 3/4-INCH STROKE OR LARGER AS REQUIRED TO BE READILY VISIBLE FROM THE STREET (505.1) CFC, (501.2) CBC, TFS-008.
 - THE DEVELOPER SHALL SUBMIT A MINIMUM OF (3) COMPLETE SETS OF PLANS & SPECIFICATIONS OF THE SUBJECT PROPERTY, INCLUDING ANY OF THE FOLLOWING REQUIRED BUILT-IN FIRE PROTECTION SYSTEMS, TO THE FIRE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH THE MINIMUM REQUIREMENTS RELATED TO FIRE AND LIFE SAFETY. PLAN REVIEW FEES WILL BE ASSESSED AT THAT TIME (901.2) CFC, (108.4.1) CBC.
 - A. PRIVATE UNDERGROUND FIRE SERVICE WATER MAINS
 - C. FIRE SPRINKLERS
 - D. FIRE ALARM



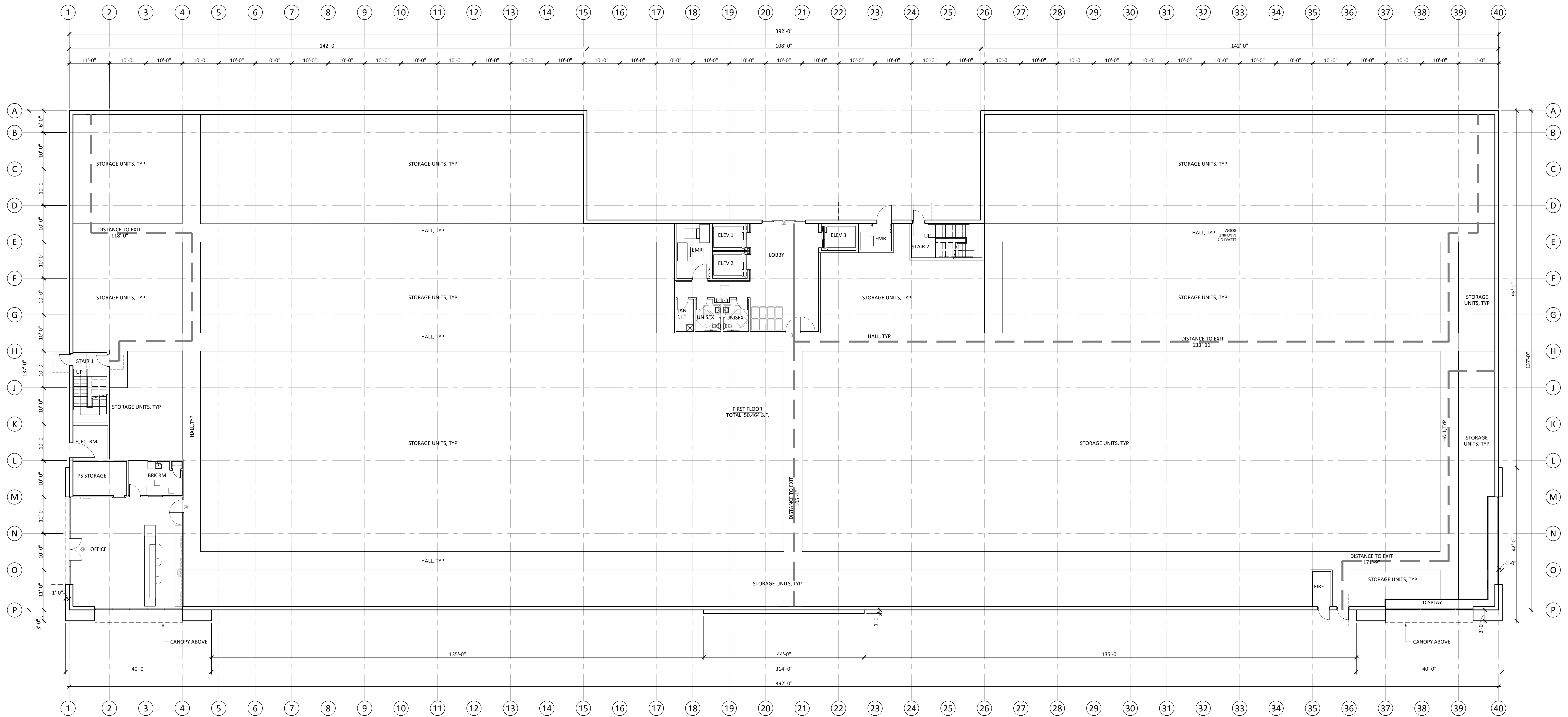
525 CALIFORNIA AVENUE | PITTSBURG, CA

CONCEPTUAL SITE PLAN
05.18.18



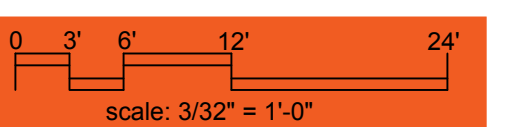
SHEET 2
KSP
STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771

KSP PROJECT NO. 20397



525 CALIFORNIA AVENUE | PITTSBURG, CA

CONCEPTUAL FIRST FLOOR PLAN 05.18.18



KSP PROJECT NO. 20397



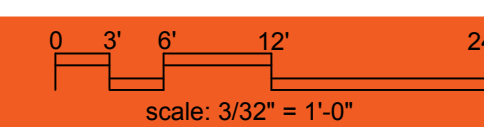
SHEET 3

KSP

STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771



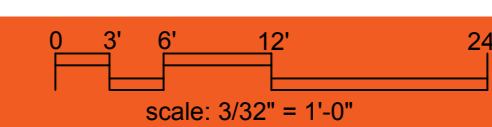
CONCEPTUAL SECOND FLOOR PLAN
05.18.18



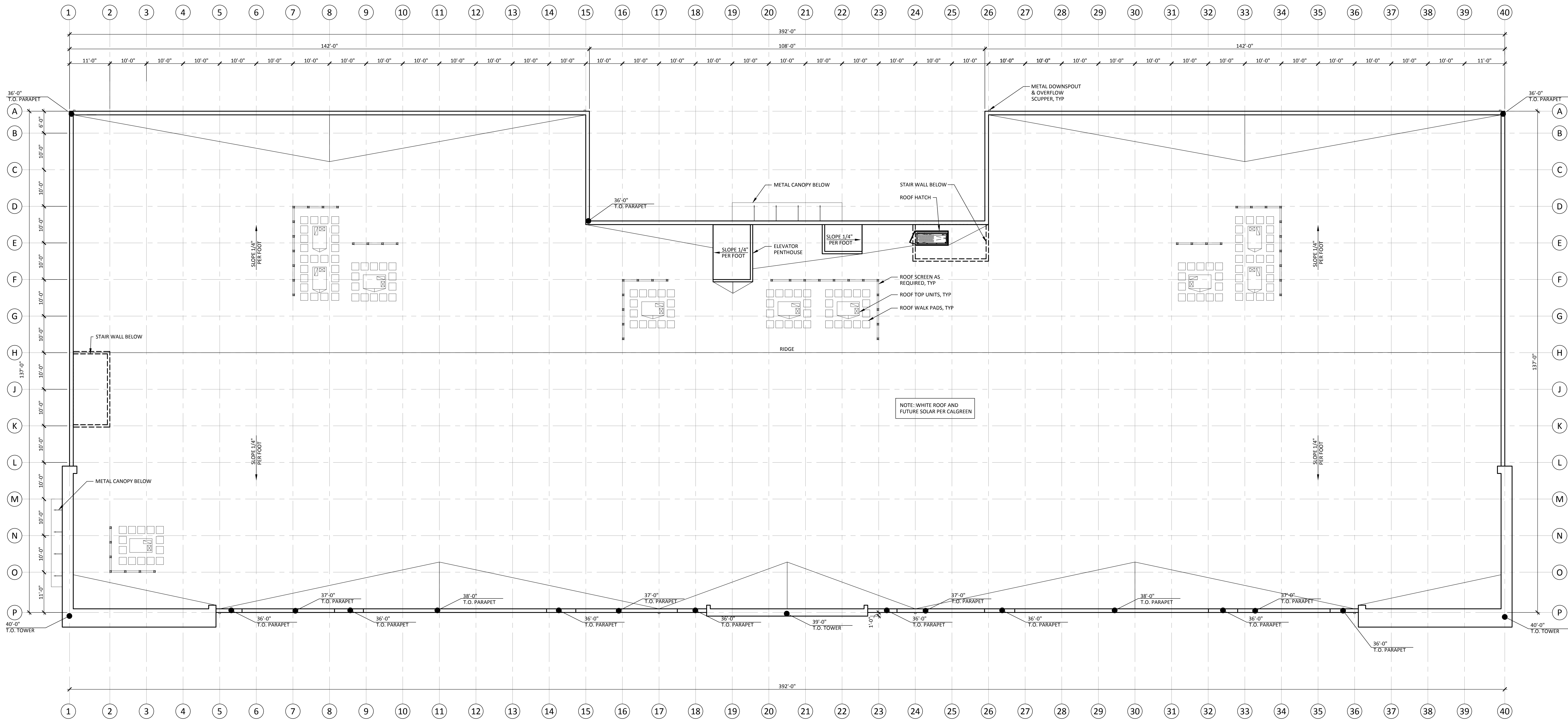
KSP PROJECT NO. 20397



CONCEPTUAL THIRD FLOOR PLAN
05.18.18



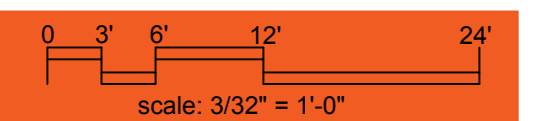
KSP PROJECT NO. 20397



525 CALIFORNIA AVENUE | PITTSBURG, CA

CONCEPTUAL ROOF PLAN

05.18.18

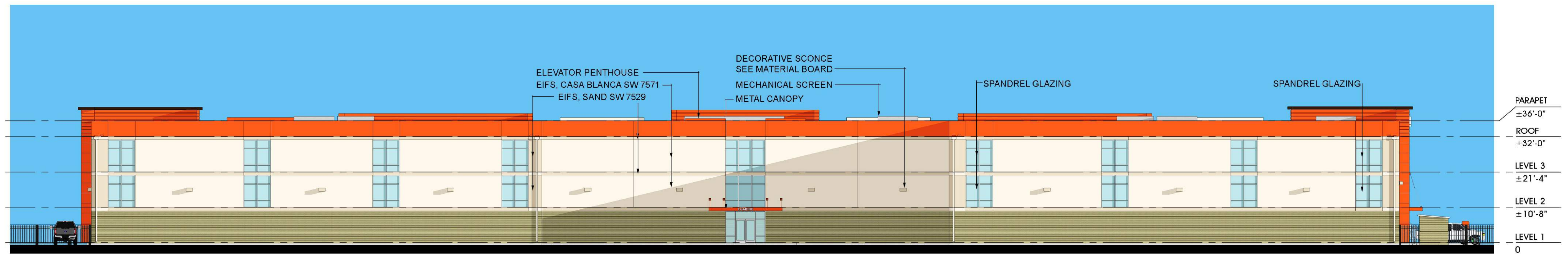


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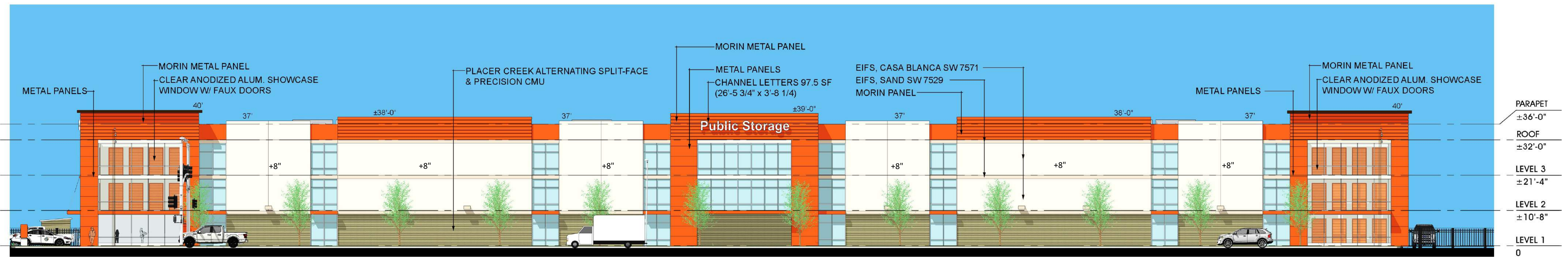
SHEET 6

KSP

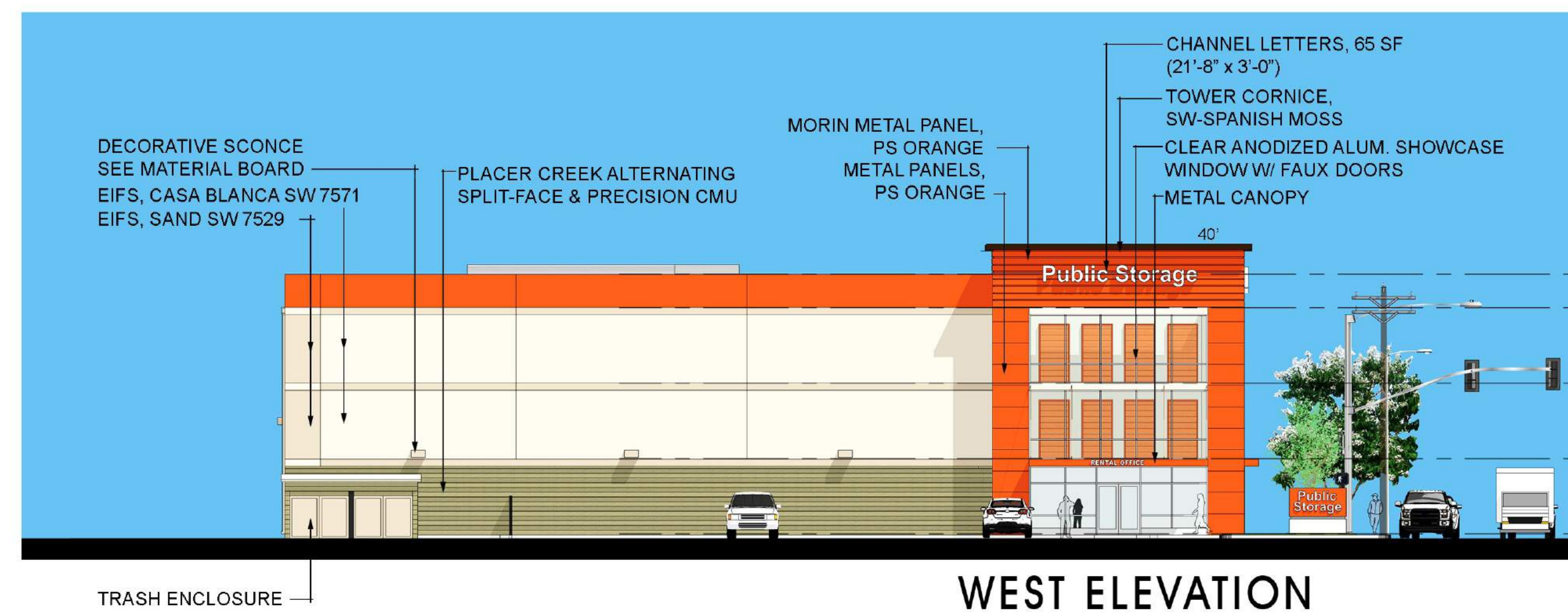
STUDIO
architecture + engineering
23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771



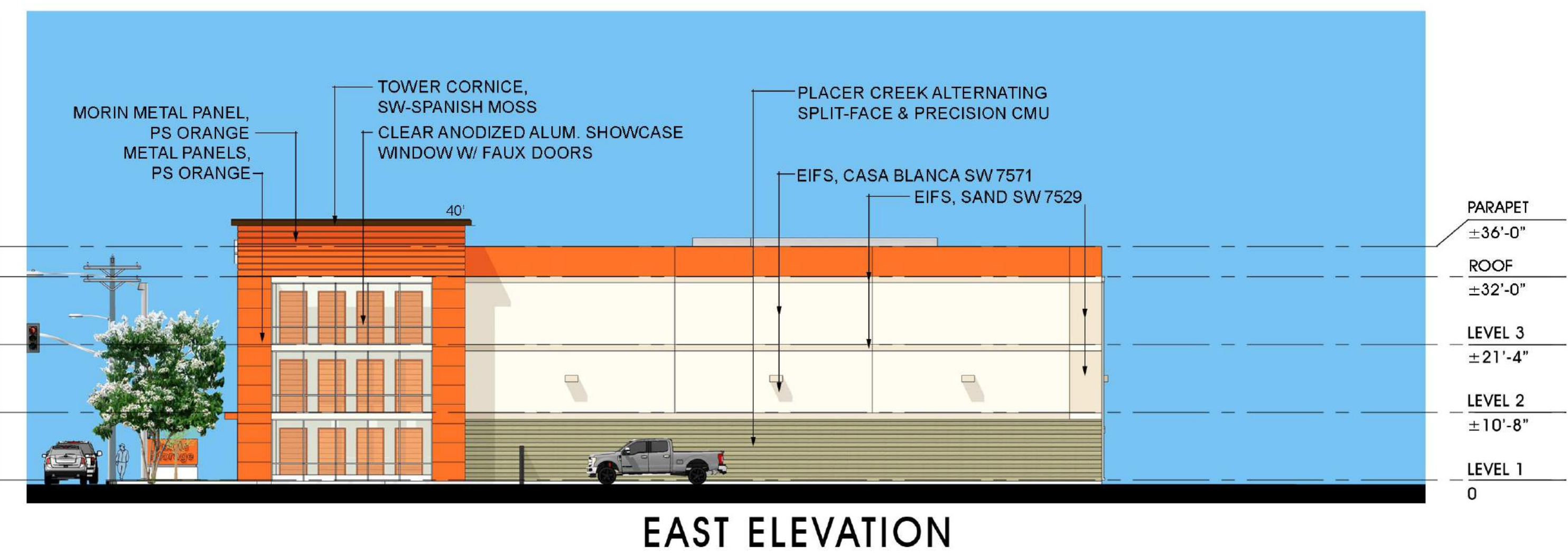
NORTH ELEVATION



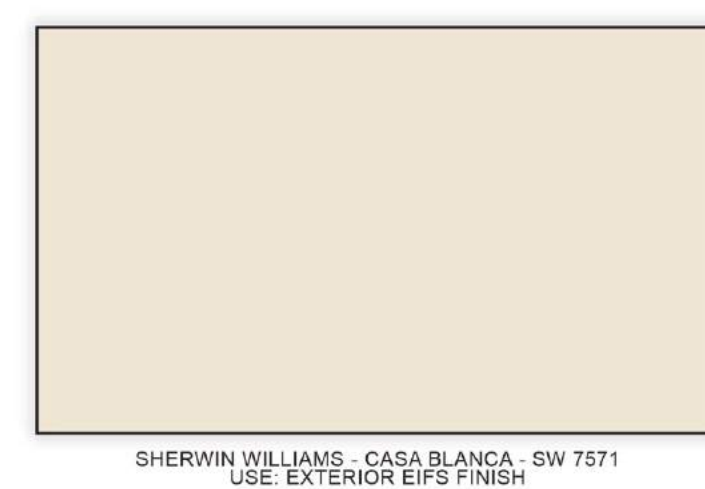
SOUTH ELEVATION



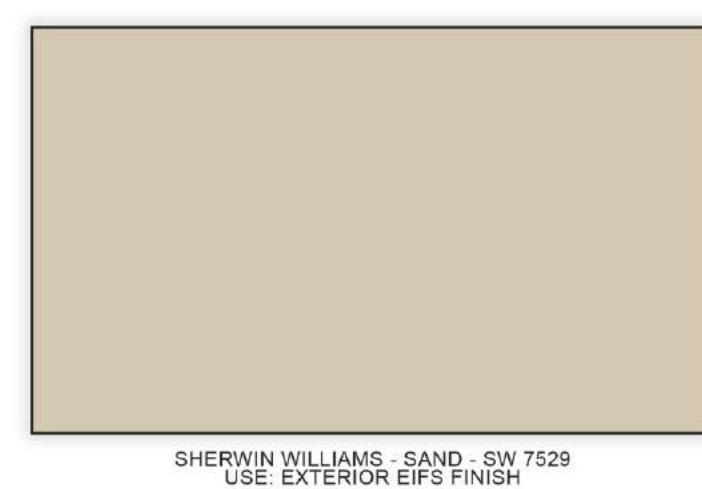
WEST ELEVATION



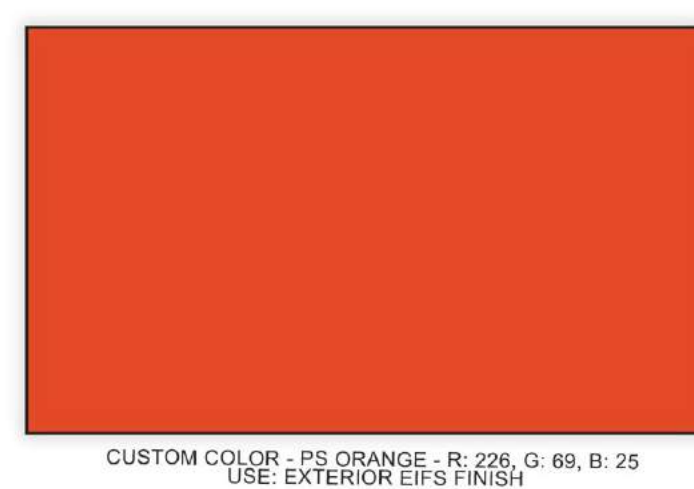
EAST ELEVATION



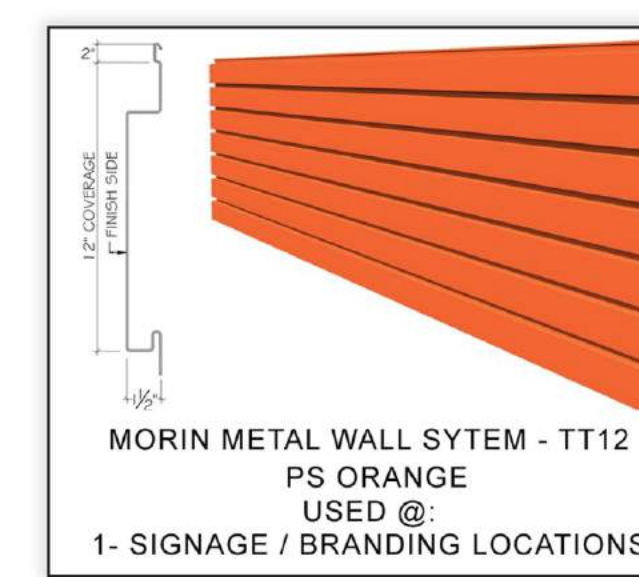
SHERWIN WILLIAMS - CASA BLANCA, SW 7571
USE: EXTERIOR EIFS FINISH



SHERWIN WILLIAMS - SAND - SW 7529
USE: EXTERIOR EIFS FINISH



CUSTOM COLOR - PS ORANGE - R: 226, G: 69, B: 25
USE: EXTERIOR EIFS FINISH



MORIN METAL WALL SYSTEM - TT12
PS ORANGE
USED @:
1- SIGNAGE / BRANDING LOCATIONS



ANGELUS BLOCK SPLIT FACE, PLACER CREEK
USE: PLACER CREEK SPLIT FACE CMU

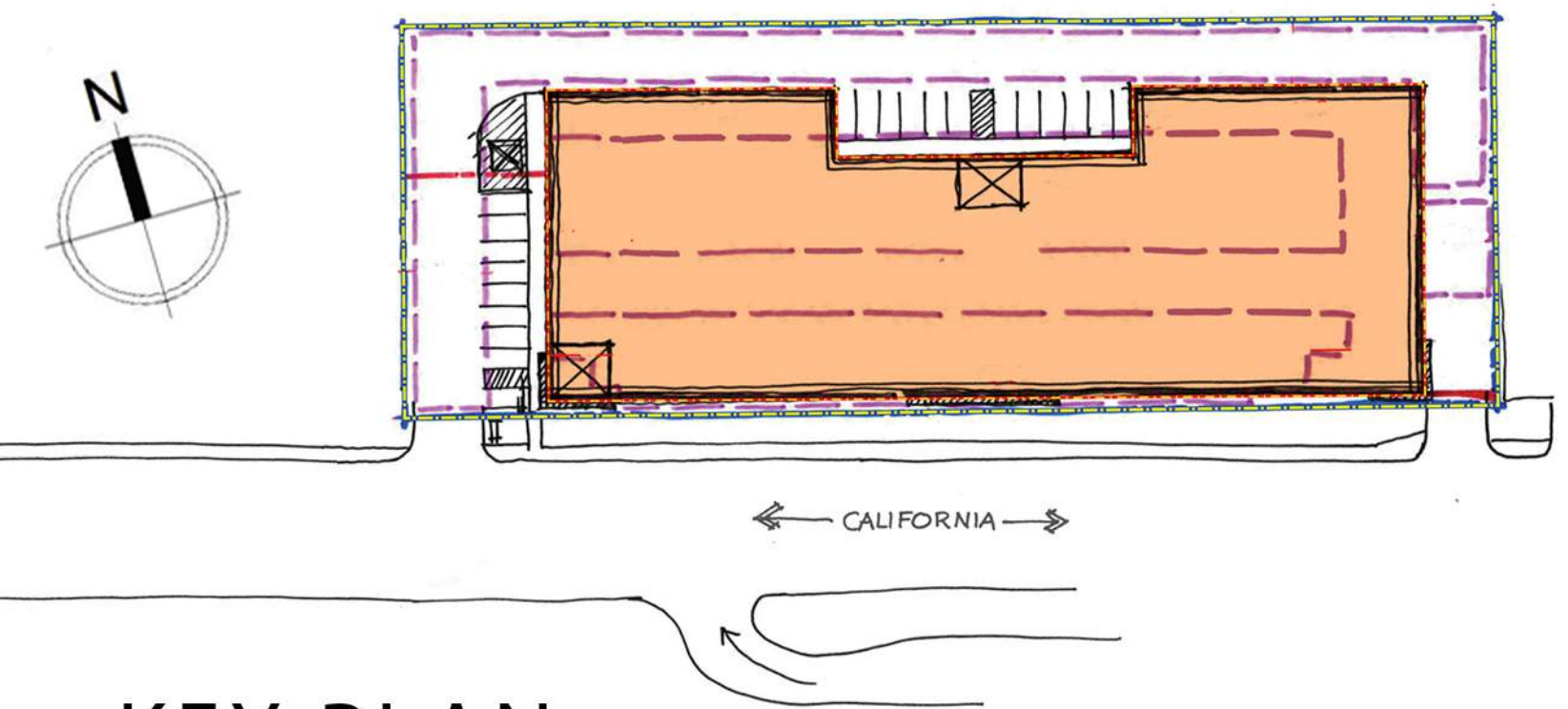
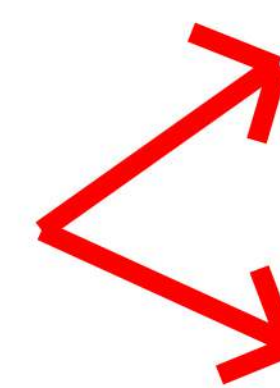


ANGELUS BLOCK
CMU BLOCK - PRECISION, PLACER CREEK



3D VIEW 1-CALIFORNIA STREET LOOKING EAST

3D VIEW 1



KEY PLAN



525 CALIFORNIA AVENUE | PITTSBURG, CA

CONCEPT 3D RENDERING

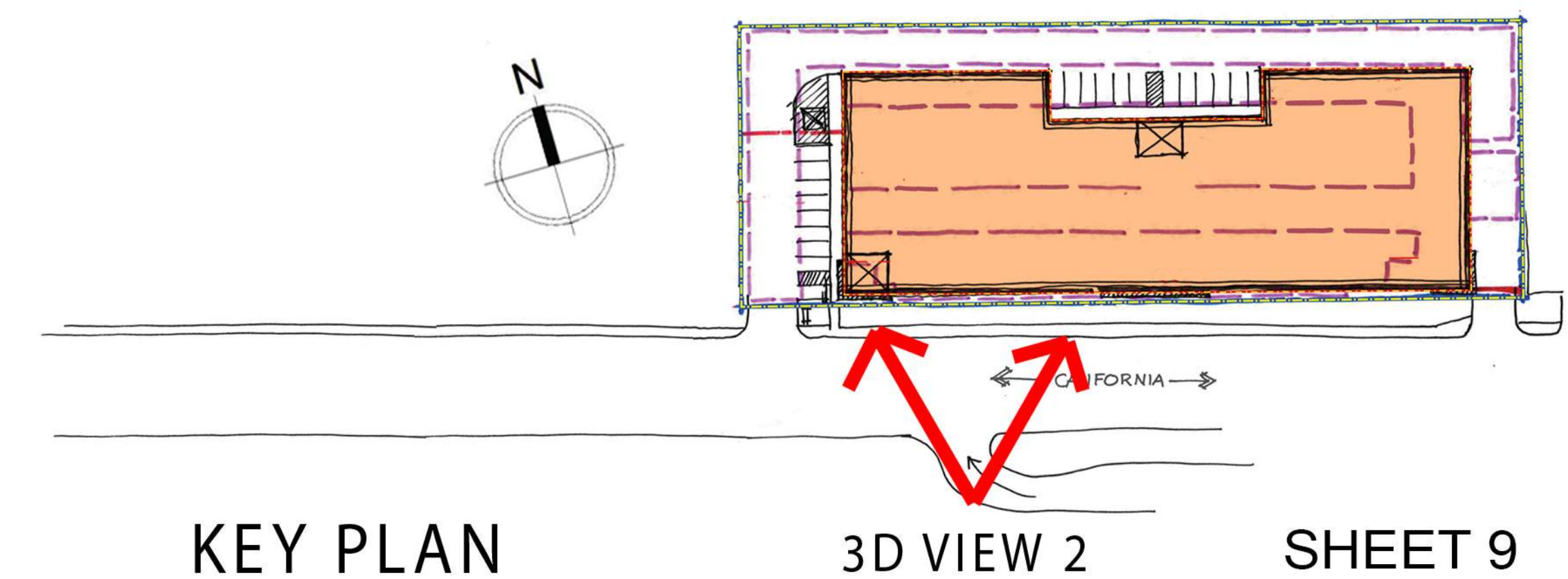
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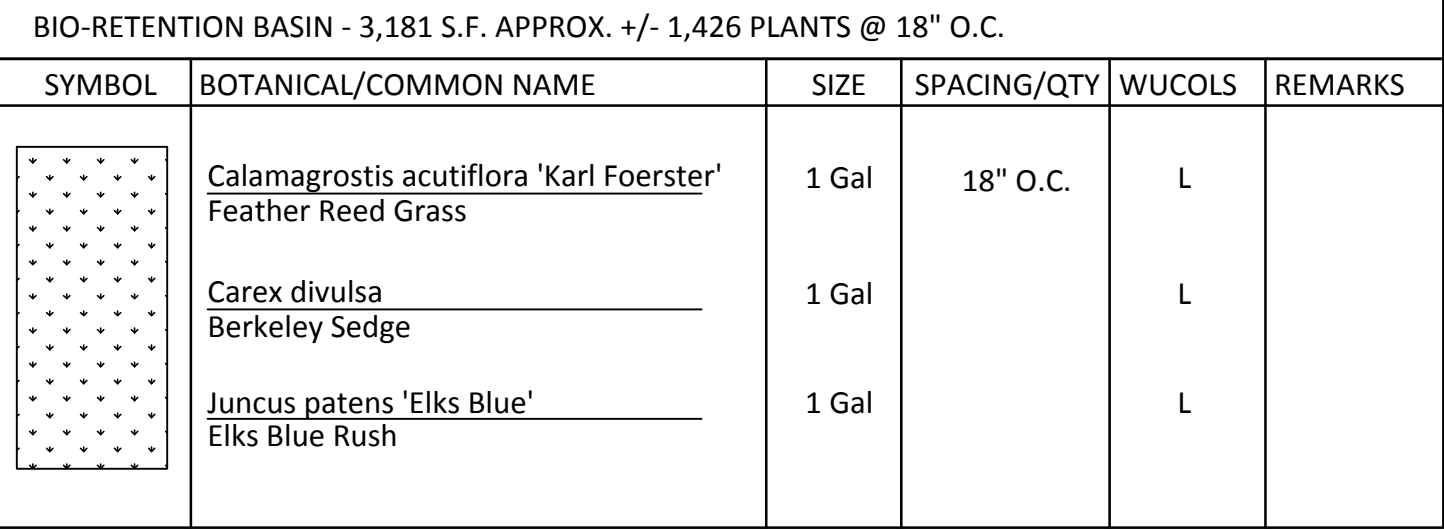
KSP PROJECT NO. 20392

SHEET 8
KSP
 STUDIO
 architecture + engineering
 23 ORCHARD ROAD, SUITE 200
 LAKE FOREST, CA 92630
 T 949.380.3970 F 949.380.3771

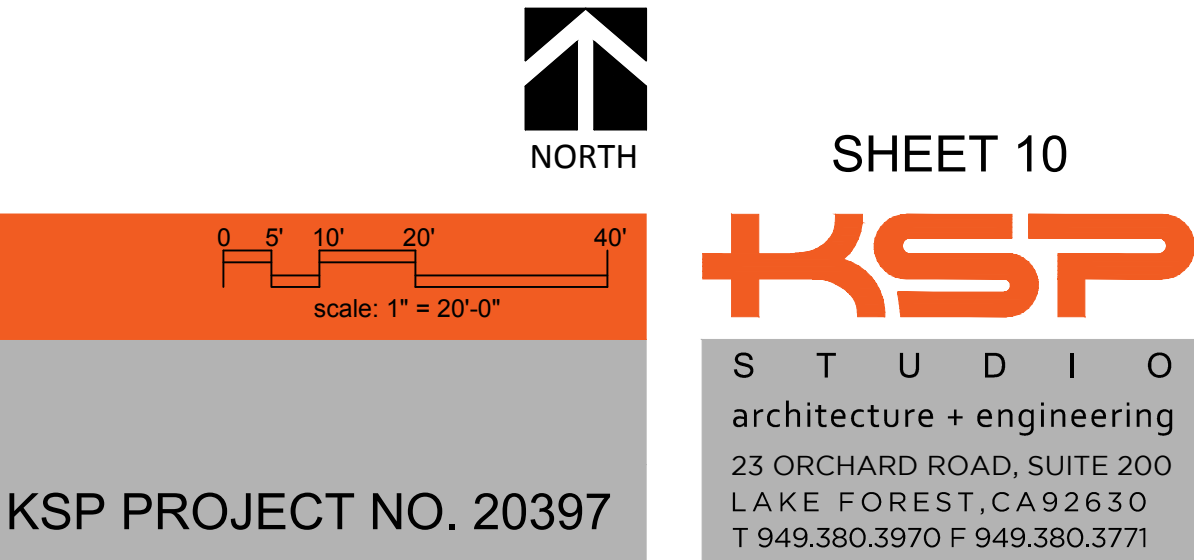


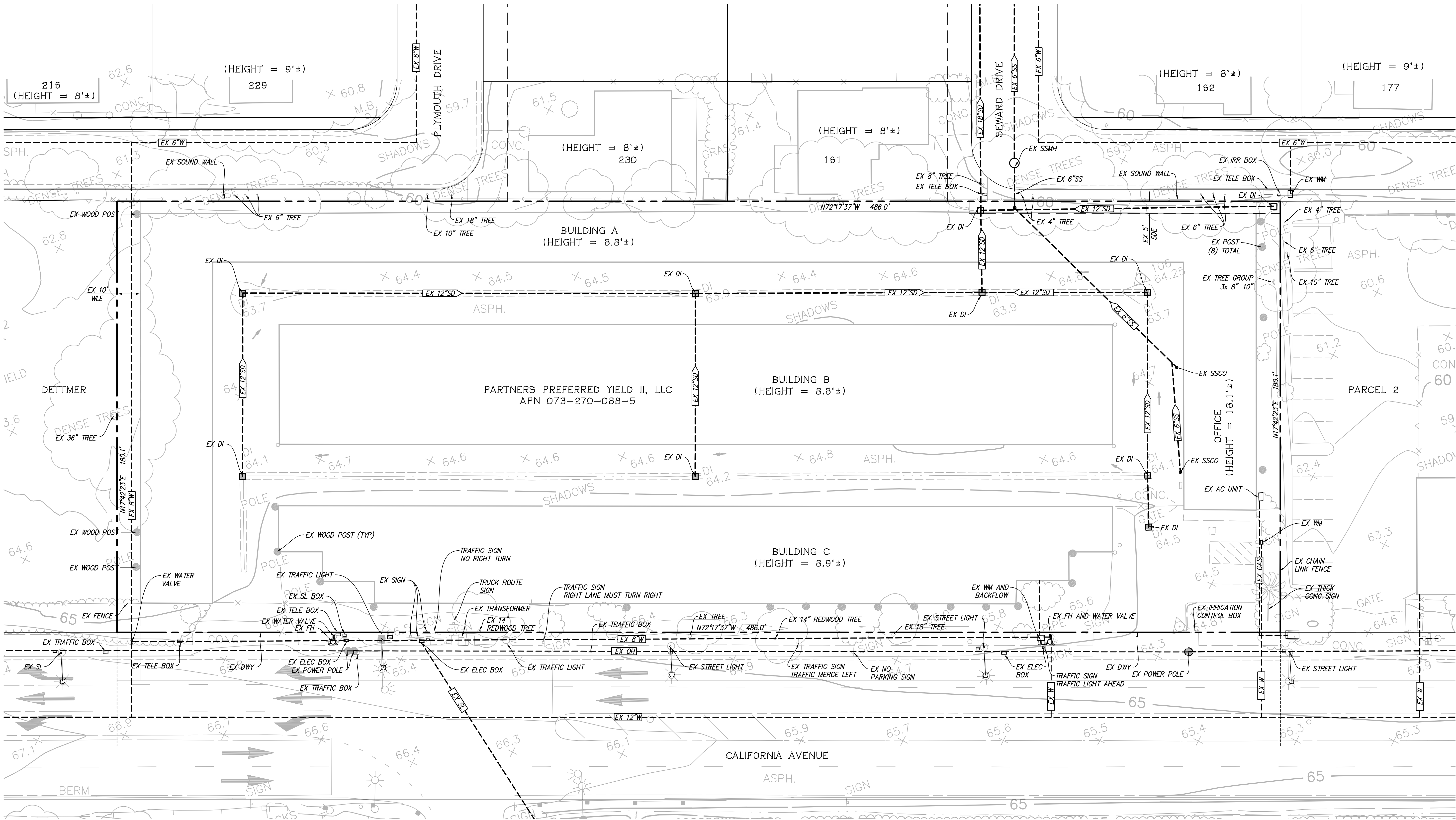
3D VIEW 2 - CALIFORNIA STREET LOOKING NORTH

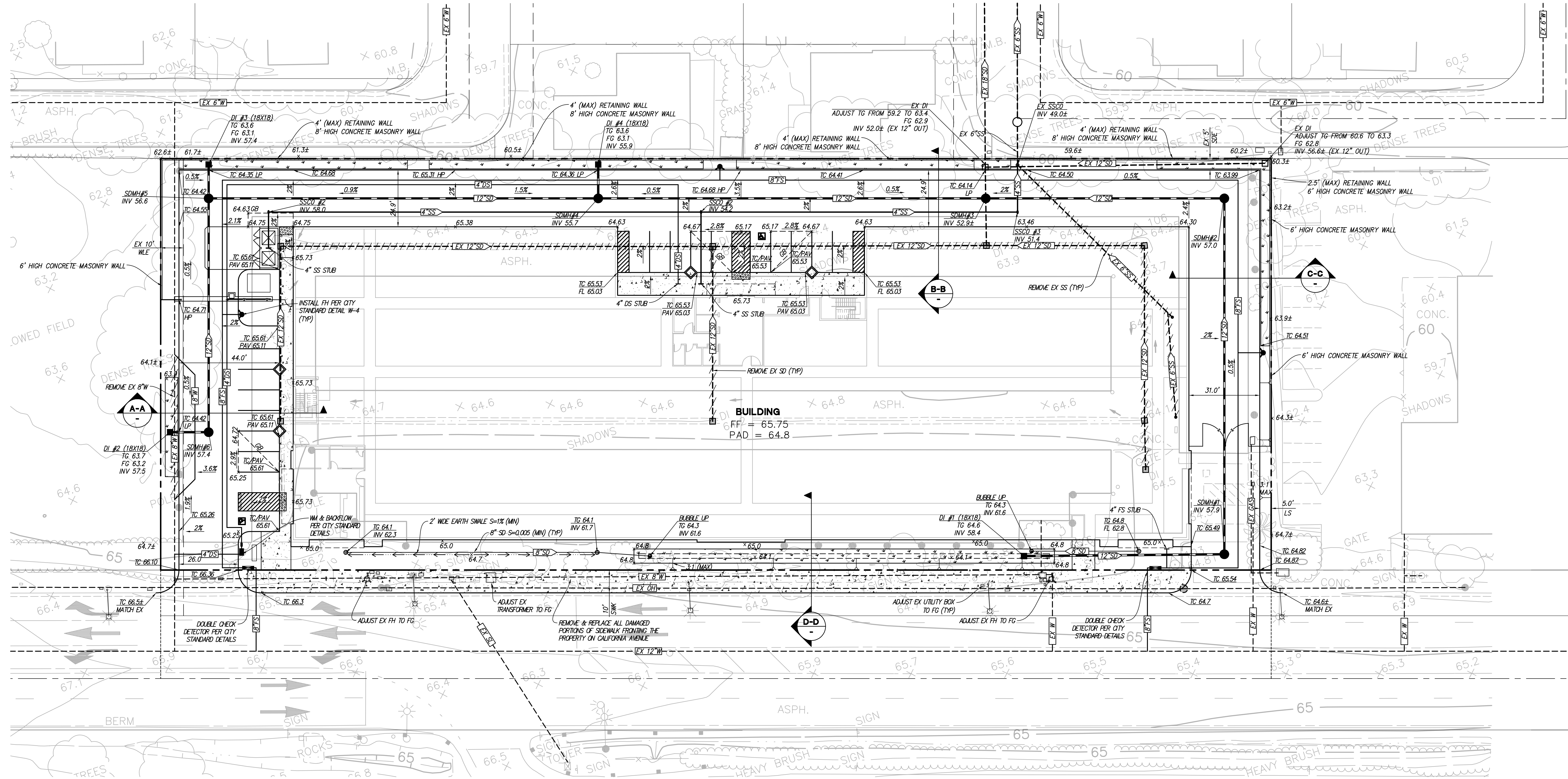
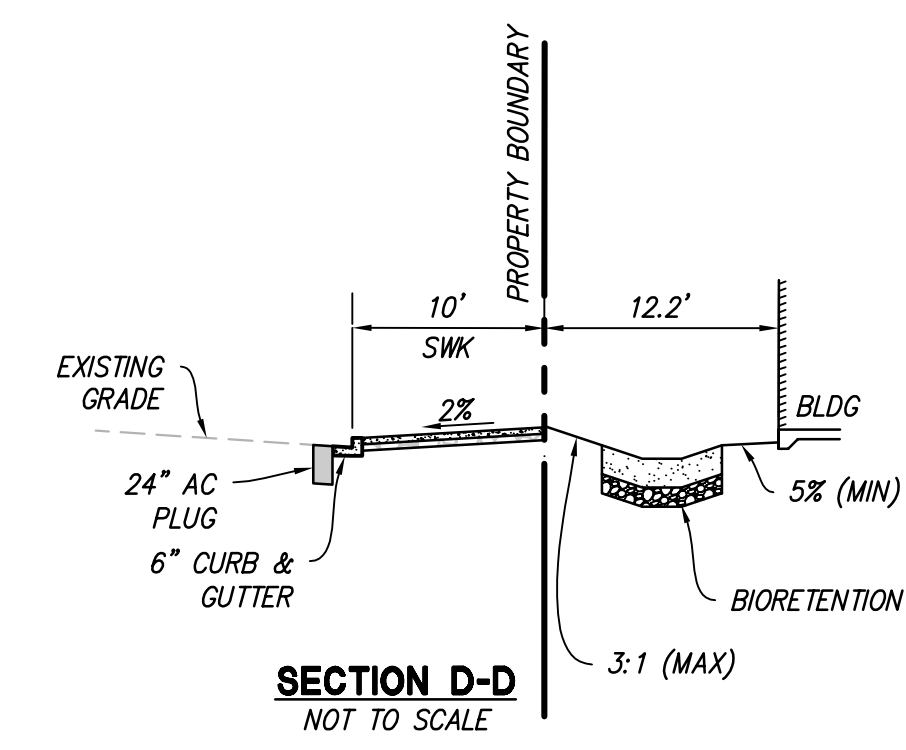
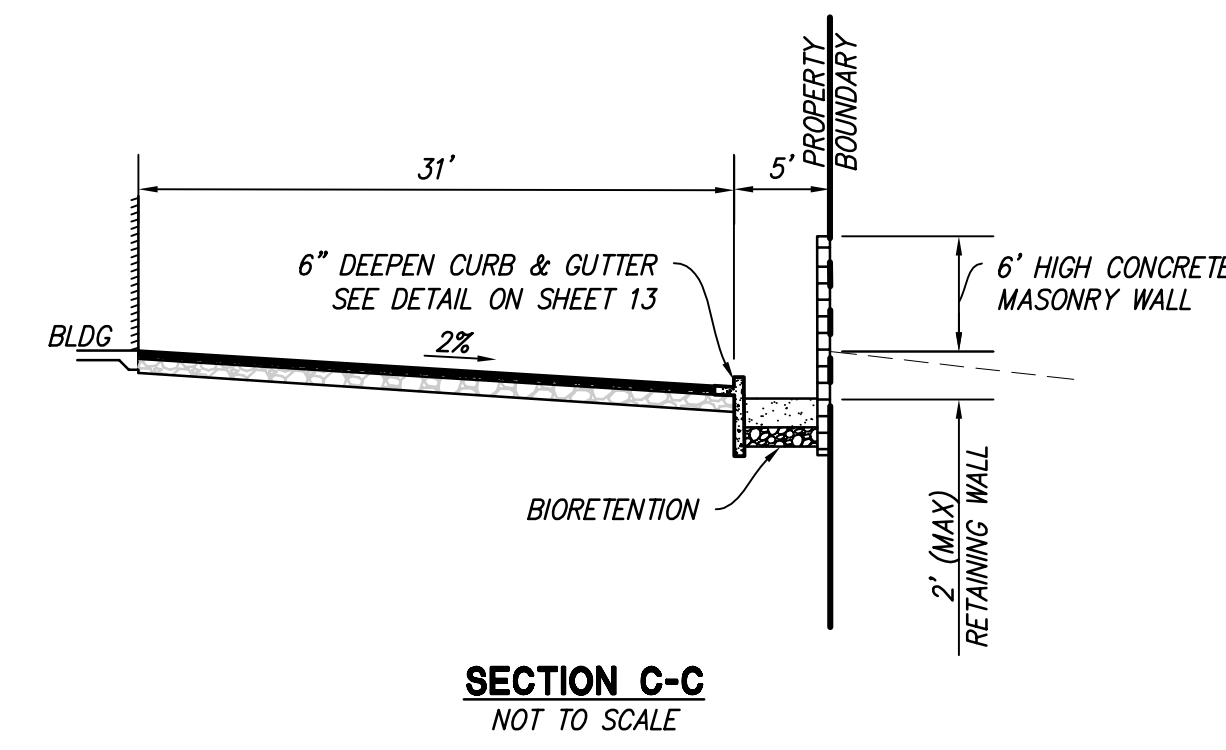
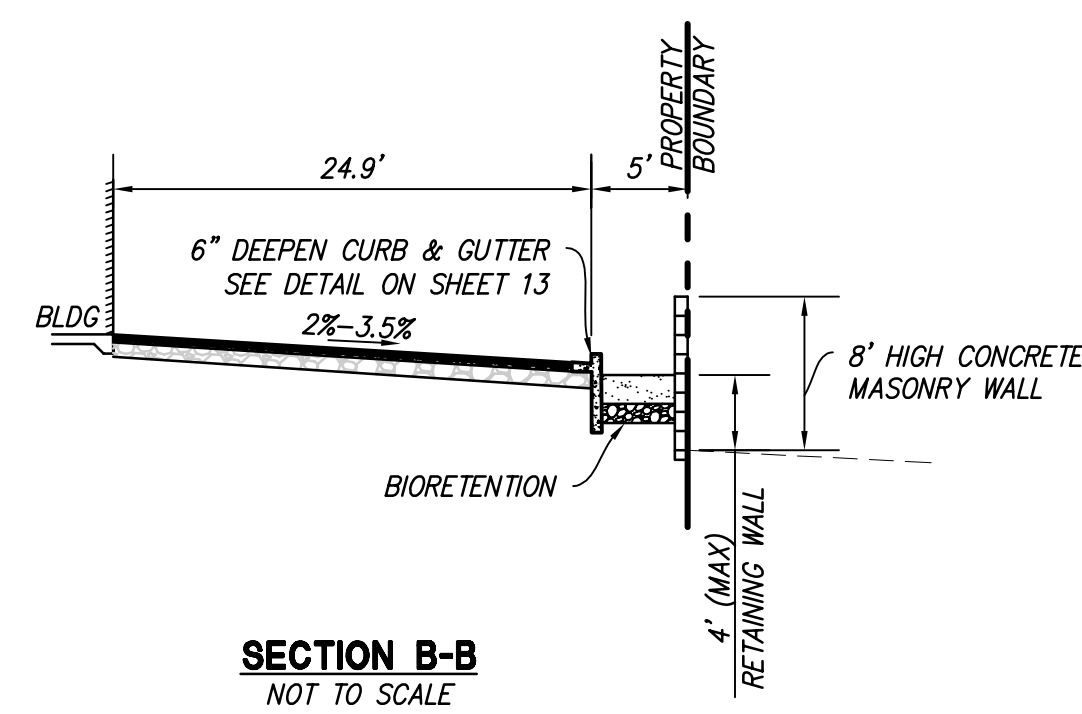
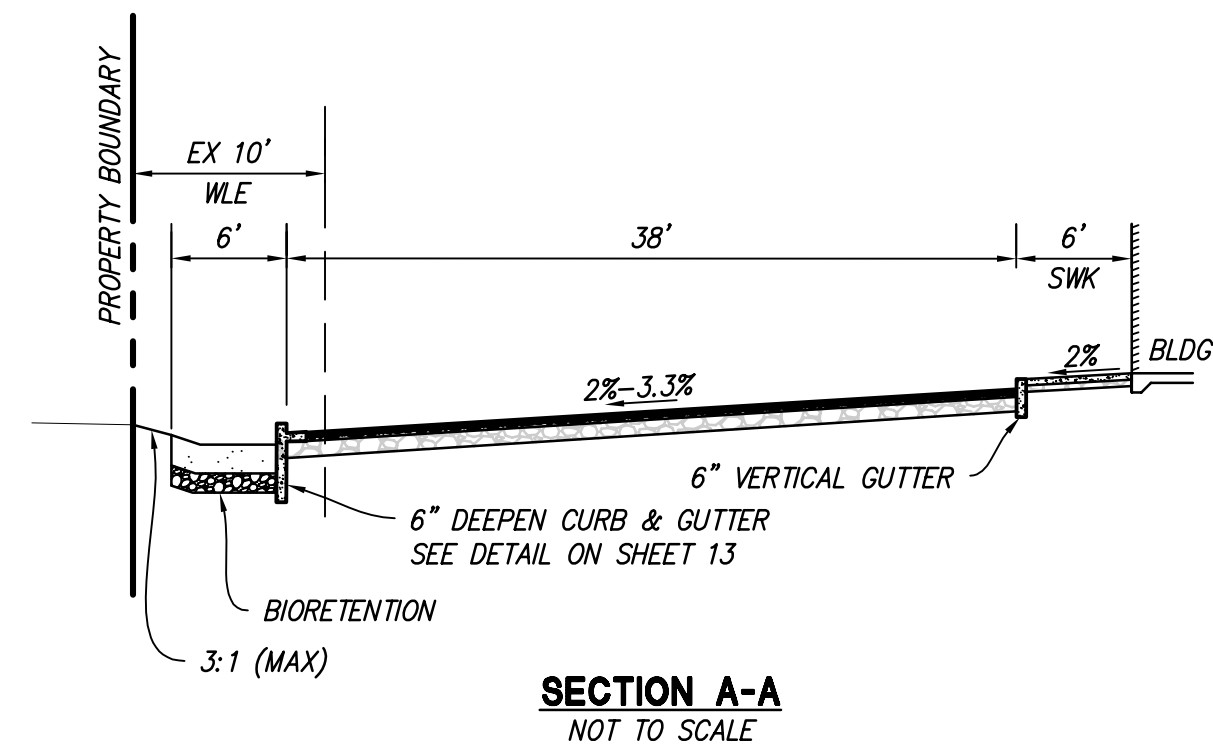




1. All Trees within 5' of hardscape to have a 12" deep linear root barrier.
2. All planter areas to receive a 3" layer of shredded organic mulch.
3. All backflows and above ground equipment to be placed at least 5' from hardscape on flat areas. All equipment to be screened from view with plant material.
4. Tall shrubs are to be provided at screen walls for protection from graffiti.
5. Soil compaction to be no greater than 85% on landscape areas.
6. All finish grades to be 1½" below finish surface paving.
7. Agronomical soil testing report to be included in landscape plans.
8. Landscape irrigation equipment to be drip low-flow type that satisfies the Water Efficient Landscape Ordinance.
9. The project shall follow applicable guidelines outlined in PMC sections 18.84.300-370 "Landscape Ordinance".



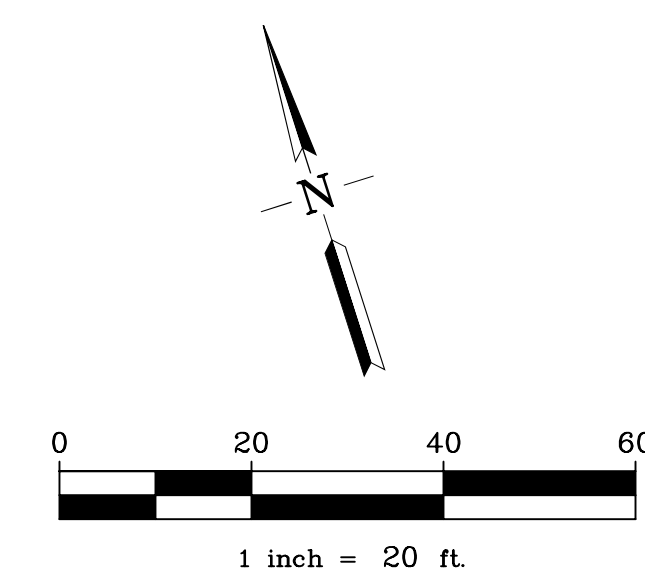




ESTIMATED EARTHWORK QUANTITIES		
ITEMS	CUT (C.Y)	FILL (C.Y)
DEMOLITION (SEE NOTE 3)	(900)	0
BUILDING	0	390
SWK/PAVEMENT/LANDSCAPE	0	300
FOUNDATION & PLUMBING SPOILS	220	0
TRENCH SPOILS	480	0
C-3 SPOILS	360	0
OVER-EXCAVATION	6,400	6,400
SHRINKAGE (ASSUME 5%)	-	350
TOTAL	7,440	7,440

- ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
- THE CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES BEFORE START OF WORK. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER WITH ANY DISCREPANCIES.
- DEMOLITION MATERIAL (FOOTINGS AND FLOOR SLABS) TO BE OFFHAULED BY THE CONTRACTOR.

- NOTES:
- CONTRACTOR SHALL REMOVE AND REPLACE ALL DAMAGED PORTIONS OF SIDEWALK FRONTING THE PROPERTY ON CALIFORNIA AVENUE.



Public Storage.

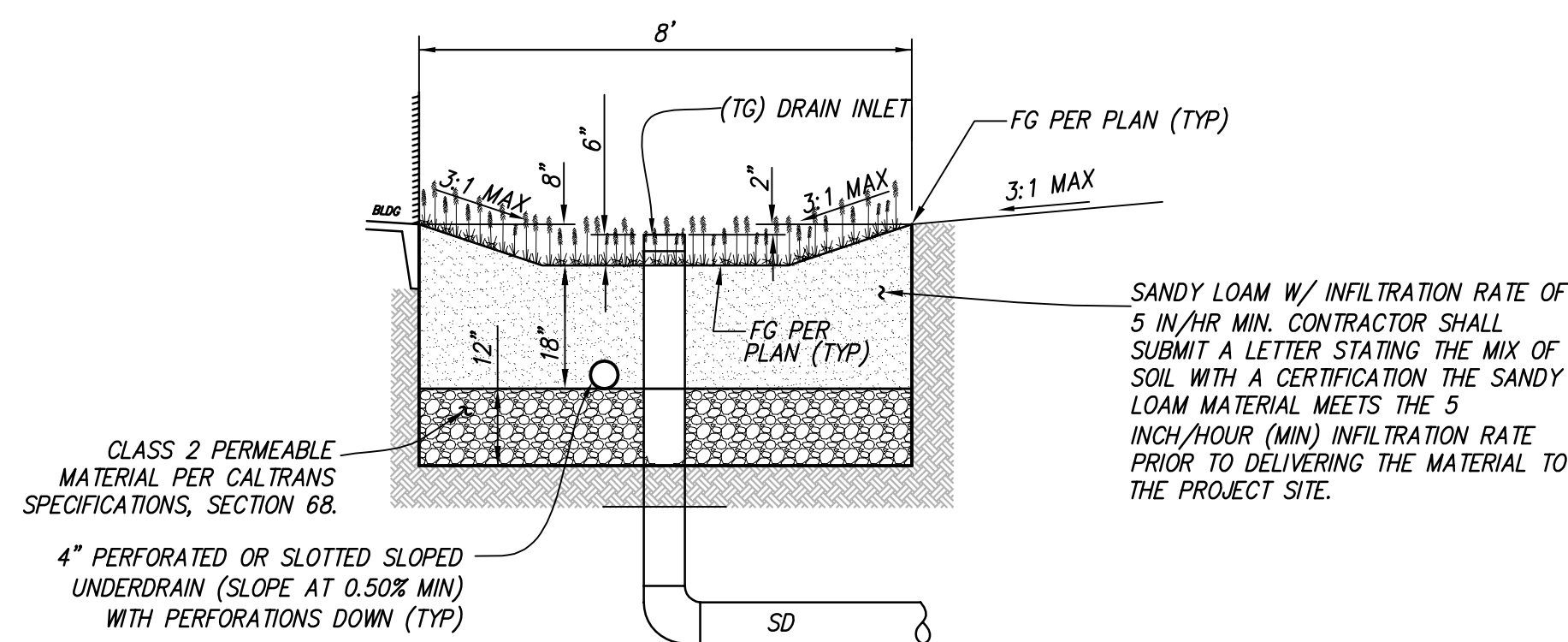
525 CALIFORNIA AVENUE | PITTSBURG, CA

PRELIMINARY GRADING AND UTILITY PLAN

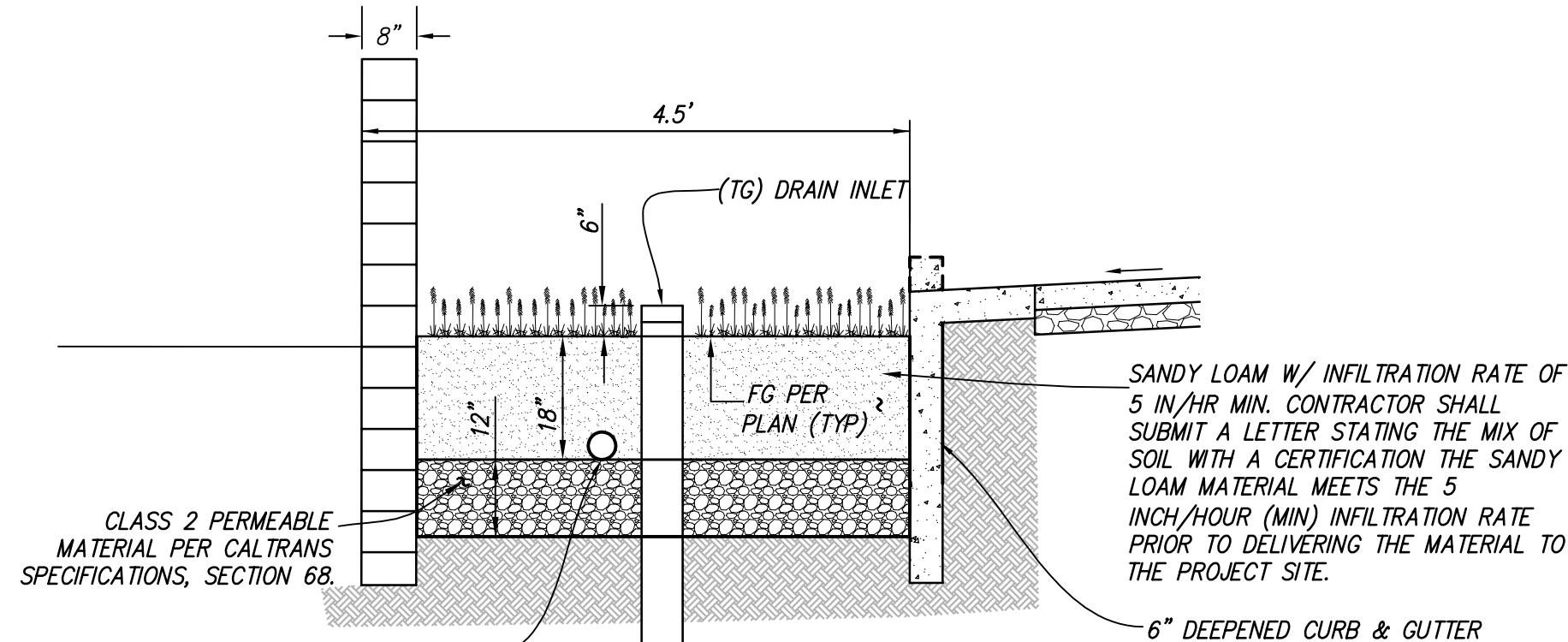
RJA SHEET 12
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

DATE: MAY 16, 2018

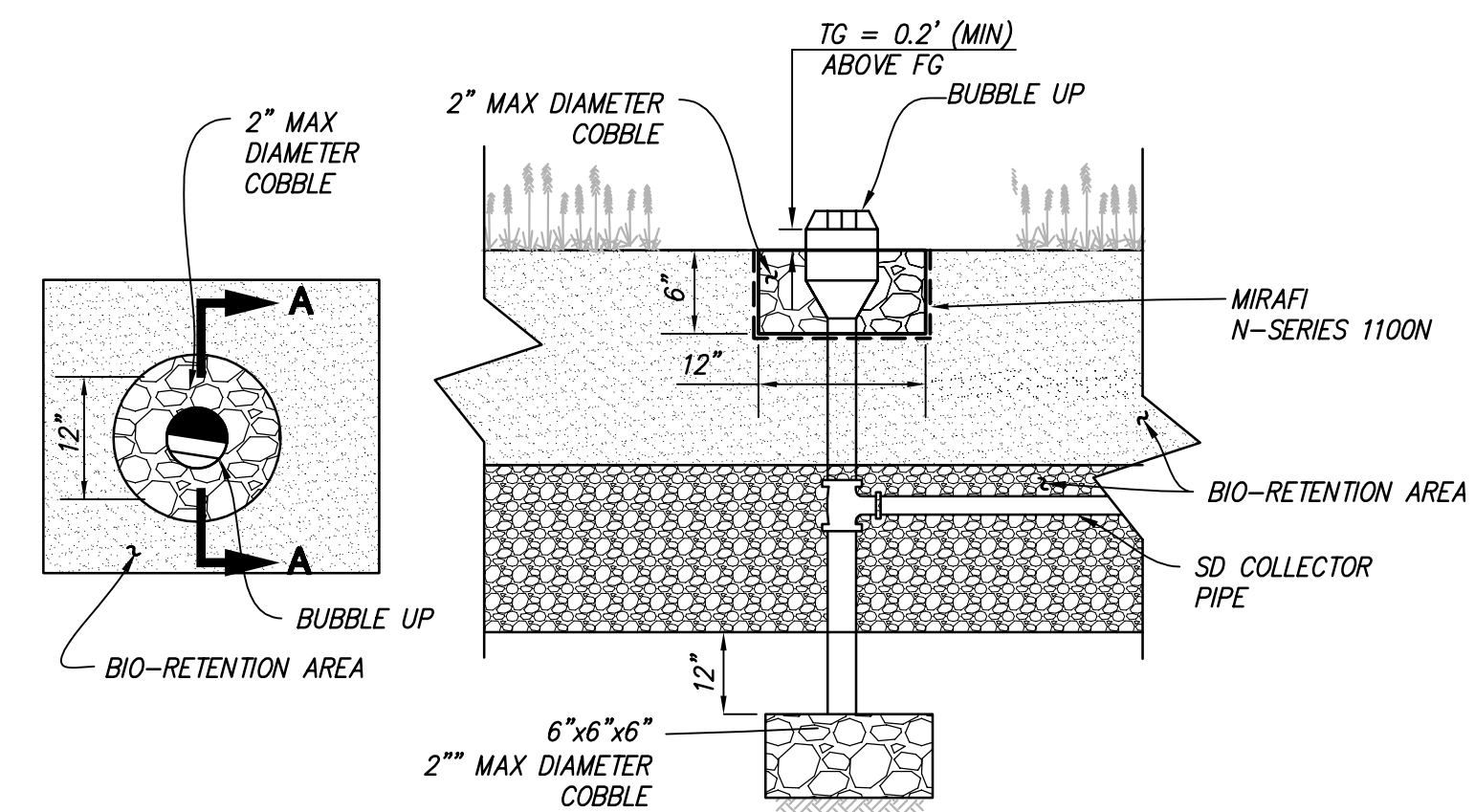
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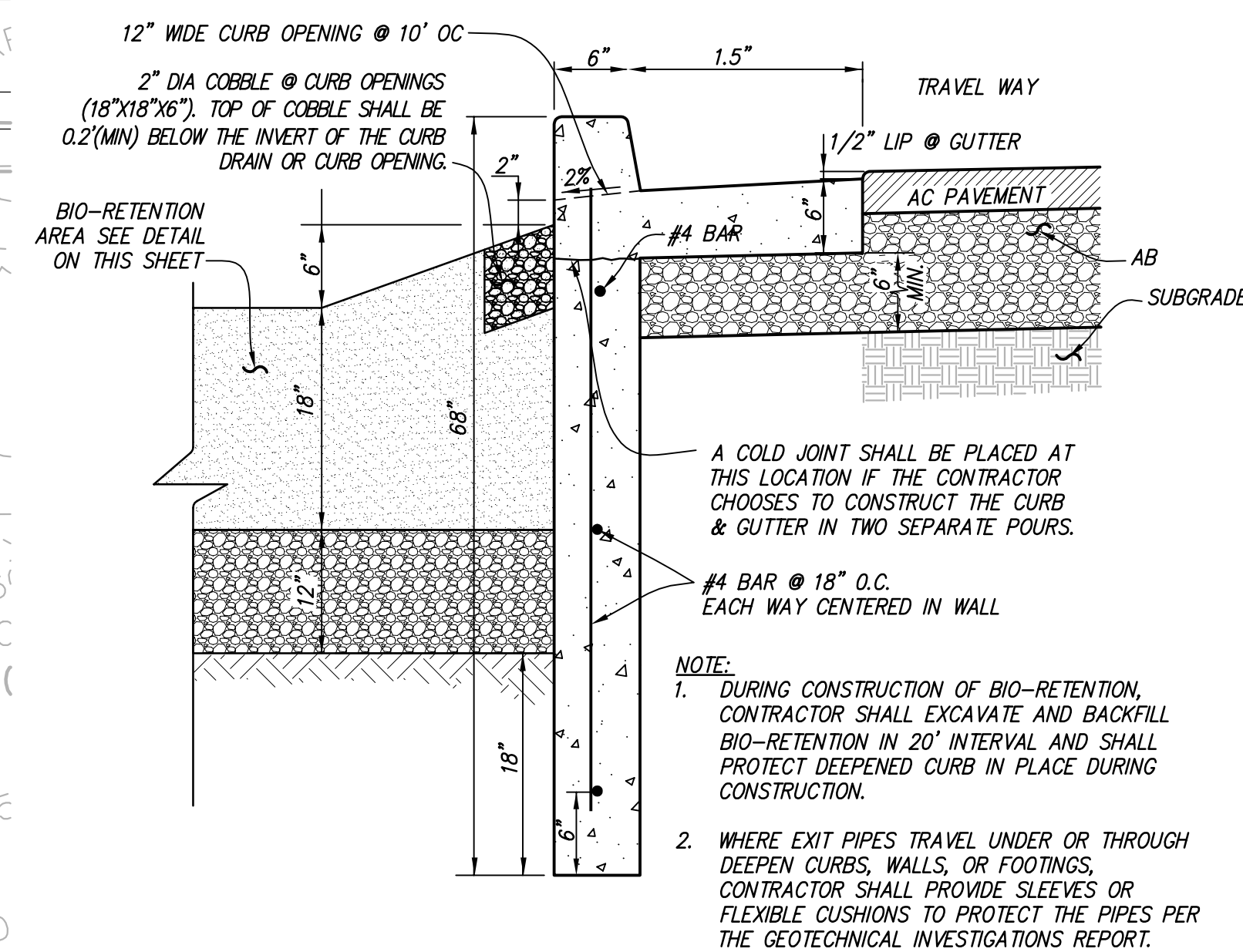
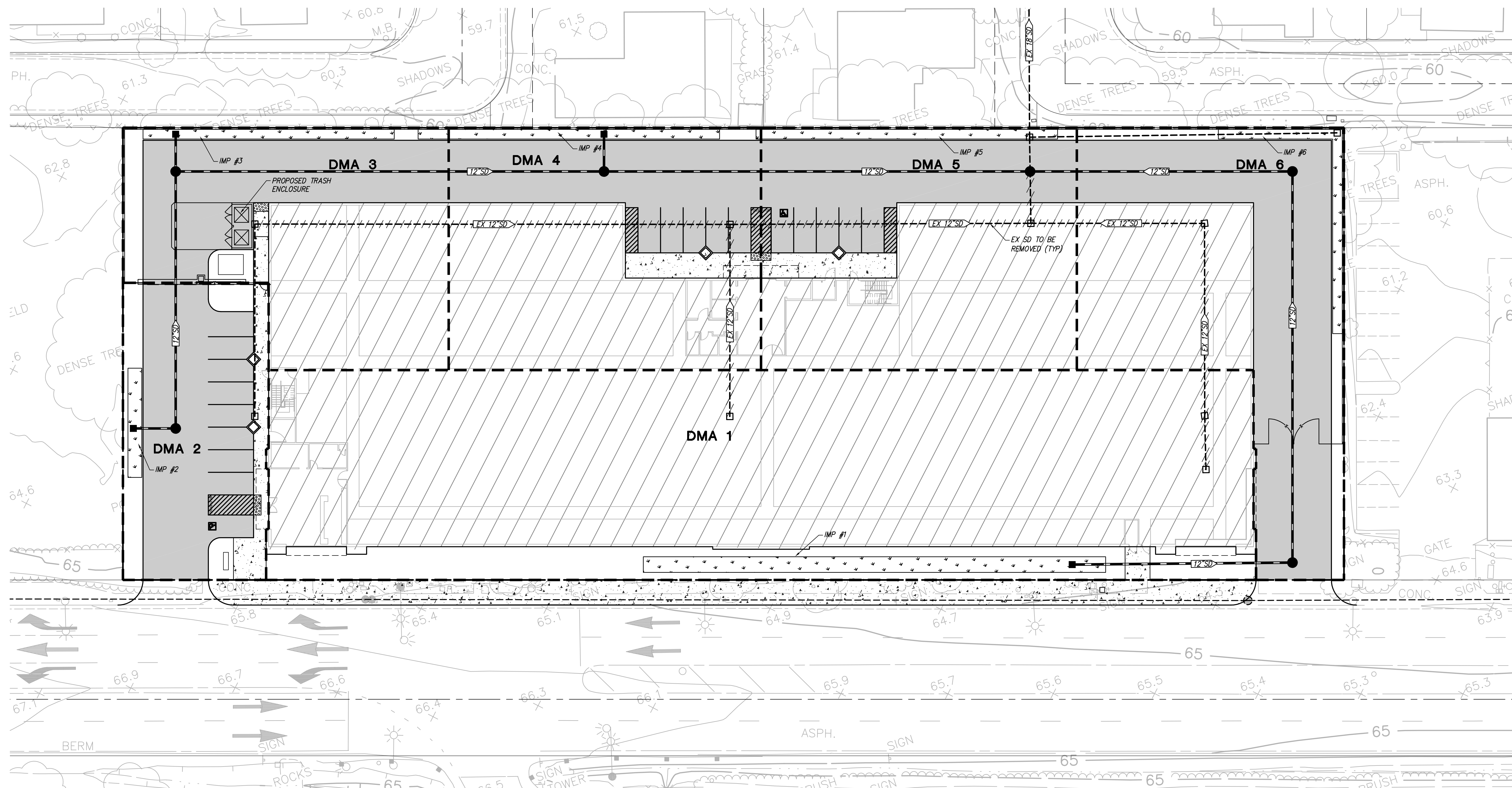
**BIO-RETENTION DETAIL
ADJACENT TO BULSING**
NOT TO SCALE



**BIO-RETENTION DETAIL
ADJACENT TO STREET**
NOT TO SCALE



**SECTION A-A
BUBBLE UP DETAIL**
NOT TO SCALE



**DEEPEEN CURB ADJACENT
TO BIO-RETENTION**
NOT TO SCALE

LEGEND

	AC PAVEMENT
	ROOF AREA
	SIDEWALK
	EX UTILITY TO BE REMOVED

PRELIMINARY STORMWATER TREATMENT CALCULATIONS

DMA	DMA TREATMENT	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	BIO-RETENTION AREA REQUIRED (SF)	BIO-RETENTION AREA PROVIDED (SF)
1	BIO-RETENTION	28,260	4,830	33,090	28,743	1,150	1,150
2	BIO-RETENTION	5,890	950	6,840	5,985	239	239
3	BIO-RETENTION	9,310	1,090	10,400	9,419	377	383
4	BIO-RETENTION	11,410	580	11,990	11,468	459	460
5	BIO-RETENTION	11,420	570	11,990	11,477	459	460
6	BIO-RETENTION	11,990	1,360	13,350	12,126	485	486

THE CALCULATIONS ARE BASED ON THE LATEST CONTRA COSTA COUNTY C.3 STORMWATER HANDBOOK, MAY 2017.

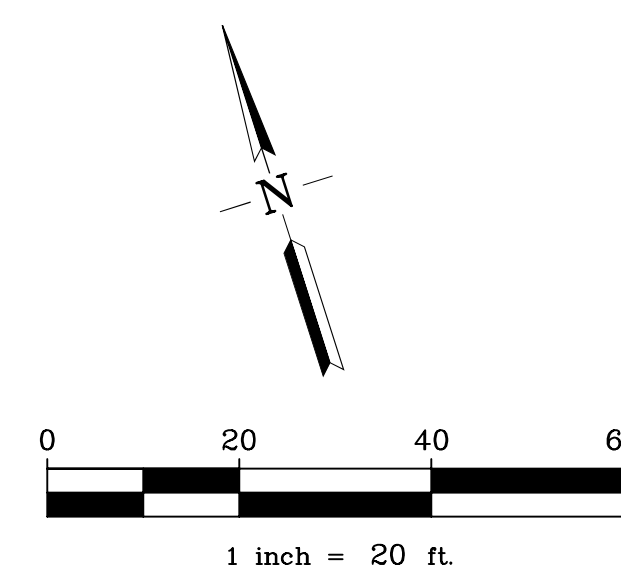
a. 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.

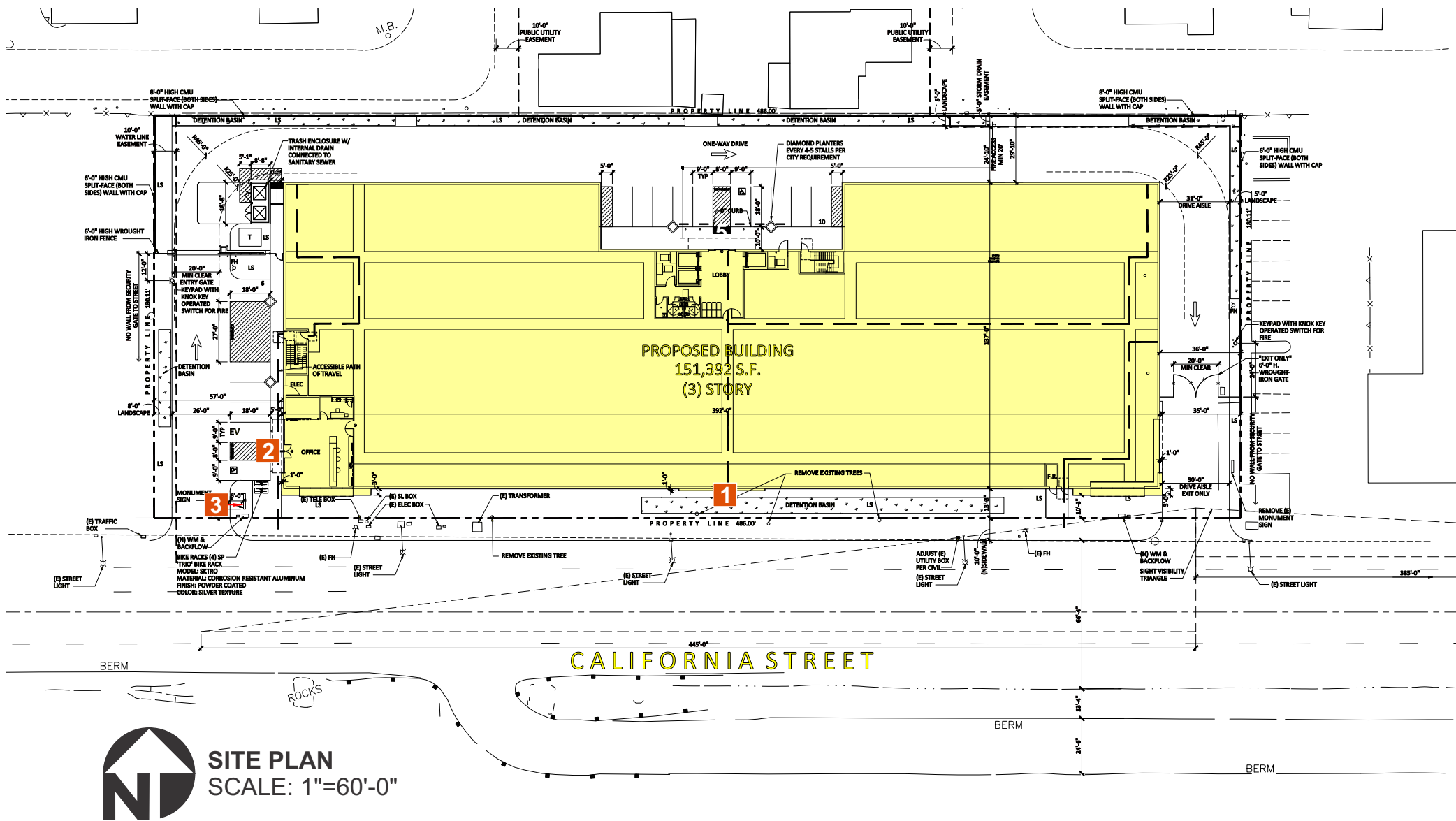
b. SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.

c. A TREATMENT MEDIUM OF 0.04 SIZING FACTOR FOR BIORETENTION AREAS.

1. SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:

a. SIZING FACTOR=(0.2 IN/HR)/(5 IN/HR)=0.04





- 1

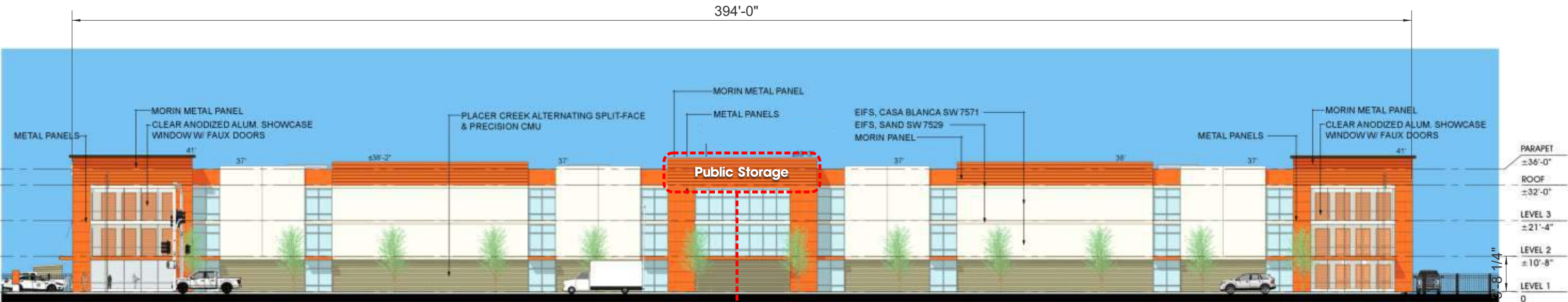
CHANNEL LETTERS - LED ILLUM.
AREA: 80.6 SF ('6' SIDED BOX)
- 2

CHANNEL LETTERS - LED ILLUM.
AREA: 54.6 SF ('6' SIDED BOX)
- 3

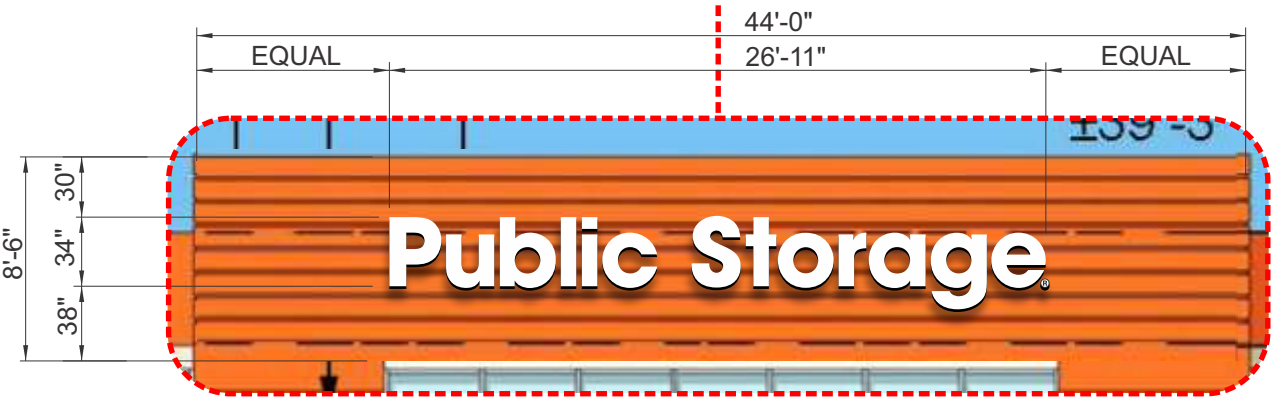
CUSTOM MONUMENT SIGN
24.5 SF

WALL SIGNS					
SIGN #	LOCATION	CODE ALLOWANCE	PROPOSED SQ FT	SIGN TYPE	COMMENTS
1	FACING CALIFORNIA ST. SOUTH ELEVATION	190 SF ALLOWED / SOUTH ELEV.	80.6 SF	ILLUM'D CHAN. LTRS	'1' SIGN THIS ELEV. FACING MAIN ROAD
2	TOP ENTRY TOWER - WEST ELEV. AT ENTRANCE	68 SF ALLOWED / WEST ELEV.	54.6	ILLUM'D CHAN. LTRS	TOTAL SQ FT SIGNAGE THIS ELEV. = 64

GROUND SIGNS					
SIGN #	LOCATION	CODE ALLOWANCE	PROPOSED SQ FT	SIGN TYPE	COMMENTS
3	RENTAL OFFICE ENTRANCE	'1' ALLOWED AT '25' SF MAX. 8 FT IN HEIGHT MAX.	24.5 SF	D/F MONUMENT	'1' FREESTANDING SIGN ALLOWED - EXISTING MONUMENT TO BE REMOVED



SOUTH ELEVATION
SCALE: 1"=30'-0"



1 **PLACEMENT DETAIL**
SCALE: 1/8"=1'-0"

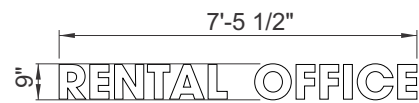
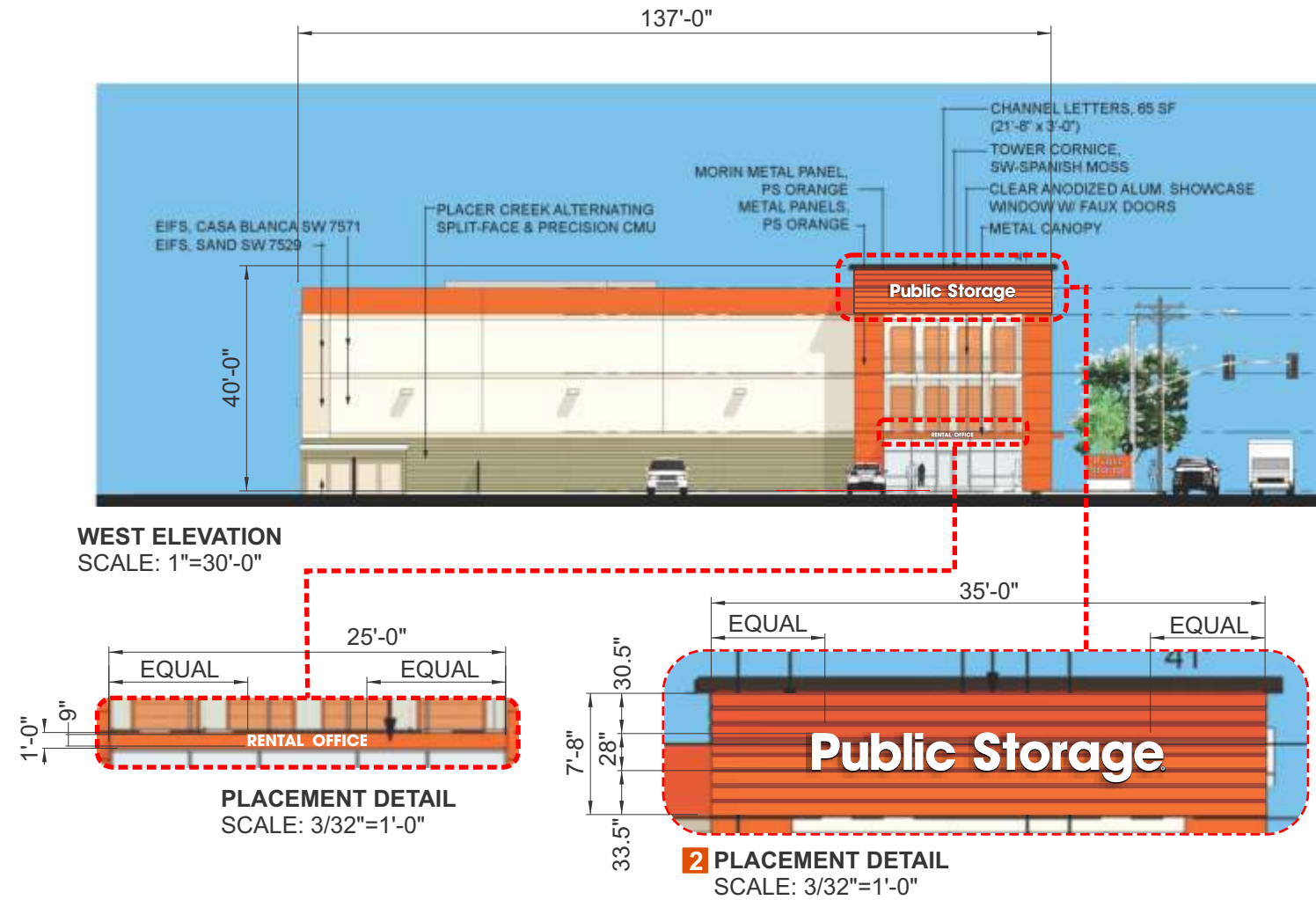


1 **CHANNEL LETTERS - LED ILLUM.**
SCALE: 3/16" = 1'-0"
AREA: 80.6 SF ('6' SIDED BOX)

SURVEY MEASUREMENTS REQUIRED PRIOR TO MFR

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

16265 Star Road Nampa, ID 83687 toll free: 800.592.8058 tele: 208.345.4020 fax: 208.336.9886 www.imagenational.com



**CANOPY MOUNTED
DIRECTIONAL COPY -
FCO NON ILLUM.**

SCALE: 1/4"=1'-0"
AREA: 5.6 SF

FCO LETTERS TO BE 1/2" CLEAR PLEX
PAINTED WHITE
FLUSH MOUNTED TO WALL.

SURVEY MEASUREMENTS REQUIRED PRIOR TO MFR

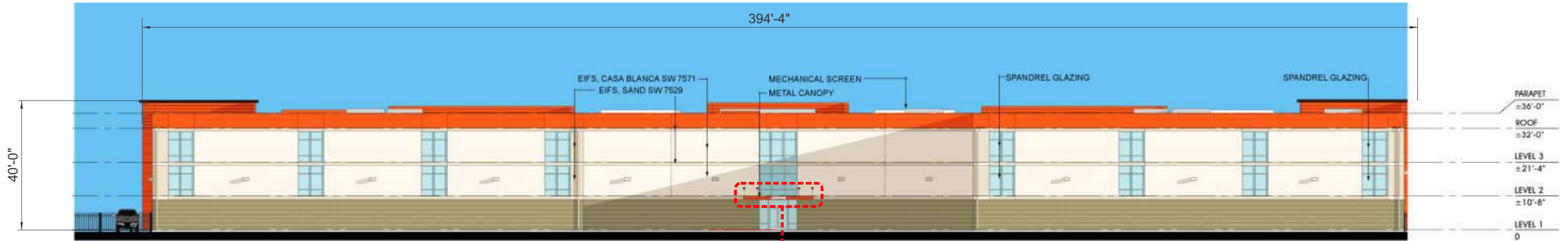


2 CHANNEL LETTERS - LED ILLUM.
SCALE: 3/16" = 1'-0"
AREA: 54.6 SF ('6' SIDED BOX)

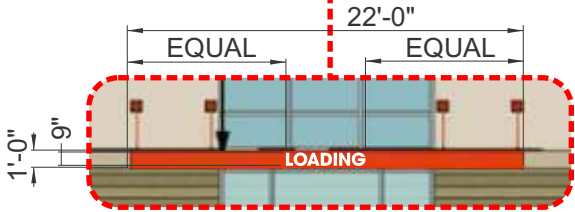
SURVEY MEASUREMENTS REQUIRED PRIOR TO MFR

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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NORTH ELEVATION
SCALE: 1"=30'-0"



PLACEMENT DETAIL
SCALE: 3/32"=1'-0"



**CANOPY MOUNTED
DIRECTIONAL COPY -
FCO NON ILLUM.**
SCALE: 3/8"=1'-0"
AREA: 3.3 SF

FCO LETTERS TO BE 1/2" CLEAR PLEX
PAINTED WHITE
FLUSH MOUNTED TO WALL.

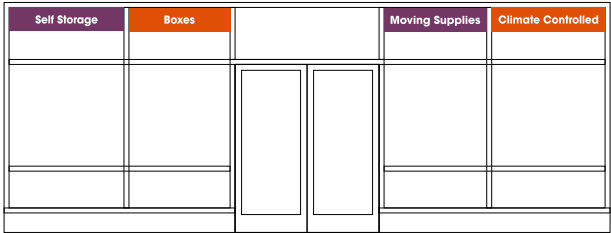
SURVEY MEASUREMENTS REQUIRED PRIOR TO MFR

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

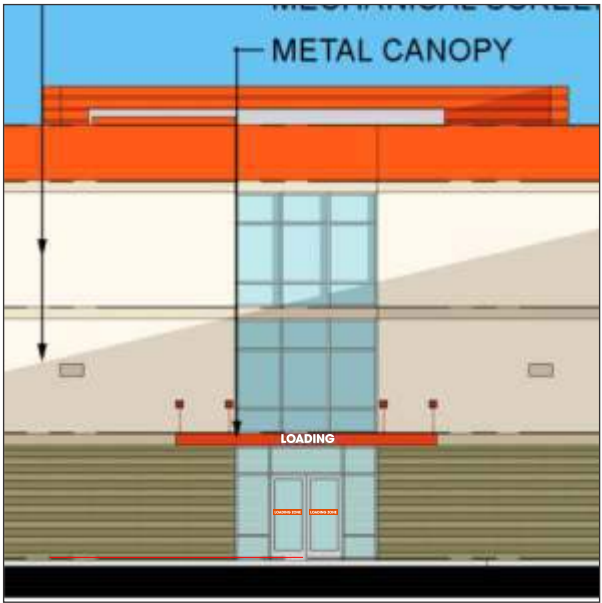
16265 Star Road Nampa, ID 83687 toll free: 800.592.8058 tele: 208.345.4020 fax: 208.336.9886 www.imagenational.com



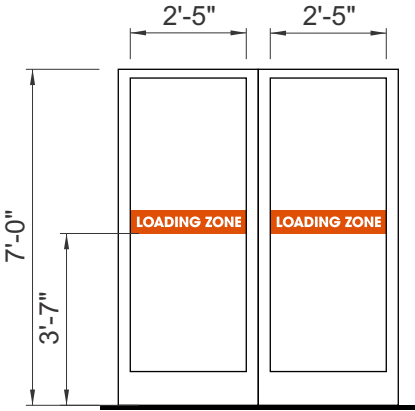
WEST ELEVATION @ RENTAL OFFICE
SCALE: 1/16"=1'-0"



VINYL PLACEMENT DETAIL
SCALE: 1/8"=1'-0"

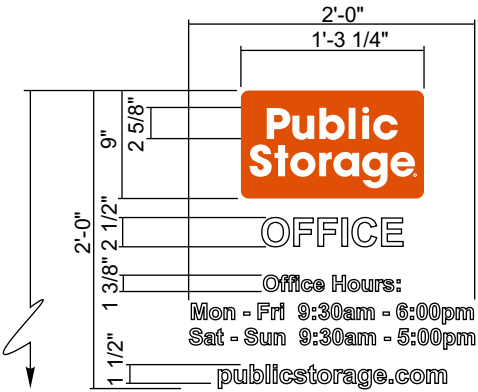


NORTH ELEVATION @ LOADING
SCALE: 1/16"=1'-0"



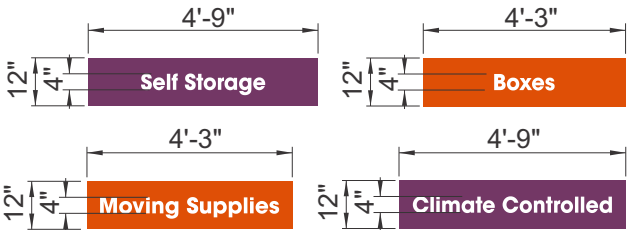
VINYL PLACEMENT DETAIL
SCALE: 1/4"=1'-0"

GLASS WIDTH T.B.D. BEFORE MANUFACTURE



1ST SURFACE VINYL FOR DOOR GLASS
SCALE: 3/4" = 1'-0"

GLASS WIDTH T.B.D. BEFORE MANUFACTURE



1ST SURFACE VINYL FOR WINDOW GLASS
SCALE: 1/4" = 1'-0"

GLASS WIDTH T.B.D. BEFORE MANUFACTURE

GLASS VINYL SCHEDULE	
COLOR	
	3M VINYL 3632-3126 ORANGE
	3M VINYL VQ-7679 PURPLE
	3M VINYL OPAQUE WHITE 7725-10



1ST SURFACE VINYL FOR DOOR GLASS - '2' REQ'D
SCALE: 3/4" = 1'-0"

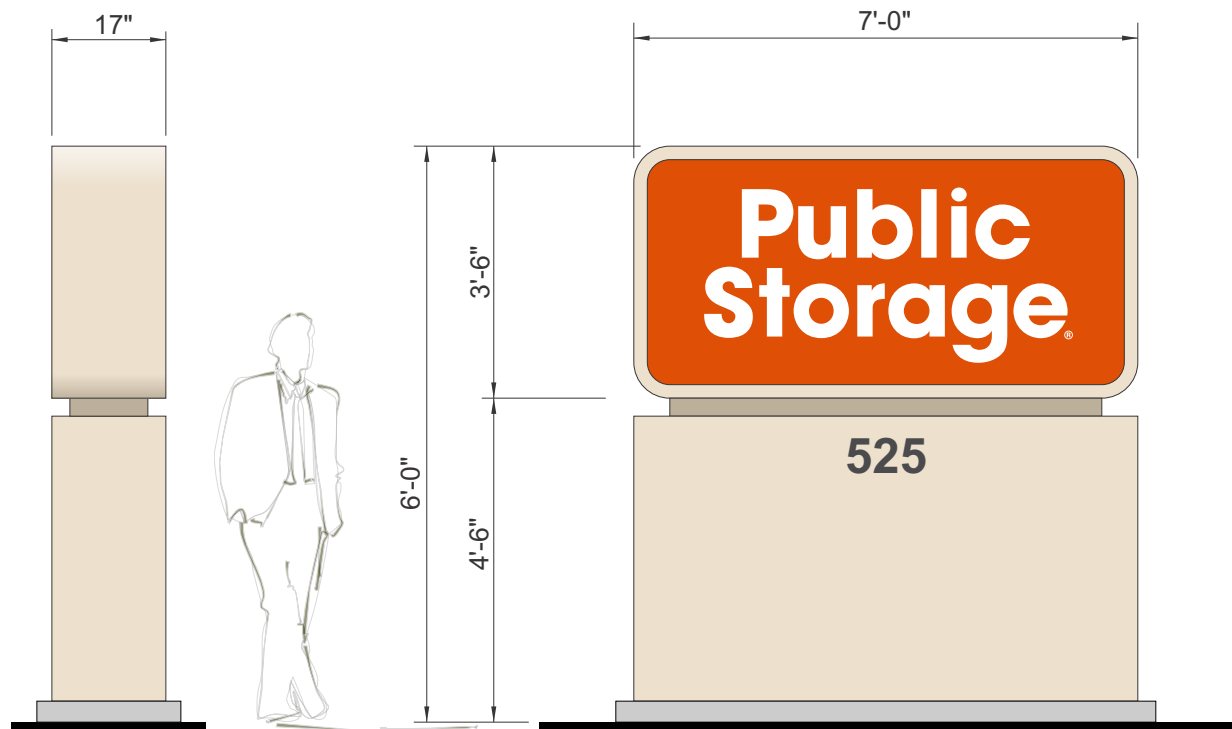
GLASS WIDTH T.B.D. BEFORE MANUFACTURE

GLASS VINYL SCHEDULE	
COLOR	
	3M VINYL 3632-3126 ORANGE
	3M VINYL OPAQUE WHITE 7725-10

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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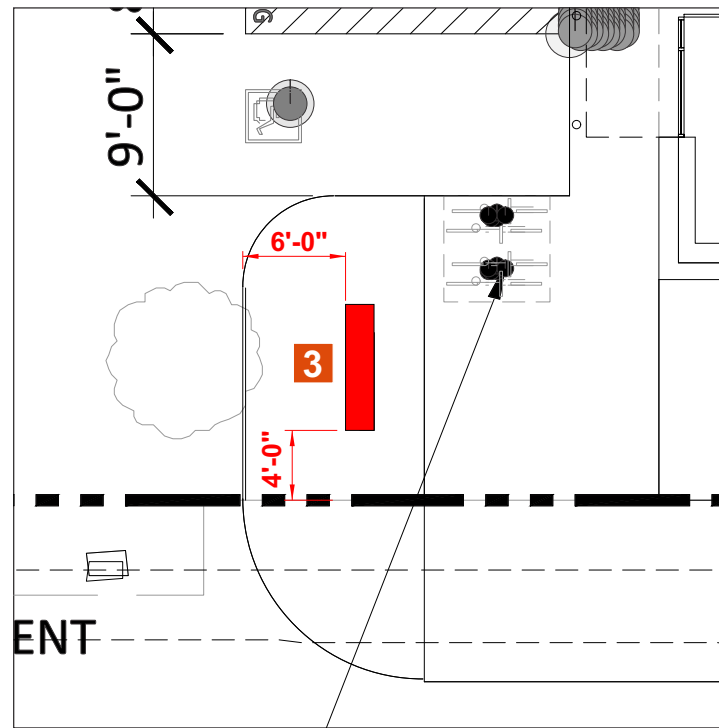
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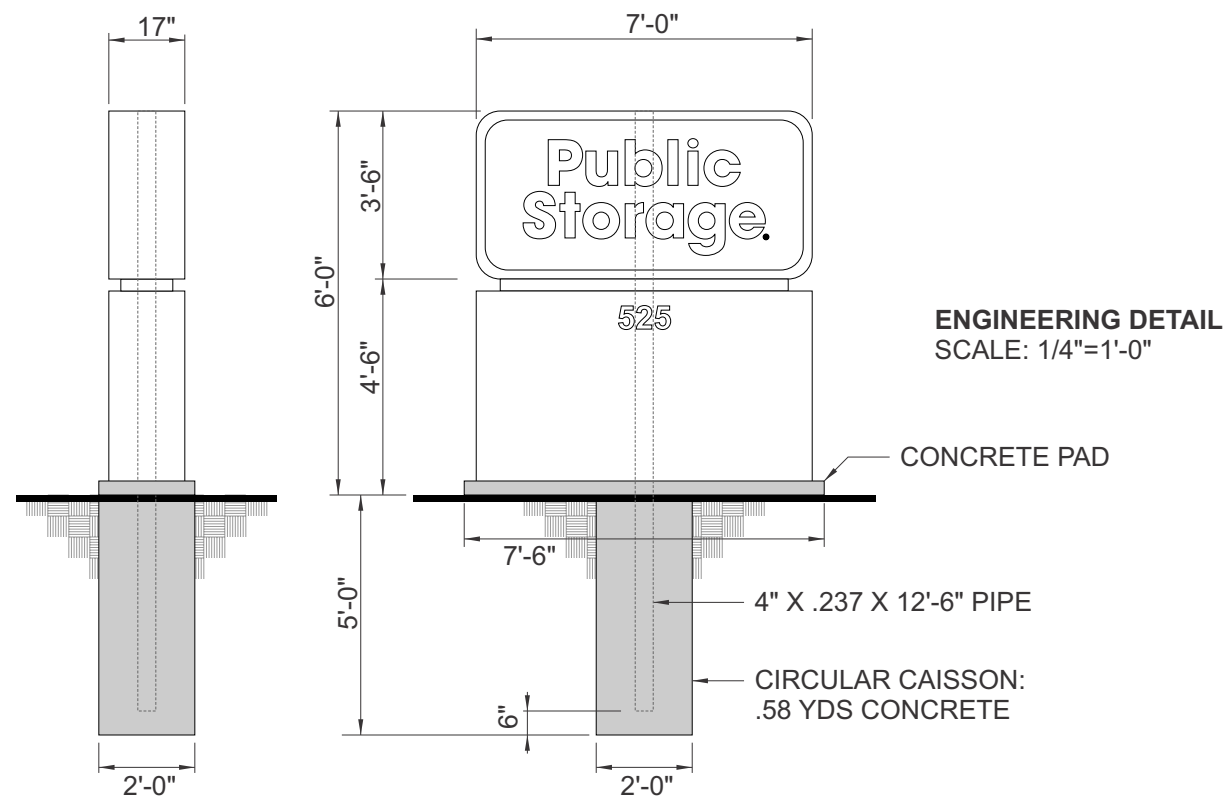
3 CUSTOM MONUMENT SIGN
SCALE: 3/8"=1'-0"
24.5 SF

- FACE SUBSTRATE: WHITE POLYCARBONATE
- GRAPHICS: 1ST SURFACE VINYL
- ILLUMINATION: WHITE LED
- ELECTRICAL: 120 VAC - '1' 20 AMP CIRCUIT

NOTE ON ALL PROPOSAL/PERMIT DRAWINGS: "ANY deviations to install location are NOT to be resolved onsite without the express consent of Image National and / or Public Storage Construction Manager (name to be provided by Image National). Onsite Superintendents and General Contractors may assist, but final approval only from Image National or PS CM."



**PARTIAL
SITE PLAN @ ENTRY**
SCALE: 3/32"=1'-0"



ENGINEERING DETAIL
SCALE: 1/4"=1'-0"

NOTE: VERIFY STEEL / FOOTING CALCULATIONS W/ ENGINEERING PRIOR TO SUBMITTING TO MANUFACTURING

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

16265 Star Road Nampa, ID 83687 toll free: 800.592.8058 tele: 208.345.4020 fax: 208.336.9886 www.imagenational.com

image national signs
...bringing your image to light!
in

PROJECT TITLE:

Public Storage

LOCATION:

Site 23214
525 California Ave
Pittsburg, CA 94565

REQUESTED BY:

Jenny Goossens

DRAWN BY:

SJVL

COMPUTER FILE

PBS-23214 PittsburgCA-R2-051718

INCLUDING DATE:

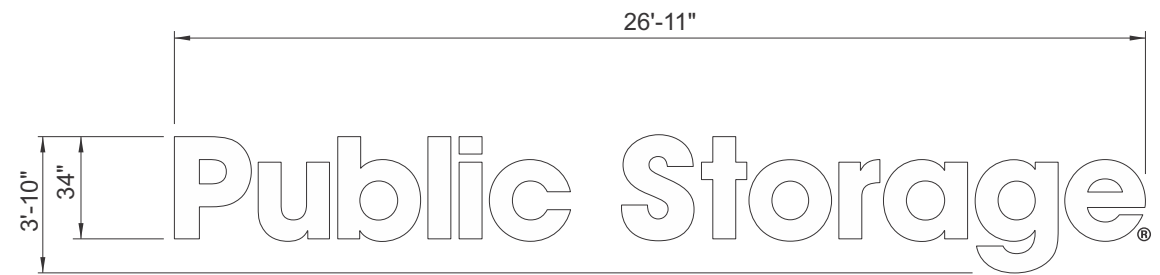
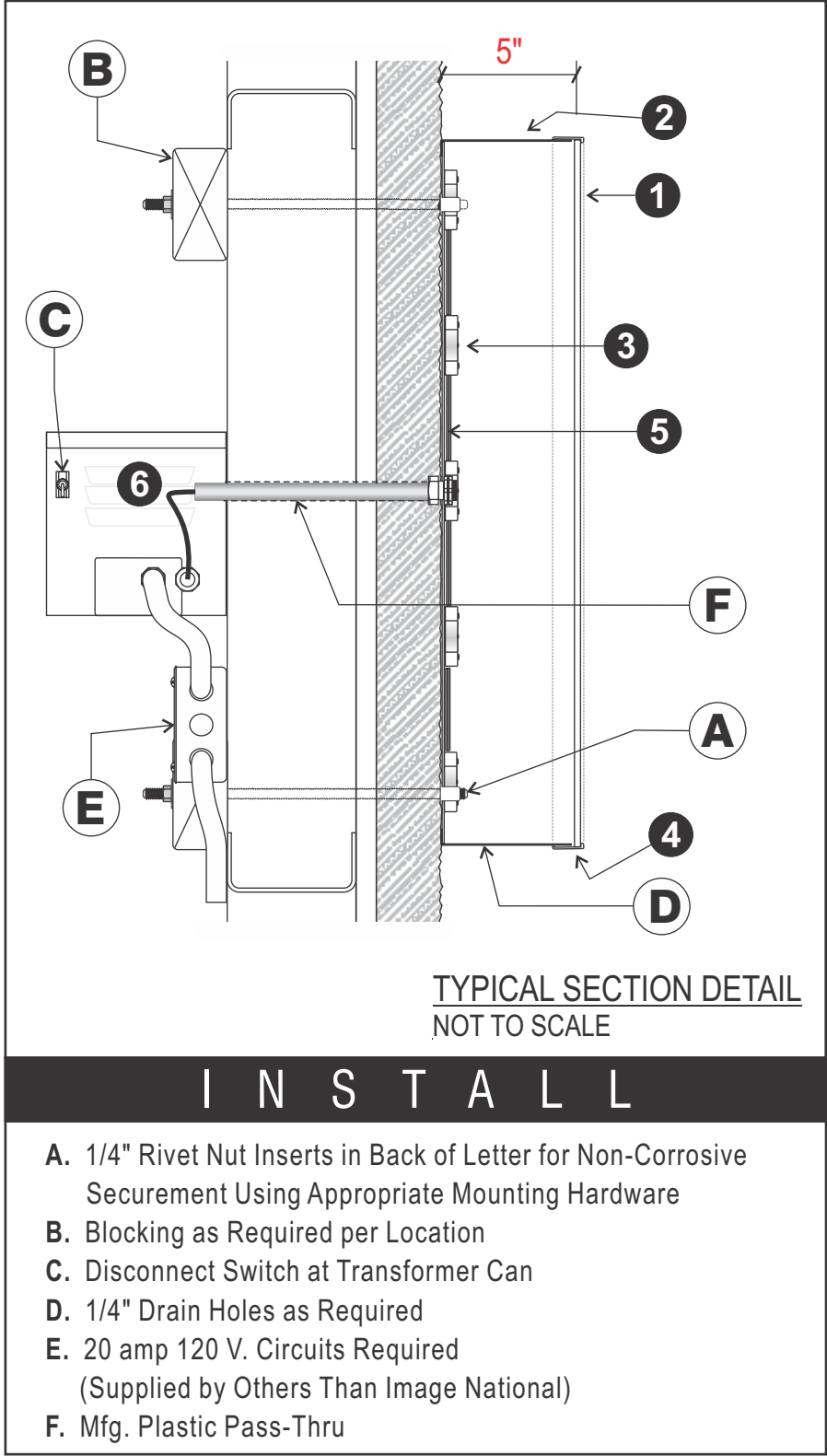


**NAMPA PLANT -
UL #433195-001**

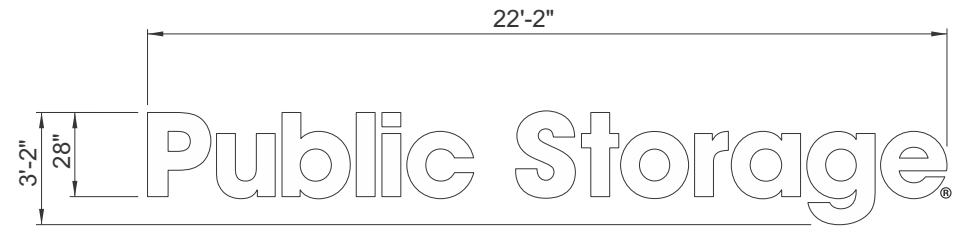
U.S. & PR. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-411 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.

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1 CHANNEL LETTERS - LED ILLUM.
SCALE: 3/16" = 1'-0"



2 CHANNEL LETTERS - LED ILLUM.
SCALE: 3/16" = 1'-0"

ALL EXPOSED WIRING BEHIND PARAPETS TO BE SEALED USING LIQUID TIGHT CONDUIT.
ALL EXPOSED WIRING TO UTILIZE RACEWAYS IF VISIBLE TO THE PUBLIC OR INSIDE STORAGE UNITS (INTERIOR).

REGISTER MARK DETAIL
NOT TO SCALE



1 LETTER FACE: MATERIAL: 3/16" 7328 WHITE ACRYLIC	2 RETURNS: MATERIAL: 5" .040 ALUMINUM COLOR: BLACK	3 ILLUMINATION: MATERIAL: GE L.E.D. ILLUMINATION COLOR: WHITE
4 TRIM CAP: MATERIAL: 1" JEWELITE COLOR: BLACK	5 BACKS: MATERIAL: PRE-PAINTED.063 ALUM. COLOR: WHITE	6 ELECTRICAL: REMOTE. T.B.D. AMPS @ 120 V.
REGISTER MARK: MATERIAL: 2447 WHITE ACRYLIC COLOR: #22 BLACK VINYL OVERLAY		

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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PROJECT TITLE:



LOCATION:

Site 23214
525 California Ave
Pittsburg, CA 94565

REQUESTED BY:

Jenny Goossens

DRAWN BY:

SJVL

COMPUTER FILE INCLUDING DATE:

PBS-23214 PittsburgCA-R2-051718



NAMPA PLANT -
UL #433195-001

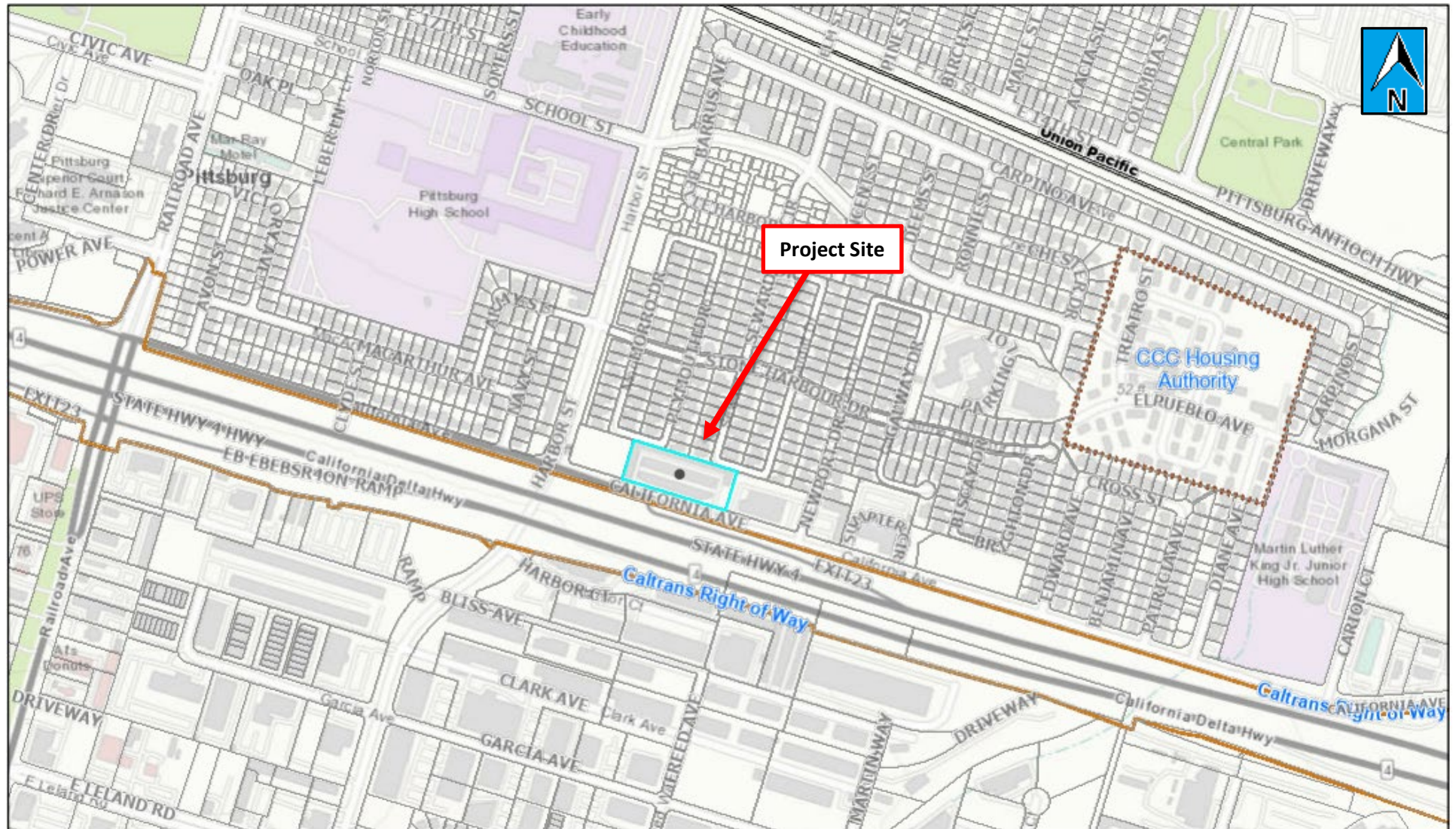
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Public Storage Redevelopment (EXT.) – Vicinity Map

AP-24-0046	525 California Avenue
Extension of Approval	APN: 073-270-088



Public Storage Redevelopment (EXT.) – Aerial Map

AP-24-0046	525 California Avenue
Extension of Approval	APN: 073-270-088





Community and Economic Development Department – Planning Division

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **PLANNING COMMISSION** of the City of Pittsburg will conduct a public hearing on:

DATE: July 23, 2024
TIME: 7:00 P.M.
PLACE: City Council Chamber at City Hall
65 Civic Avenue, Pittsburg, California 94565

Concerning the following matter:

Public Storage Redevelopment (Extension of Approval), AP-24-0046

This is a request for a one-year extension of the design review approval to construct a three-story self-storage building totaling approximately 151,392 square feet. This approval also included a Tree Removal Permit for the removal of four protected trees. The site is zoned PD-O (Planned Development with limited overlay) District. Assessor's Parcel No. 073-270-088.

Environmental Determination

The project is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15061 (b)(3).

Project Planner: Ariana Ruiz, (925)252-4029, or aruiz@pittsburgca.gov

Why am I receiving this notice?

You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?

The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

What can I do if I have comments on the project?

Comments or objections to the project can be made by writing or through e-mailed testimony prior to the meeting or provided orally during the meeting. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

*Para información en
español:
(925) 252-4920*

JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION

Project Title: Public Storage Redevelopment (Extension of Approval), AP-24-0046 (EXT.)
Location: 525 California Avenue, Pittsburg, CA 94565, APN: 073-270-088



City of Pittsburg

Community and Economic Development Department -
Planning Division
65 Civic Avenue
Pittsburg, CA 94565



Attachment 5
Applicable Railroad Avenue Specific Plan Goals and Policies
AP 24-0046- Public Storage Redevelopment (525 California)
AP-18-1315 (RZ, DR, TRP) EXT

Goal/Policy	Preliminary Analysis
Land Use	
Goal 3-G-1: Maximize the benefit of the proposed eBART Station and other transit options and increase ridership by creating a high density, mixed-use community around the potential station site and by integrating the area with the surrounding neighborhoods.	Consistent. The RASP calls for higher-density development in and around the Pittsburg Center BART Station. Much of the new development proposed is multi-family or small lot development, leaving residents little room for storage of personal items. The proposed use would help address this need by providing high-quality storage options for residents in the area.
Goal 3-G-2: Preserve the character of existing residential neighborhoods and enhance their connections to each other and the transit hub area.	Consistent. While not a residential development, the proposed rezoning would not modify any residential land uses or otherwise decrease the amount of land available for residential uses in the East Central Subarea. Additionally, the proposed project includes widening sidewalks along the project frontage to 10 feet and the installation of bicycle racks.
Policy 3-P-1: Create a vibrant, mixed use, transit-oriented development district nearest the proposed eBART Station.	Consistent. The RASP calls for higher-density development in and around the Pittsburg Center BART Station. Much of the new development proposed is multi-family or small lot development, leaving residents little room for storage of personal items. The proposed use would help address this need by providing high-quality storage options for residents in the area.
Policy 3-P-2: Foster an engaging and active street environment.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of “eyes on the street” and, along with the widened sidewalk, create a more comfortable pedestrian experience.

Policy 3-P-4: Provide services and amenities that meet the needs of transit riders, local residents, employees, students and visitors such as childcare, education and job skills services, community centers, healthcare services, and neighborhood serving retail in close proximity to the eBART Station.	Consistent. The RASP calls for higher-density development in and around the Pittsburg Center BART Station. Much of the new development proposed is multi-family or small lot development, leaving residents little room for storage of personal items. The proposed use would help address this need by providing high-quality storage options for residents in the area.
Policy 3-P-5: Provide land uses that accommodate both City-wide and locally-oriented retail opportunities for different consumers to patronize within the Specific Plan Area.	
Policy 3-P-12: Allow minor deviations from the designated land uses provided that the intent of the predominant land use designation is maintained. Where uncertainty exists regarding the interpretation of a provision of this document to a specific site, the Zoning Administrator shall determine the intent of the provision.	Consistent. The applicant has requested, as part of the rezone, that “Warehousing and Storage, Limited,” be added as a permitted use in order to eliminate the site’s legal on-conforming status.
Design and Development	
Goal 4-G-1: Provide a safe and inviting pedestrian environment to draw people to and from the eBART Station.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of “eyes on the street” and, along with the widened sidewalk, create a more comfortable pedestrian experience.
Goal 4-G-2: Celebrate the station area as a major gateway to the City.	Consistent/Conditionally Consistent. The proposed project would redevelop and enhance the aesthetic value of an existing mini-storage facility located at the predominant entry point for westbound State Route 4 traffic. Additionally, a proposed condition of approval would require the developer fund the construction of a monument sign welcoming and providing directional signage to automobiles using the Railroad Avenue/Harbor Street offramp.

Goal 4-G-3: Promote high quality development that is socially and environmentally sustainable.	Consistent. The proposed project would redevelop and enhance the aesthetic value of an existing mini-storage facility located at the predominant entry point for westbound State Route 4 traffic and would be required to meet applicable green building code requirements.
Policy 4-P-1: Require high quality, pedestrian-friendly design and a high level of transparency along street fronts and pathways to activate the street environment, promote social interaction and support crime prevention.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of “eyes on the street” and, along with the widened sidewalk, create a more comfortable pedestrian experience.
Policy 4-P-3: Provide high quality wayfinding signage throughout the Specific Plan Area.	Conditionally Consistent. A proposed condition of approval would require the developer fund the construction of a monument sign welcoming and providing directional signage to automobiles using the Railroad Avenue/Harbor Street offramp.
Policy 4-P-7: Require all new development located near a roadway that produces noise levels greater than 65 dbA to have an acoustical analysis prepared by a qualified acoustical engineer to ensure all feasible site planning and architectural design measures are incorporated to reduce interior noise levels to a maximum of 45 dbA (Mitigation Measure NO-3.1).	Consistent. The existing self-storage facility has exterior roll-up–style doors, whereas the proposed facility would have interior access units, with each unit behind two doors (the exterior door to the lobby, and the door between the lobby and the access hallway to the units). Therefore, the project would not be expected to substantially increase ambient noise.
Community Resource	
Goal SP5-G-1: Provide a range of parks, open spaces and public facilities in the Specific Plan Area to meet the diverse needs of residents, employees, students and visitors.	Conditionally Consistent. A proposed condition of approval would require the developer fund the construction of a monument sign welcoming and providing directional signage to automobiles using the Railroad Avenue/Harbor Street offramp.
Policy SP5-P-1.2: Require new development to provide land or funding to help create a strong network of parks, plazas and pathways.	
Policy SP5-P-3.1: Install street furniture that improves the transit rider’s experience, including bus shelters, seats, and informational signage.	

Transportation and Circulation	
Goal 6-G-1: Make the Specific Plan Area a walkable center at the crossroads of the Pittsburg community.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of “eyes on the street” and, along with the widened sidewalk, create a more comfortable pedestrian experience.
Policy 6-P-1: Encourage walking, bicycling and other non-motorized modes of transportation by providing clearly defined, generous, safe and enjoyable routes for pedestrians and cyclists.	
Policy 6-P-2: Create a program of wayfinding signage for common destinations throughout the City and Specific Plan Area.	Conditionally Consistent. A proposed condition of approval would require the developer fund the construction of a monument sign welcoming and providing directional signage to automobiles using the Railroad Avenue/Harbor Street offramp.
Policy 6-P-3: Provide wide sidewalks (a minimum of six-feet wide in residential areas and ten feet in commercial areas) to enhance the pedestrian experience.	Consistent. The proposed project would include widening the sidewalks adjacent to the project site to 10 feet.
Policy 6-P-5: Minimize the perception of walking distances between key destinations by mixing uses and providing streetscape amenities.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of “eyes on the street” and, along with the widened sidewalk, create a more comfortable pedestrian experience.
Policy 6-P-7: Design the public realm and rights-of-way for universal design and Americans with Disabilities Act (ADA) compliance to meet or exceed guidelines set by the Division of the State Architect.	Conditionally Consistent. The proposed project would be required to meet all ADA and accessible design improvements required by the City of Pittsburg Municipal Code and California Building Code.
Policy 6-P-8: Include accessible design improvements, such as appropriately placed curb cuts, audible pedestrian-crossing signals, maximum pathway grades, generous walkway width and areas for rest.	
Policy 6-P-9: Incorporate traffic calming techniques such as wide sidewalks, narrow streets, bulb outs, on-street parking, and other strategies throughout the Transit Village, Civic Center and High School Village sub-areas.	Consistent. The proposed project would include widening the sidewalks adjacent to the project site to 10 feet.

Utilities and Infrastructure	
Goal 7-G-2: Encourage new development within the Specific Plan Area to incorporate energy efficient and sustainable building principles.	Consistent/Conditionally Consistent. The proposed project would be required to meet applicable green building code requirements. Additionally, the project would provide over 30 new trees to help shade the parking area and reduce the heat island effect. The proposed faux fenestration would not actually allow light or heat into, or to escape, the majority of the building, helping reduce HVAC costs.
Policy 7-P-2: Promote building design that improves energy efficiency by incorporating natural cooling and passive solar heating where possible. This may include extended eaves, window overhangs, awnings and tree placement for natural cooling and building and window orientation to take advantage of passive solar heating.	
Policy 7-P-5: Encourage developers to utilize low-impact development (LID). LID addresses stormwater treatment through small, cost-effective landscape features located at the site level. These landscape features, known as Integrated Management Practices (IMPs), are the building blocks of LID. IMPs include planter strips, rooftop gardens, planter boxes, and pervious concrete pavers.	Consistent. The proposed project would utilize numerous on-site bioretention areas to control stormwater onsite and help implement LIDs within the City.
Policy 7-P-7: New projects shall incorporate water conservation measures including but not limited to low flow showers and toilets, low flow and gray water irrigation systems and the use of drought tolerant landscaping.	Consistent. The proposed project would not include a large number of bathrooms, kitchens, or other in-building water uses where large amounts of water would be consumed. However, the proposed new landscaping would be drought-tolerant, reducing the overall water need for the site.
Policy 7-P-8: Ensure that all commercial and residential development includes trash enclosures that can accommodate receptacles for garbage, recycling and green and food waste collection when it is available from Pittsburgh Disposal on a city-wide basis.	Consistent. The proposed project would include the construction of a new masonry trash enclosure sized to handle recycling and solid waste. The new enclosure would be designed to match the new main building, and would be located near the main

Policy 7-P-9: Trash enclosures shall be constructed of masonry material with self-enclosing doors, a roof and a second access in accordance with Title 18 of the PMC. All enclosures shall be constructed of high-quality materials, and the design and color shall be coordinated with the proposed development. Where feasible, consider designing the main structure to house the trash/recycling enclosure rather than designing the trash enclosure as a separate, stand along building	structure, rather than near a rear or side yard.
Policy 7-P-11: Ensure that all new and redevelopment projects underground utility lines on and adjacent to the site.	Conditionally Consistent. A proposed condition of approval would require the applicant underground a portion of the utility lines adjacent to the project frontage.

Attachment 6
RASP Architecture and Design Guidelines
AP 24-0046- Public Storage Redevelopment (525 California)
AP-18-1315 (RZ, DR, TRP) EXT

Design Criteria	Meets Criteria?
TOD-M: Use landscaping and other treatments such as low fences, porches, unique paving materials, low gates, or other defining elements to clearly delineate private open space to promote a sense of ownership. (<i>Landscaping Requirements, pg.86</i>)	Not applicable. The proposed project does not include any residential or commercial areas where a sense of ownership is warranted.
TOD-M: Use stamped and/or colored concrete or other decorative material to provide clearly-delineated pedestrian-friendly pathways throughout surface parking lots. (<i>Landscaping Requirements, pg.86</i>)	Not applicable. All parking areas are adjacent to the proposed structure, and thus pedestrians will not be required to cross a drive aisle to access the building.
TOD-M: Locate parking lot trees and landscaping either in a center median between rows of parking stalls and/or in landscaped planters placed throughout the parking lot. Planters less than three feet wide, excluding curbs and walls, are prohibited. (<i>Landscaping Requirements, pg.86</i>)	Consistent. Parking lot trees are located within landscaped planters placed throughout the parking lot.
TOD-M: Incorporate permeable surfaces and pavers for parking lots, driveways and alleys where feasible. (<i>Landscaping Requirements, pg.86</i>)	Not feasible. The proposed project provides very few parking areas, which may be accessed often by trucks or other vehicles that would damage permeable pavers.
4.5.1: Maximize the number of units and building entries fronting the street.	Consistent. While the use would have only one entry facing the street, the proposed building has been designed to give the appearance of multiple street-adjacent entryways.
4.5.2: Orient building and store entrances to the street with maximized storefront transparency through inclusion of windows, doors, or outdoor areas incorporated into the structure.	

4.5.3: There shall be at least 70% transparency for ground level retail uses and a minimum of 60% transparency for ground level office uses.	Consistent. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor. In lieu of additional ground floor transparency, staff has requested the developer add additional transparency to second and third floors at building corners and center to help mimic an office building and articulate entry points.
4.5.4: Emphasize the primary entry of buildings (e.g. Entrance lobby) with special architectural elements.	Consistent. The main entry (as well as other areas meant to mimic an entryway) are highlighted with metal panels and additional glazing to articulate entry points.
4.5.5: All building facades, including parking garages, facing public rights-of-way shall engage the pedestrian through well-articulated building facades by incorporating elements such as cornices, lintels, sills, awnings, fenestration, varied materials and colors, columns and other architectural elements and features.	
4.5.6: Residential buildings shall incorporate porches, stoops, and balconies to provide variation on all elevations.	Not applicable. The proposed project does not include any residential units.
4.5.7: Prohibit expanses of blank wall in excess of 10-feet along any portion of a building visible from public right-of-way or a parking facility. Where this is necessary due to interior layout of the building, the structure shall contain a mural, display, window box or other decorative element to break up the massing.	Consistent. The developer has proposed using a variety of materials, including stucco, two types of masonry, and glass fenestration to help break up large expanses of blank walls visible from the right-of-way.
4.5.8: Use varied materials, forms and colors on buildings to provide visual interest to break up the massing of the structures and to provide visual interest to pedestrians.	
4.5.9: Step back upper stories of buildings over three stories in height to mask building height and reduce massing on the street level.	Not applicable. The proposed building would be three stories tall.

4.5.10: Articulate front facades with windows, both along the ground floor and upper residential floors. Carry all exterior materials including veneer, finishes or materials utilized on the front of the structure around to all sides of the buildings.	Consistent. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor. In lieu of additional ground floor transparency, staff has requested the developer add additional transparency to second and third floors at building corners and center to help mimic an office building and articulate entry points. Materials have been carried along all four building facades.
4.5.11: Incorporate outdoor stairs, railings, fences, gates, and other outdoor utilitarian elements that are decorative, painted or stained, composed of high quality materials, and architecturally compatible with the structure to which they are accessory.	Consistent. The applicant has proposed installing bicycle racks similar to those installed at the Multimodal Transfer Facility near the main office entry.
4.5.12: Incorporate variations in building elements including roof silhouettes, fenestration patterns and colors in adjoining residential units.	Not applicable. The proposed project does not include any residential units.
4.5.13: In areas classified Business Commercial, encourage the use of steel and corrugated metal as an accent material to define lintels, create awnings and enhance roof form. Wood and stucco should be used sparingly within industrial areas.	Not applicable. The proposed project is not in an area classified as Business Commercial.
4.5.14: All developments must provide a trash enclosure in accordance with Title 18 of the PMC. Shared trash enclosures are encouraged among adjacent uses provided that the enclosure is sized appropriately to handle the refuse and recycling needs of all uses.	Consistent. The proposed project would include the construction of a new masonry trash enclosure sized to handle recycling and solid waste.
4.5.15: Locate all utilities, utility boxes or equipment underground or on the roof and screened from view.	Conditionally Consistent. The proposed project includes roof-mounted equipment that would be screened by a parapet and roof screens as needed. Additionally, a proposed condition of approval would require the developer underground a portion of the overhead power lines adjacent to the project frontage.
4.5.16: Parking garages shall be developed as mixed-use structures with ground floor frontage along heavily utilized pedestrian pathways devoted to commercial uses.	Not applicable. The proposed project does not include any parking garages.

4.5.17: Private developments in the Transit Village and Civic Center sub-areas shall include publicly accessible greenways, trails and paths for pedestrians and bicyclists in accordance with the land use and circulation plans set forth in the Specific Plan.	Not applicable. The proposed project is not located within the Transit Village or Civic Center subareas.
4.5.18: Public bicycle parking lockers shall be installed on the ground floor of parking garages at a ratio of one bicycle parking locker per 50 parking spaces.	Not applicable. The proposed project does not include any parking garages.
4.5.19: Utilize ecologically conscious designs that include natural light, shade, and energy efficient materials.	Consistent/Conditionally Consistent. The proposed project would be required to meet applicable green building code requirements. Additionally, the project would provide over 30 new trees to help shade the parking area and reduce the heat island effect. The proposed faux fenestration would not actually allow light or heat into, or to escape, the majority of the building, helping reduce HVAC costs.
4.5.20: Projects should include sustainable site and building design elements such as improved insulation, operable windows, energy efficient lighting and appliances, solar energy sources built into the development, natural ventilation and permeable paving materials.	
4.5.21: The ground floor of live-work lofts shall not be used exclusively for storage of materials.	Not applicable. The proposed project does not include any residential or live/work units.
4.5.22: Residential developments located within 500 feet of a travel lane on State Route 4 shall have central heating, ventilation, and air conditioning (HVAC) systems with high efficiency filters. Air intake systems for the HVAC systems shall be located as far away from the roadway as possible and shall include an ongoing HVAC maintenance plan.	Not applicable. The proposed project does not include any residential units.
4.5.23: All residential projects must comply with development standards and amenities applicable to all multi-family residential and senior projects set forth in Chapter 18.52, Residential Districts, of the PMC unless otherwise specified within the Specific Plan.	

4.5.24: All fences in the Transit Village, Civic Center, High School Village, Industrial/Mixed Use and Railroad Avenue Retail Corridor shall comply with the height standards for commercial and residential uses (where applicable) set forth in Chapter 18.84, Special Land Use Regulations Applicable to Specific Uses, in the PMC. Wrought iron and wood fencing is encouraged in these sub-areas. Chain-link fencing is permitted at the discretion of the City Planner, and must be vinyl clad in a dark color material with winged slats. Razor wire and barbed wire are not permitted within any of these sub-areas.	Consistent. All fences would comply with the height standards for commercial and residential uses (where applicable) set forth in Chapter 18.84.
4.5.25: All accessory structures and accessory dwelling units must comply with applicable standards set forth in Title 18 of the PMC.	Consistent. All accessory structures would comply with the applicable standards set forth in Title 18 of the PMC.
4.5.26: Greenways, trails, and paths for pedestrians and bicyclists that are incorporated into site design and development shall not be fenced, gated or hidden by the wall of a building in such a manner to eliminate the visual connection from the street, public right-of-way, and/or buildings and the greenway, trail and/or path. Structures adjacent to greenways, trails and/or paths shall incorporate balconies and windows to overlook the paths, and all effort shall be made to allow visual connections through and along the paths.	Not applicable. The proposed project does not propose any greenways, trails, and paths for pedestrians and bicyclists.

Attachment 7
Design Review and Development Guidelines
AP 24-0046- Public Storage Redevelopment (525 California)
AP-18-1315 (RZ, DR, TRP) EXT

Design Review Guidelines	Meets Guidelines?
<i>Commercial/Industrial</i>	
Parking areas should be screened from view from any public right-of-way (beaming or hedge-type plant material). Parking areas should be broken up (landscape islands, projections, etc.) to eliminate vast areas of parking especially along street frontages.	Consistent. The main parking area would be screened from view from the right-of-way along California Avenue by the proposed structure. The secondary parking area would be along the side of the building, slightly visible from California Avenue, though largely screened by the proposed building.
Provisions should be made for permanent shopping cart corrals in retail shopping centers.	Not applicable. The proposed structure would not house a use which would utilize shopping carts.
Existing trees on site should be incorporated into the project site design, unless waived by the City Planner or Planning Commission.	Conditionally. The proposed project would likely require the removal of multiple existing trees; however, the project also proposes to plant over 30 new trees, including 17 large, mature trees with a minimum 24-inch box.
Developer should elect, at least, one of the schemes provided in Appendix #1 for screening all utility box transformers, backflow preventers, meters and junction boxes.	Conditionally Consistent. The proposed project includes roof-mounted equipment that would be screened by a parapet and roof screens as needed. Additionally, a proposed condition of approval would require the developer underground a portion of the overhead power lines adjacent to the project frontage.
Projects with many buildings (greater than three) should have a variety of building sizes and masses.	Not applicable. The proposed project would include only one building.
Continuous horizontal roof lines should be broken up whenever possible. An expanse should not exceed 50 (fifty) feet in length unless architecture or size dictate a greater expanse.	Consistent. The proposed structure contains elements which would serve to break up long, horizontal roof lines.

Building entries should be designed as a focal point. They should be designed to set the theme or be the primary feature of the building or commercial center.	Consistent. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor. In lieu of additional ground floor transparency, staff has requested the developer add additional transparency to second and third floors at building corners and center to help mimic an office building and articulate entry points. Materials have been carried along all four building facades.
Building elevations (example: rear of shopping centers) visible from public right-of- ways should be addressed in design review and treated appropriately.	
A free-standing structure within an existing commercial or industrial center should be architecturally compatible with the center, including but not limited to materials, colors and architectural elements.	Not applicable. The proposed project is not located within an existing shopping center.
All roof mounted equipment should be screened completely from view from all public rights-of-way. A site-line study may be necessary to determine appropriate screening method.	Consistent. The proposed project includes roof-mounted equipment that would be screened by a parapet and roof screens as needed.
All Structures, including, but not limited to, “tilt-up” type structures, should have structural reliefs and articulated entries (Encourage the creation of shadow lines).	Consistent. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor. In lieu of additional ground floor transparency, staff has requested the developer add additional transparency to second and third floors at building corners and center to help mimic an office building and articulate entry points.
Exterior fire escapes, stairs and other appurtenances should be designed or treated as integral parts of the building façade.	Not applicable.
Downspouts should be designed into the façade of the building unless architecturally treated.	Consistent. The proposed project plans note that all downspouts would be incorporated into the façade of the building.

Add murals, lattice or some other spaceframe type treatment to blank walls visible from public view.	Not applicable.
Prototype or “theme” architecture is discouraged.	Consistent. The proposed building design does not include what could be considered “theme” architecture.
New or remodeled buildings should be designed to be compatible in design, color and materials with adjacent development.	Consistent. The proposed project is architecturally-compatible with office buildings and general development in the area.
The street-oriented elevations shall be designed so as not to present the appearance of a rear elevation (i.e., no loading doors or large blank walls, absence of architectural features found on other elevations, and limited landscaping as typically found on interior property lines).	Consistent. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor.
Trash enclosures should include area for collection of recyclables.	Consistent. The proposed project would include the construction of a new masonry trash enclosure sized to handle recycling and solid waste.
Green Building Design Guideline	Meets Guideline?
<i>Section D: Commercial / Industrial</i>	
Roofs should be designed to integrate renewable energy generation systems and provide a cool urban environment.	Conditionally. A proposed condition of approval would require the entire roofing surface behind the building parapets be painted white to create a ‘cool roof.’
Roofs should host a renewable energy generation system appropriate to its natural resources (i.e. solar photovoltaic cells where there is ample sunlight, and low-profile wind energy generation turbines where wind currents are adequate). Renewable energy systems should be installed unless they are demonstrated to be cost prohibitive after considering their energy saving benefits over their lifetime.	

Roofs should be covered with a cool roof underneath any energy generation structures, and either a green/living roof or cool roof for uncovered portions.	
Uncovered rooftop expanses greater than 200 square feet should be designed to be strong enough to support rooftop gardens and other passive recreational uses for employees.	Not applicable. Due to the location and use of the project, staff has determined that a recreational rooftop is not warranted.
Urban heat island impacts may be minimized through the shading or paving material design choices. Recommended choices include renewable energy systems on carports, shade trees, underground parking, and open-grid pavement systems	Consistent. The project proposal includes numerous trees which will help to reduce the heat island effect.
Outdoor parking lots with more than 20 spaces and solar access over 75% of more of its surface area should install renewable energy systems on carport structures. The builder may arrange a power-purchase agreement where the energy system is funded and owned by a third party, as a way to alleviate initial cost burden.	Not applicable. The proposed project, combined with the previously approved project to the south, include only 16 spaces, and do not propose any carport structures.
Hardscapes should be constructed with permeable surfaces (e.g. pervious concrete, porous asphalt, unit pavers, and granular materials). Permeable paving consisting of porous above-ground materials, a 6- inch porous sub-base, and a base layer that is designed to ensure proper drainage away from the building and neighboring properties. Alternatively, impermeable surfaces may be used if they direct all runoff toward an appropriate permanent infiltration feature (e.g. vegetated swale, on-site rain garden, or rainwater cistern).	Consistent. The proposed project provides very few parking areas, which may be accessed often by trucks or other vehicles that would damage permeable pavers. All water runoff would be directed to vegetated swales.

Within parking lots, electric vehicle charging units should be made available to employees and patrons with electric vehicles. The parking spaces with charging units should be clearly marked with signs designating them for assigned employees or electric vehicle use only.	Not feasible. Staff has determined that due to the nature of the use, drivers of electric cars are unlikely to park at the facility for a period of time necessary to charge an electric car.
Fuel cell technology should be considered for application where (1) space or cost prohibits non-emitting on-site generation (such as solar, wind or geothermal), AND either (2) the heat resulting from fuel combustion is utilized for water or space heating, and/or (3) the fuel cells would be used primarily during peak utility hours.	Not applicable.
Reclaimed (purple pipeline) water should be used for as much non-potable water uses as feasible and practical. Landscaping water fixtures using reclaimed water should be purple, and purple and white signage should clearly mark areas that are irrigated with reclaimed water.	Not applicable.
Large commercial and institutional facilities that are anticipated to employ more than 50 employees, should consider providing on-site shops and services for those employees.	Not applicable.

Street side building faces should encourage walking. No more than 40% of a building's street side length, or 50 feet, whichever is less, should be blank walls without doors or windows. Functional entries to buildings should occur at an average of 75 feet or less along sidewalk facing walls. Additional design techniques contained in the Downtown Design Guidelines that encourage walking, should also be utilized where applicable.	Consistent. The proposed project would provide faux fenestration along the street frontage, mimicking an office or retail building, that would give the illusion of "eyes on the street" and, along with the widened sidewalk, create a more comfortable pedestrian experience. Staff has worked with the developer to provide the maximum amount of transparency possible along the ground floor. In lieu of additional ground floor transparency, staff has requested the developer add additional transparency to second and third floors at building corners and center to help mimic an office building and articulate entry points.
Secure bicycle parking facilities should be provided for at least 10% of expected peak hour trips. Bicycle parking structures should complementary to the surrounding structures and may be partially obscured by vegetation or painted with a mural design that is consistent with surrounding aesthetics. Shade trees should be planted if the parking facility is located in an area not shaded by surrounding structures. They should be located in an accessible and visible space to discourage misuse.	Consistent. The proposed project would include an additional four bicycle parking spaces.

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
July 23, 2024**

ITEM: AP-24-0064 - Public Storage Redevelopment – Extension of Approval of AP-18-1315 (RZ, DR, TRP).

ORIGINATED BY: Brian Ulrich, 1426 S. Willow Avenue, Rialto, CA, 92376

SUBJECT: This is a request for a two-year extension of design review approval to construct a three-story self-storage building totaling approximately 151,392 square feet. The site is zoned PD-O (Planned Development with limited overlay) District. Assessor's Parcel No. 073-270-088.

RECOMMENDATION:

Staff recommends the Planning Commission adopt the attached resolution extending approval of Design Review for Application No. 18-1315 for two years.

BACKGROUND:

On April 15, 1985, the City Council adopted Ordinance No. 85-875, approving a development plan for the construction of a 44,530 s.f. self-storage facility on two acres of vacant land located at 525 California Avenue. The self-storage facility was subsequently constructed in accordance with that plan and has been in operation ever since.

On February 7, 2018, the applicant, Public Storage Inc., filed a planning application requesting approval of 1) a zoning amendment to establish a PD-O District to increase the allowable floor-area-ratio from 1.0 to 1.75, reduce the required first floor height of commercial structures from 15 feet to 10 feet, and allow self-storage facilities as a permitted use; 2) design review to demolish the existing self-storage facility, and replace it with a new, three-story, climate-controlled building totaling approximately 151,392 square feet; and 3) a tree removal permit to remove up to four protected trees.

On May 14, 2019, the Planning Commission adopted Resolution No. 10120 (Attachment 2), recommending City Council approval of design review of architectural and site development plans to construct the three-story, self-storage building, as well as a tree removal permit.

On June 3, 2019, the City Council adopted Resolution No. 19-13637 approving design review of plans to construct a three-story self-storage building totaling approximately 151,392 square feet and removal of up to four protected trees at 525 California Avenue, for "Public Storage Redevelopment AP-18-1315 (RZ, DR, TRP).

Condition No. 50 of Resolution No. 10120 does not set an expiration date for the Tree Removal Permit, and as such, this approval remains valid.

GENERAL PLAN/CODE COMPLIANCE:

Pittsburg Municipal Code (PMC) section 18.36.240 gives the Commission authority to extend the period to obtain a building permit in relation to a design review approval, if a written request is submitted within the effective period of approval.

Pursuant to Condition No. 50 of Resolution No. 19-13637, design review approval was set to expire on June 3, 2024, unless the applicant was issued a grading or building permit or requested an extension. On April 18, 2024, the applicant filed an application requesting to extend the design review approval in order to allow additional time to be issued building and engineering permits.

The applicant has applied for multiple building and engineering permits, with the initial building permit application submitted to the City in December 2022, prior to the expiration of the design review approval. However, the project has slowed slightly due to supply demands, and a building permit has not been issued for the project. The applicant has diligently pursued the project.

Public Notice: Although not required, on or prior to July 12, 2024, a “Notice of Public Meeting” for the July 23, 2024, public meeting on this item was posted at City Hall and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the proposed project site, to local service agencies whose services might be affected by this project, and to individuals who had previously filed written request for such notice.

See Attachment 4 for the Public Hearing Notice.

Environmental: The project is exempt from the requirements of the California Environmental Quality Act (CEQA) under the general rule exemption or common-sense exemption of the State CEQA Guidelines Section 15061(b)(3). The proposed request is only for a two-year time extension for an already approved project. As such, all existing conditions of approval for the project will remain the same. Additionally, the proposed use conforms to the 2040 General Plan and the Railroad Avenue Specific Plan (RASP), and the Pittsburg Municipal Code (PMC). Therefore, where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA, under Section 15601(b)(3).

ANALYSIS:

The General Plan land use designation, RASP land use designation, and zoning classification for the site have not changed since the initial project approval in June 2019.

Planning Commission Staff Report
AP-24-0064 - Public Storage Redevelopment –
Extension of Approval of AP-18-1315 (RZ, DR, TRP).

The new storage facility is consistent with the applicable standards contained within the development and design standards set forth in the Railroad Avenue Specific Plan (RASP), as well as the City's Development Review Design Guidelines (DRDGs) for commercial uses and the green building design guidelines. The project would not result in marginal development nor adversely affect the orderly development of property in the area, in that the proposed new structure would be located within the footprint of the existing facility and would be designed to complement existing structures in the area.

Further, staff does not anticipate any changes to the development and architectural design standards contained within the RASP or the DRDGs applicable to this project within the next two years.

As previously mentioned, the applicant has been moving the project forward; however, due to unforeseen issues, the issuance of permits has been slightly delayed, and as such, staff believes that there is good cause for an extension of the approval at this time.

ACTION REQUIRED:

Move to adopt a Resolution approving a two-year time extension of the Design Review approval for the Public Storage Redevelopment project AP-18-1315 (RZ, DR, TRP).

ATTACHMENTS:

1. Proposed Resolution
2. Approved Project Plans
3. Vicinity Map
4. Notice of Public Hearing
5. RASP Applicable Goals and Policies
6. RASP Architectural and Design Criteria
7. Development Review Design Guidelines

Prepared by: Ariana Ruiz, Assistant Planner