



City of Pittsburg Planning Commission and Historic Resources Commission Agenda

March 12, 2024

**City Hall Council Chamber
65 Civic Avenue, Pittsburg, CA 94565**

**Regular Meeting
7:00 P.M.**

Planning Commission Members

**Ivelina Popova, Chair
Arlene Kobata, Vice-Chair
Sarah Foster, Commissioner
Donna Smith, Commissioner
Elissa Robinson, Commissioner
Frank Gordon, Commissioner
Deandra Stokes, Commissioner**

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

This agenda was posted at City Hall on Friday, March 8, 2024

CALL TO ORDER

ADMINISTRATION OF OATH OF OFFICE

ROLL CALL

PLEDGE OF ALLEGIANCE

REORGANIZATION

COMMENTS FROM THE AUDIENCE

PRESENTATIONS

1. **Planning staff to provide an update on current projects**

ZONING ADMINISTRATOR REPORTS

2. **Notice of Intent to Exercise Delegated Design Review Authority**
The Zoning Administrator submits two notices of intent to exercise delegated design review authority: 1) Century Plaza Commercial LLC to upgrade the facade and make tenant improvements to the existing storefront located at 4411 Century Blvd. #4699 (former Toys R Us) within the Century Plaza shopping center for a proposed new "Five Below" store and future tenants; and 2) Mccampbell Analytical Inc to upgrade the facade and make tenant improvements to the existing commercial building located at 134 Willow Pass Road.

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

HISTORIC RESOURCES COMMISSION MEETING

CALL TO ORDER

ROLL CALL

REORGANIZATION

COMMENTS FROM THE AUDIENCE

STAFF COMMUNICATIONS

ADJOURNMENT OF HISTORIC RESOURCES COMMISSION

NOTICE TO PUBLIC

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Commission meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at 925-252-4850. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

GENERAL INFORMATION

Copies of the open session agenda packets that are distributed to the Planning Commission are on file in the office of the Planning Department, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning no fewer than 72 hours in advance of the meeting, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except city holidays). Additionally, if any reports or documents that are public records are distributed to the Planning Commission fewer than 72 hours before the meeting, those reports and documents will also be available for public inspection in the city's Planning Department and at the Commission meeting. The Pittsburg Library is also provided a full agenda packet for your convenience. As a courtesy, the agenda is also located on the city's website at www.ci.pittsburg.ca.us.

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
March 12, 2024**

ITEM: Notice of Intent to Exercise Delegated Design Review Authority

ORIGINATED BY: City of Pittsburgh, Zoning Administrator, 65 Civic Avenue, Pittsburgh, CA 94565

SUBJECT: The Zoning Administrator submits two notices of intent to exercise delegated design review authority: 1) Century Plaza Commercial LLC to upgrade the facade and make tenant improvements to the existing storefront located at 4411 Century Blvd. #4699 (former Toys R Us) within the Century Plaza shopping center for a proposed new “Five Below” store and future tenants; and 2) Mccampbell Analytical Inc to upgrade the facade and make tenant improvements to the existing commercial building located at 134 Willow Pass Road.

RECOMMENDATION:

Staff recommends that the Planning Commission acknowledge receipt of the two attached Notices of Intent to Exercise Design Review Authority.

BACKGROUND:

Delegated Design Review Authority: Planning Commission Resolution No. 9444, as later amended by Resolution No. 9918, allows for delegation of nine categories of design review applications from the Planning Commission to the Zoning Administrator, as follows:

1. Freestanding signs: Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
2. Wireless Communication Equipment: New or replacement antennas on existing poles and their related equipment.
3. Minor Building Remodels: Limited to changes in building colors, awnings, fenestration, and finishes.
4. Changes to Existing Parking Lots.
5. Changes to Existing Landscaping.
6. Additions to Existing Buildings: Additions must be smaller than 2,500 square feet and designed to complement existing building architecture.

Planning Commission Staff Report

7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
8. Ancillary Structures: Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in the Industrial Districts.

The intent of the delegation is to allow a more efficient approval process for non-controversial design review applications, without compromising the integrity of the design review process or removing from public scrutiny those projects that would be most visible or of high interest to the general public. Prior to approving any delegated design review application, the Zoning Administrator must notify the Commission of his or their intent to exercise delegated design review authority. Copies of resolutions approving any delegated design review application must also be provided to the Commission.

PROJECT DESCRIPTION:

Since the last Planning Commission meeting, staff has received two applications requesting design review approval which qualifies within one or more of the nine categories of delegated authority established by Resolution No. 9918.

Five Below – Façade & Tenant Improvements, AP-24-0017 (ADR)

This is a Zoning Administrator consideration of an Application for Administrative Design Review by Century Plaza Commercial LLC to upgrade the facade and make tenant improvements to existing storefront located at 4411 Century Blvd. #4699, (former Toys R Us big box space) within the Century Plaza shopping center for a proposed new “Five Below” store. Tenant Improvements include possible future new facades for additional tenants for the remainder of the big box building frontage.

The site is classified “Regional Commercial” in the Pittsburgh General Plan land use map and zoned “CC – Community Commercial” where pursuant to PMC Section 18.52.100, Design Review (Section 18.36) is required for additions to existing facilities.

Assessor’s Parcel No. 074-460-004

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

McC Campbell Analytical – Façade & Tenant Improvements, AP-24-0018 (ADR)

This is an application requesting Administrative Design Review approval by McC Campbell Analytical Inc to upgrade the facade and make tenant improvements to existing commercial building located at 134 Willow Pass Road.

Planning Commission Staff Report

The site is classified “Industrial” in the Pittsburgh General Plan land use map and zoned “IG – General Industrial” where pursuant to PMC Section 18.54.100, all projects require design review.

Assessor’s Parcel No. 096-092-009

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

GENERAL PLAN/CODE COMPLIANCE:

Delegated Design Review Authority: Resolution No. 9918 established nine categories of design review applications upon which the Commission would authorize the Zoning Administrator to act. Resolution No. 9918, and PMC section 18.10.100, direct staff to notify the Planning Commission of intent to exercise delegated design review authority on any application that falls within one of those nine categories, prior to approving the application. Upon receiving such notification, a majority of the Commission may direct that the matter be scheduled for future consideration by the entire Commission. Resolution No. 9918 also directs staff to keep the Commission informed about delegated design review application approvals by providing copies of resolutions adopted by the Zoning Administrator.

ANALYSIS:

Not applicable.

ACTION REQUIRED:

Acknowledge receipt of the attached Notices of Intent.

ATTACHMENTS:

1. Notice of Intent Five Below – Façade & Tenant Improvements, AP-24-0017 (ADR)
2. Notice of Intent McCampbell Analytical – Façade & Tenant Improvements, AP-24-0018 (ADR)
3. Resolution No. 9918

Prepared by: John Funderburg, Zoning Administrator



Community and Economic Development Department – Planning Division

PROJECT REFERRAL & REQUEST FOR COMMENTS/CONDITIONS

Project Name:	Five Below – Façade & Tenant Improvements
Project No: AP-24-0017	Application Type: Administrative Design Review (ADR)
Project Description: Century Plaza Commercial LLC. proposes to upgrade the facade and make tenant improvements to existing storefront located at 4411 Century Blvd. #4699, Pittsburg, CA 94565 (former Toys R Us big box space) within the Century Plaza shopping center for a proposed new “Five Below” store. Tenant Improvements include possible future new facades for additional tenants for the remainder of the big box building frontage. The site is classified “Regional Commercial” in the Pittsburg General Plan land use map and zoned “CC – Community Commercial” where pursuant to PMC Section 18.52.100, Design Review (Section 18.36) is required for additions to existing facilities. Assessor’s Parcel No. 074-460-004	
Applicant:	Century Plaza Commercial LLC – Bob Garrison
Mailing Address:	800 Willow Pass Ct., Concord, CA 94520
Phone: (925) 584-4207	E-mail: bgarrison@spprop.com

Instructions for the Referral Agency:

Enclosed are plans for the project identified above which is proposed in the City of Pittsburg. Please review these plans and provide this office with your feedback on availability of services/potential design or code conflicts/requirements for additional permits and recommended conditions of project approval.

Deadline for Comments:

Please submit your comments no later than Friday, March 8th, 2024.

Comments should be sent to **Maurice Brenyah-Addow** at the mailing address noted above, through e-mail at: mbrenyah-addow@pittsburgca.gov, or by fax at: (925) 252-4814. If you have any questions regarding this project, please call **Maurice Brenyah-Addow** at (925)252-4261. A list of referral agencies for this project is provided on the back of this sheet.

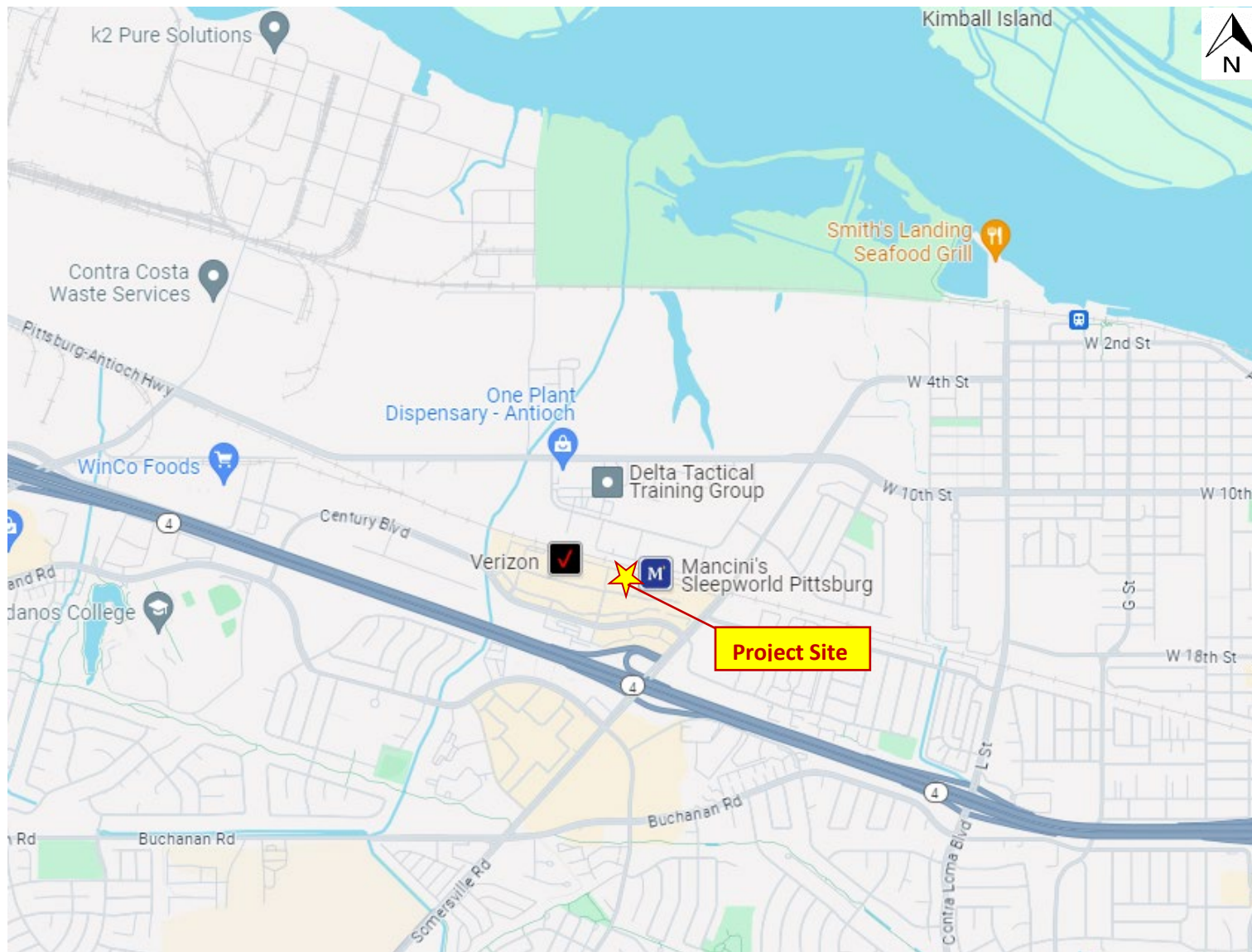
List of Referral Agencies:

Federal/State/Regional	☐ Ambrose Recreation & Park District
☐ US Army Corps of Engineers	☐ Contra Costa Mosquito & Vector Control District
☐ US Fish and Wildlife Service	☐ Bay Point Municipal Advisory Comm.
☐ Dept. of Fish and Game – Region 3	☐ City of Antioch Community Development Department
☐ State RWQCB	☐ City of Concord Planning Division
☐ US Postal Service – Pittsburg	☐ City of Concord Transportation Department
☐ Caltrans - District 4	☐ Antioch Unified School District
☐ Sonoma State - Historical/Archaeological	☐ Mt. Diablo Unified School District
☐ Association of Bay Area Governments	☐ Pittsburg Unified School District
☐ Bay Area Air Quality Management District	City of Pittsburg
☐ East Bay Regional Park District	☒ Planning Division
☐ Native American Heritage Commission	☒ Building Division
Contra Costa County	☒ Engineering Division
☐ Assessor's Office	☒ Transportation Division
☐ Community Development Department	☒ Public Works Division
☒ Environmental Health	☒ Waste Reduction Coordinator
☒ Fire Protection District	☐ Successor Agency
☐ Flood Control District	☒ Economic Development
☒ Health Services Department	☒ City Attorney
☒ Hazardous Materials Programs	☒ City Manager
☐ LAFCO	☒ Police Dept.
☐ Library (Pittsburg Branch)	☐ HCP Coordinator
☒ Public Works Dept. (Transportation Eng.)	☒ NPDES Coordinator
Transportation	Utilities
☐ BART Planning/Environmental Compliance Division	☒ Contra Costa Water District
☐ Central Contra Costa Transit Authority	☒ Delta Diablo Sanitation District
☐ Metropolitan Transportation Commission	☐ AT&T
☐ Tri-Delta Transit	☒ PG&E – 1-877-259-8314 for utility easements
☐ TRANSPLAN	☒ Pittsburg Disposal Service
☐ Contra Costa Transportation Authority	☐ Comcast Cable Communications, Inc.
☐ TRANSPAC	☒ Other: Additional External Agencies
Local	☐ Other:
☒ Supervisor Federal Glover	☐ Other:

Five Below – Façade & Tenant Improvements - Vicinity Map

Administrative Design Review (ADR)

AP-24-0017	4411 Century Blvd., Pittsburg, CA 94565
Administrative Design Review (ADR)	Assessor's Parcel No. AP-24-0017

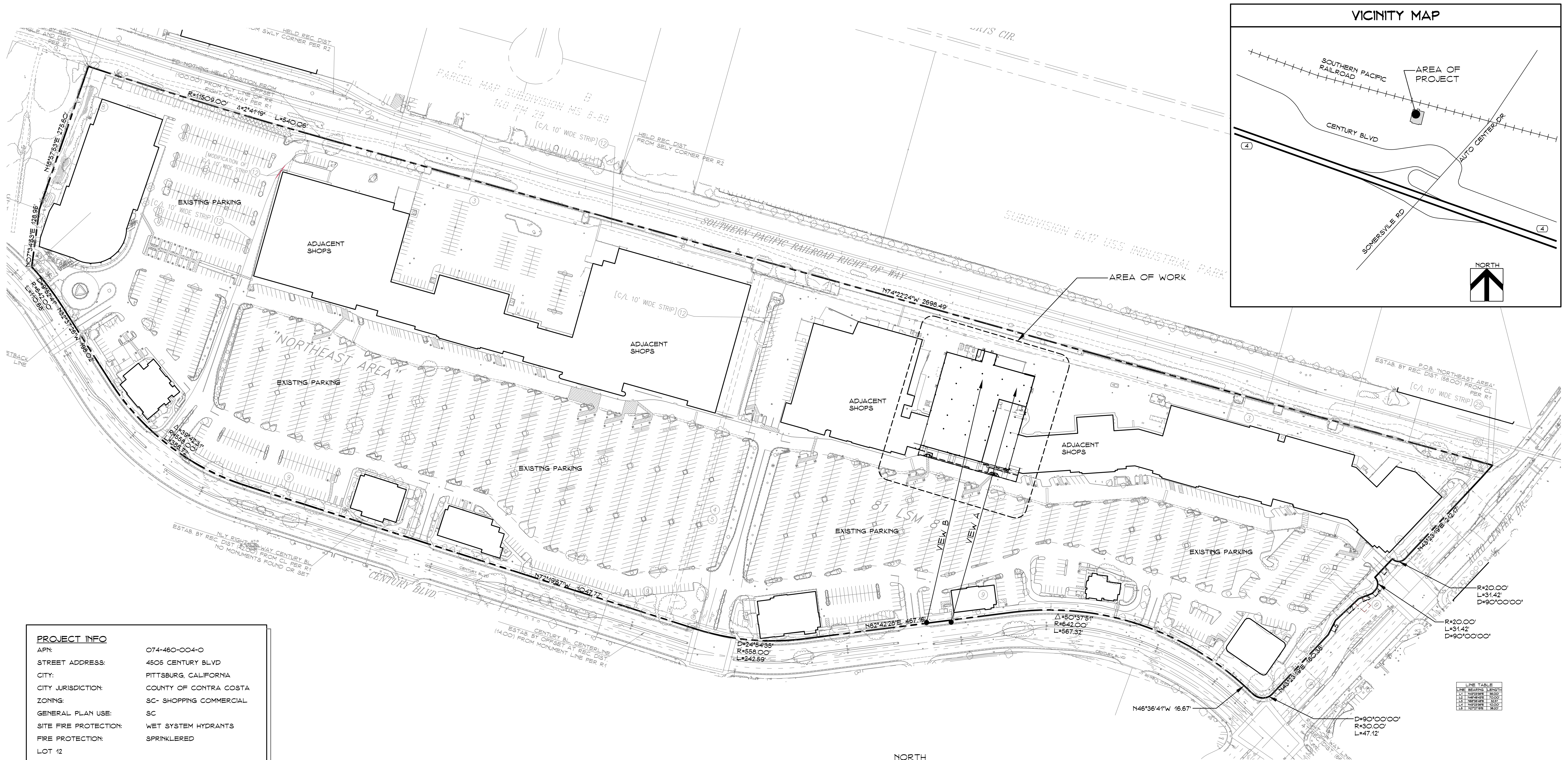


Five Below – Façade & Tenant Improvements - Vicinity Map

Administrative Design Review (ADR)

AP-24-0017	4411 Century Blvd., Pittsburg, CA 94565
Administrative Design Review (ADR)	Assessor's Parcel No. AP-24-0017



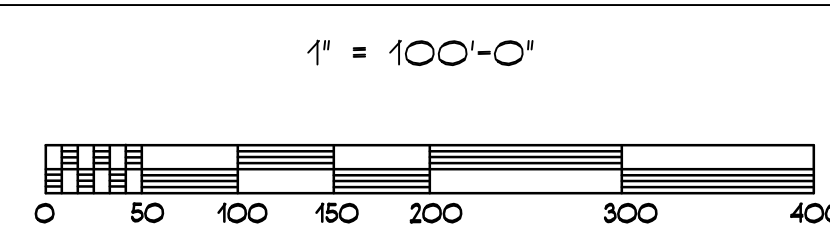


PROJECT INFO	
APN:	074-460-004-0
STREET ADDRESS:	4505 CENTURY BLVD
CITY:	PITTSBURG, CALIFORNIA
CITY JURISDICTION:	COUNTY OF CONTRA COSTA
ZONING:	SC- SHOPPING COMMERCIAL
GENERAL PLAN USE:	SC
SITE FIRE PROTECTION:	WET SYSTEM HYDRANTS
FIRE PROTECTION:	SPRINKLERED
LOT 12	
LOT SIZE:	160,300.8 S.F. (±3.68 AC GROSS)
BUILDING SIZE:	47,462 S.F.
AREA OF WORK:	47,462 S.F.

SHEET INDEX	
A1	SITE PLAN
A1.1	ENLARGED SITE PLAN
A2	DEMO FLOOR PLAN
A3	NEW FLOOR PLAN
A4	ELEVATIONS
A5	ROOF PLAN

PROJECT TEAM	
OWNER	
	SERRA PACIFIC PROPERTIES, INC. 1600 WILLOW PASS COURT CONCORD, CALIFORNIA 94520 PHONE: (925) 609-6200
ARCHITECT	
	PERKINS, WILLIAMS & COTTERILL ARCHITECTS 3320 DATA DRIVE, SUITE 200 RANCHO CORDOVA, CALIFORNIA 95670 PHONE: (916) 851-1400

Overall Site Plan

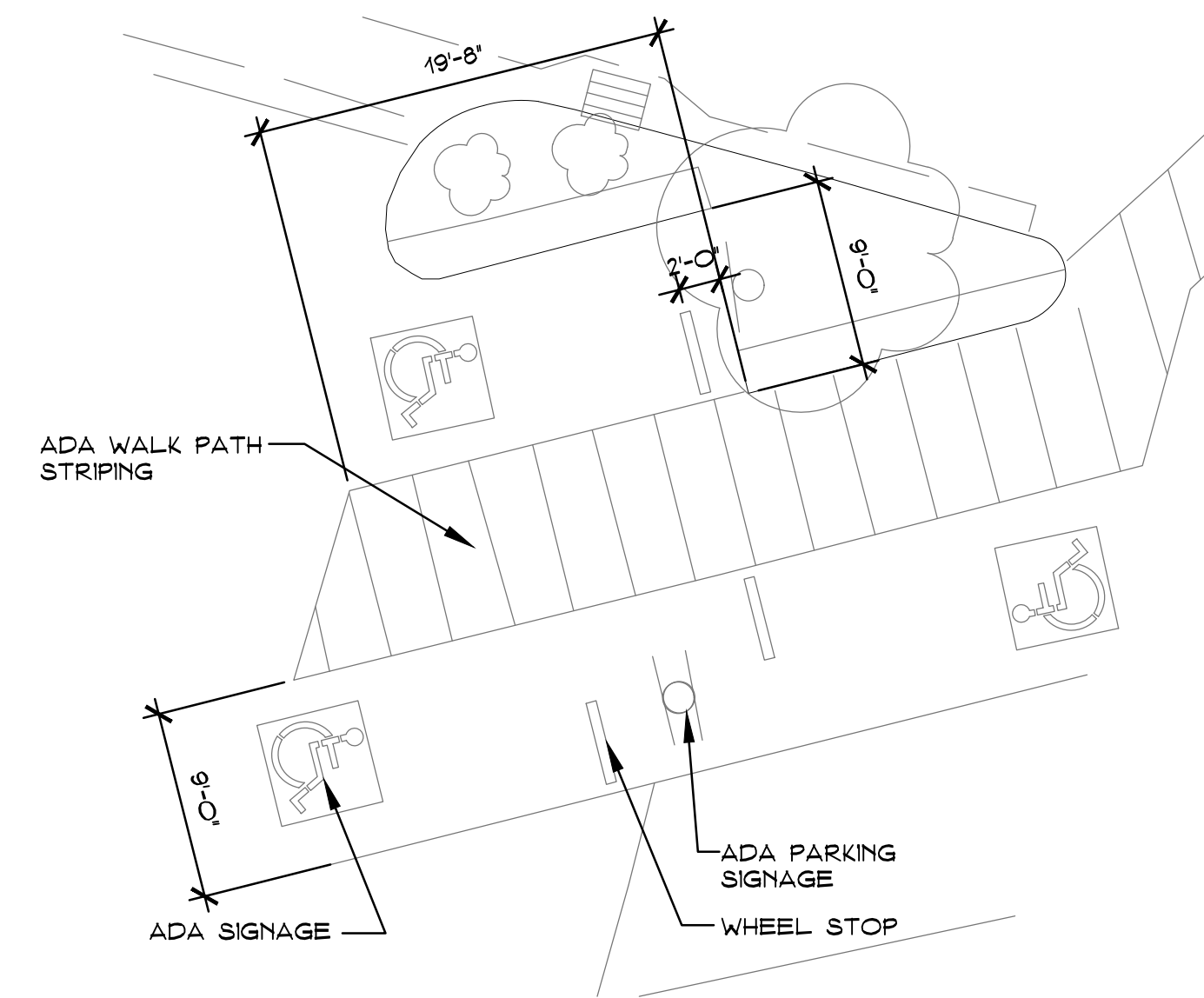
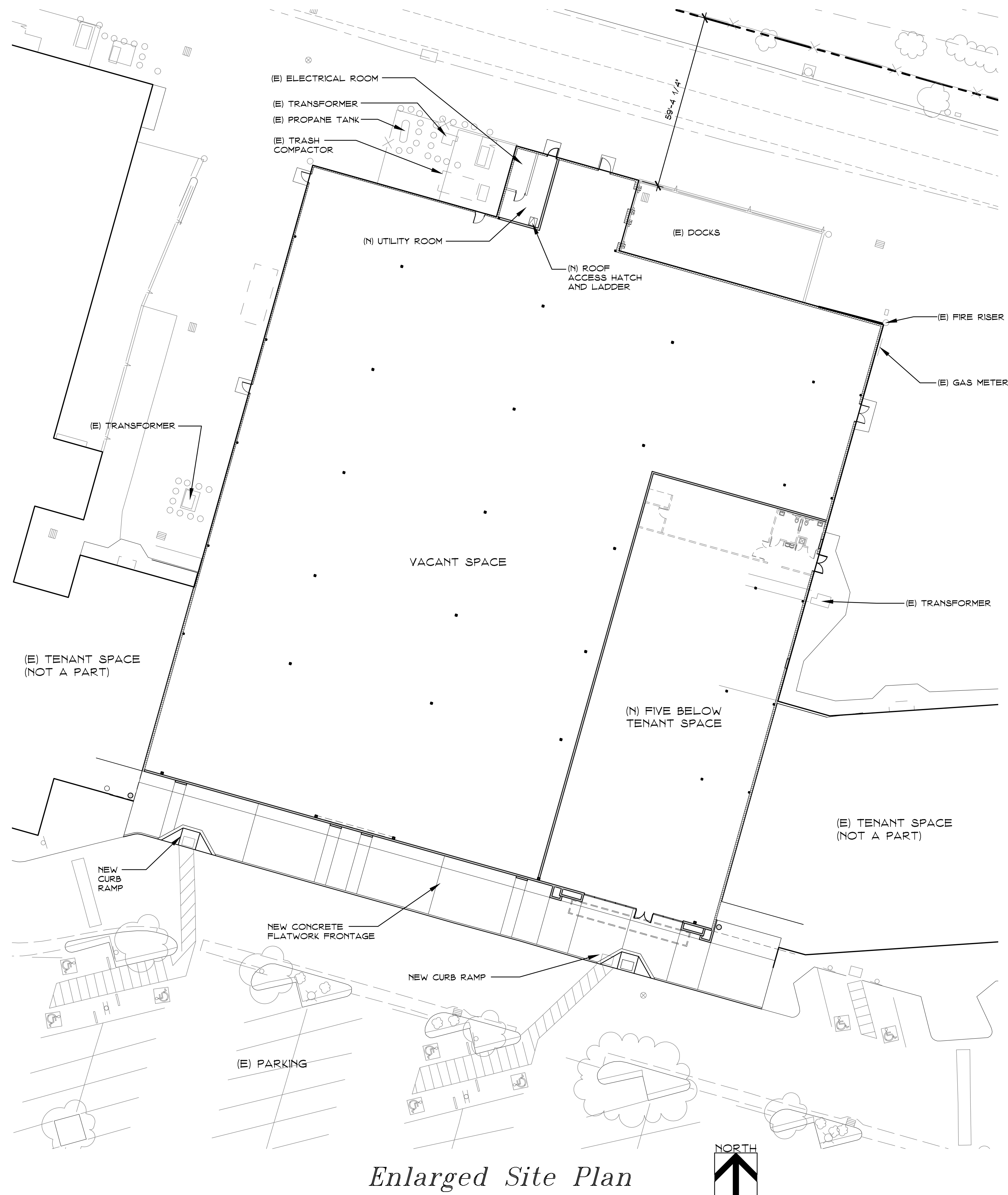


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3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
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Overall Site Plan

Project:	FACADE REMODEL
Job No.	23-746
Date:	2-5-24
Scale:	1" = 100'-0"

Century Plaza Facade Remodel
4505 Century Blvd, Pittsburg, Ca. 94565



Typical Existing Accessible Parking

1/8" = 1'-0"

Century Plaza Facade Remodel

4505 Century Blvd, Pittsburg, Ca. 94565

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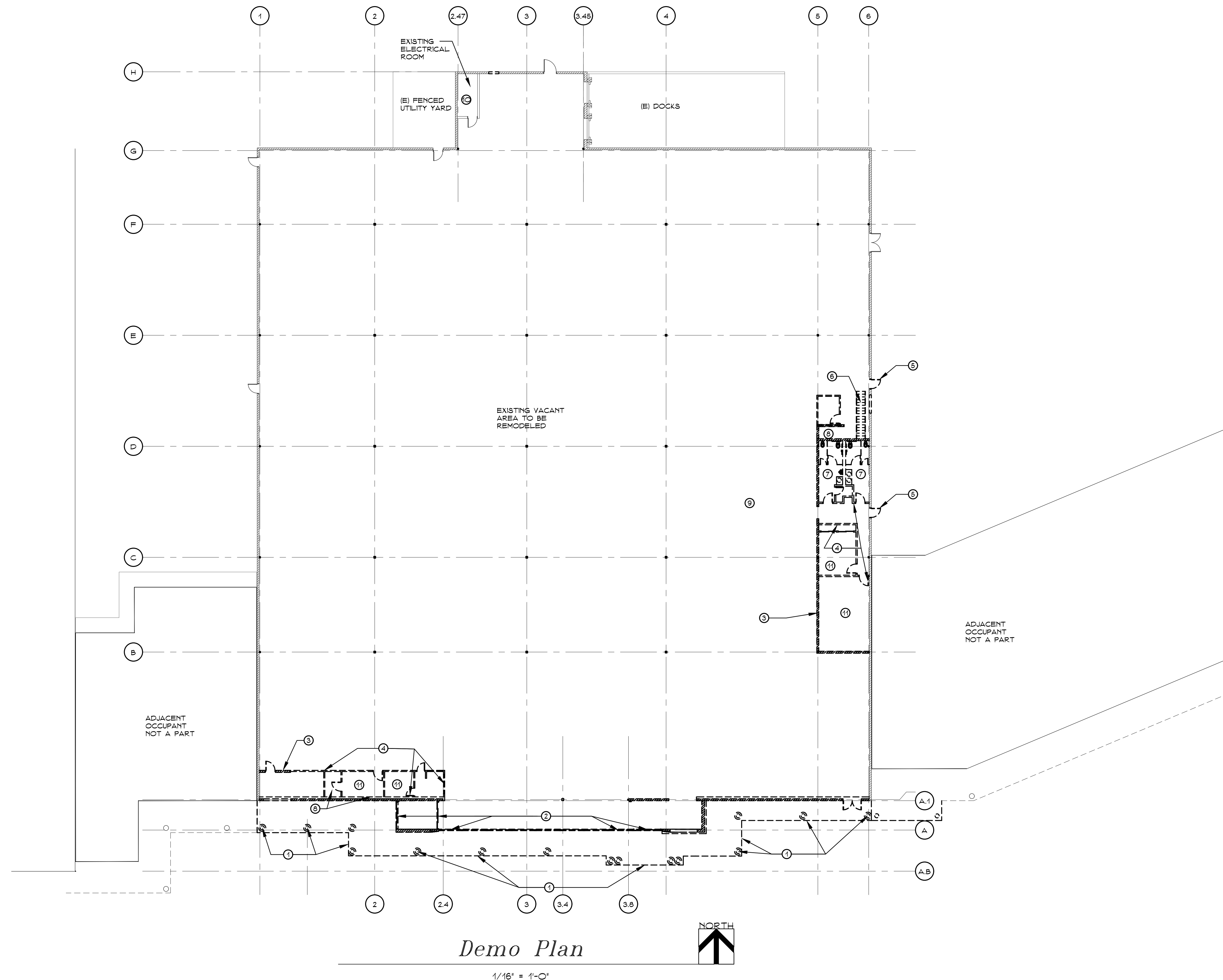
Enlarged Site Plan

Project: FACADE REMODEL

Job No. 23-746 *Date:* 2-5-24

Scale: 1" = 20'-0"

A1.1



LEGEND

- ===== (E) WALL TO BE REMOVED
- ~~~~~ (E) CMU WALL TO BE REMOVED
- //// (E) EXTERIOR CMU WALL TO REMAIN
- ==== (E) INTERIOR FRAMED WALL TO REMAIN
- ==== (E) STOREFRONT WINDOW TO BE REMOVED
- (E) DOOR TO REMAIN
- - - (E) DOOR TO BE REMOVED

- ① DEMO EXTERNAL OVERHEAD SOFFIT AND COLUMNS. REMOVE ALL STRUCTURAL FOOTINGS, CONCRETE AND STEEL BELOW GRADE THAT ARE NO LONGER NEEDED.
- ② DEMO STOREFRONT WINDOW SYSTEM AND AUTOMATIC SLIDING DOORS
- ③ DEMO INTERNAL CMU WALL
- ④ DEMO INTERNAL FRAMED WALLS, DOORS AND WINDOWS
- ⑤ DEMO METAL MAN DOORS AND FRAMES
- ⑥ DEMO METAL STAIR AND MEZZANINE ABOVE
- ⑦ REMOVE ALL PLUMBING FIXTURES AND RESTROOM ACCESSORIES.
- ⑧ REMOVE ELECTRICAL PANELS AND WIRING BACK TO ELECTRICAL MAIN IN BUILDING.
- ⑨ REMOVE ALL INTERIOR LIGHTING WHERE NEEDED
- ⑩ EXISTING INTERIOR WALLS, ELECTRICAL AND DOOR TO REMAIN
- ⑪ REMOVE ALL INTERIOR CEILING GRID AND LIGHTS. RETURN LIGHT FIXTURES TO OWNER.

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Demo Plan

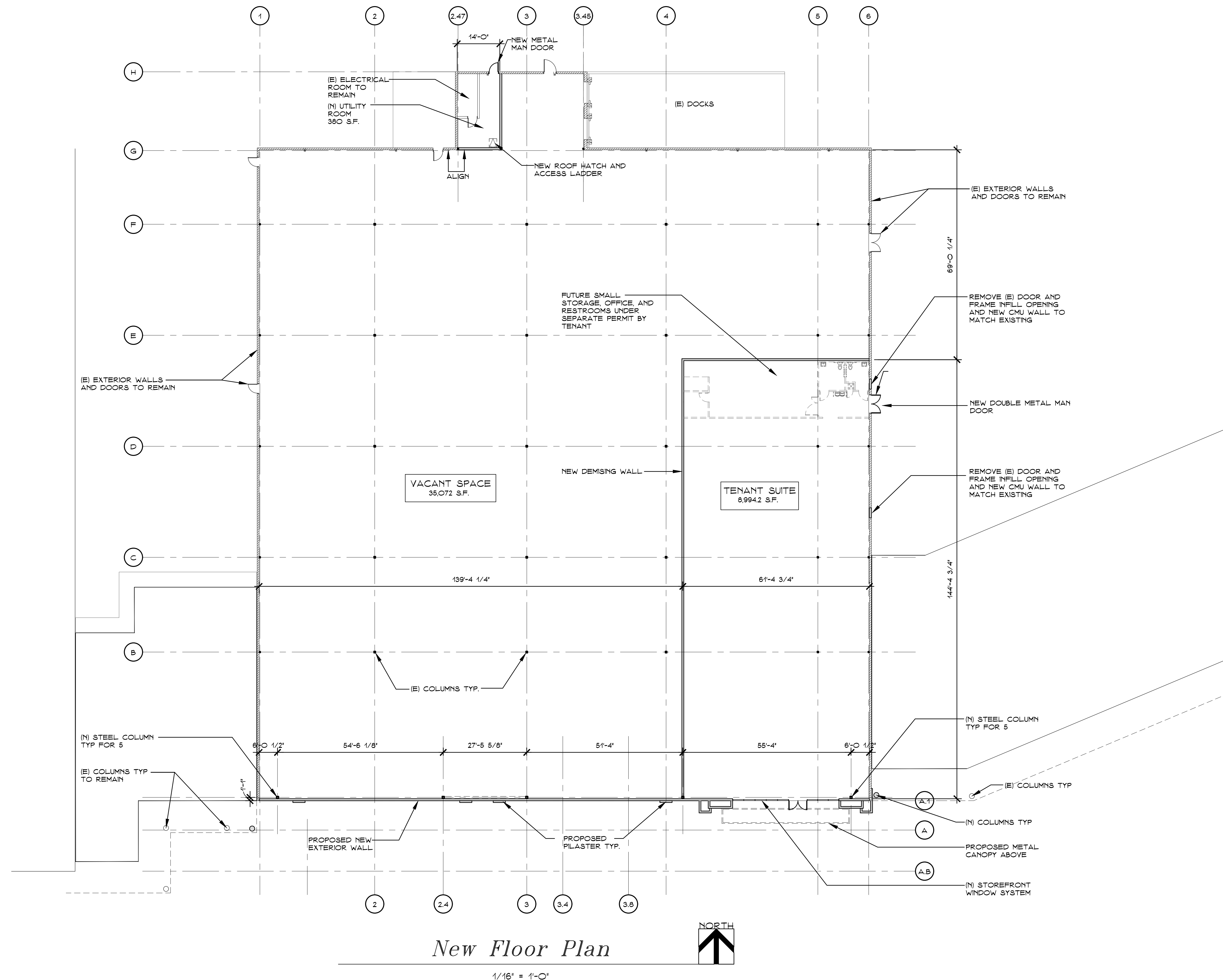
Project: FACADE REMODEL

Job No. 23-746 **Date:** 2-5-24

Scale: 1/16" = 1'-0"

Century Plaza Facade Remodel
 4505 Century Blvd, Pittsburg, Ca. 94565

A2



Century Plaza Facade Remodel

4505 Century Blvd, Pittsburg, Ca. 94565

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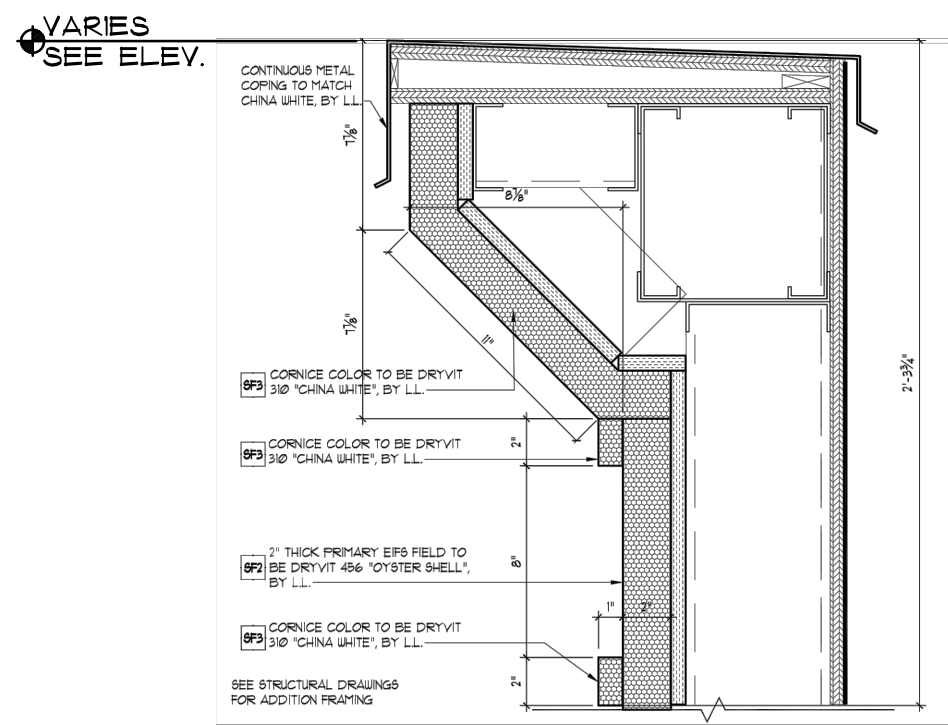
New Floor Plan

Project: FACADE REMODEL

Job No. 23-746 **Date:** 2-5-24

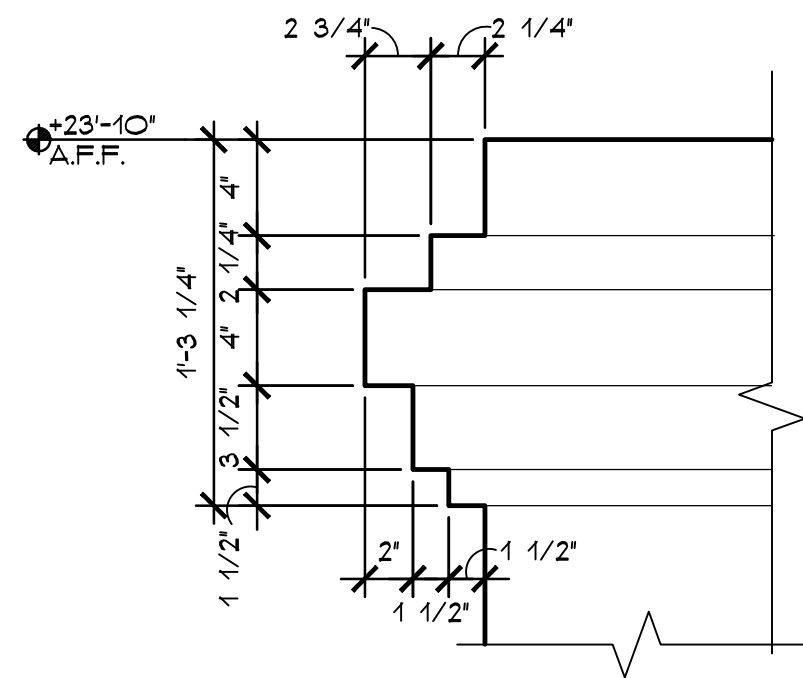
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A3



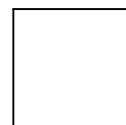
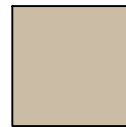
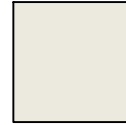
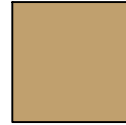
Parapet Profile 1

NOT TO SCALE

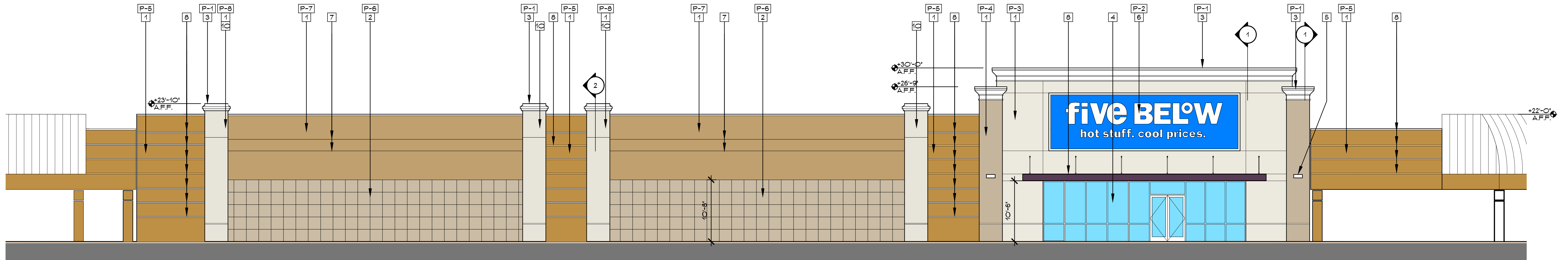


Parapet Profile 2

NOT TO SCALE

COLOR SCHEDULE					
	P-1	DRYVIT - #310 CHINA WHITE		P-5	KELLY MOORE - 3544-5 CHAPULTEPEC
	P-2	SHERWIN WILLIAMS - 6959 BLUE CHIP		P-6	KELLY MOORE - 171 SAND PEBBLE
	P-3	DRYVIT - 456 OYSTER SHELL		P-7	KELLY MOORE - 3998-3 SHEER EXPOSURE
	P-4	DRYVIT - #113 AMARILLO WHITE		P-8	SHERWIN WILLIAMS - PEARLY WHITE

KEY NOTES	
1	PAINTED CEMENT PLASTER - FINE SAND FINISH TO MATCH EXISTING
2	PAINTED CEMENT PLASTER - HEAVY DASH FINISH TO MATCH EXISTING
3	CORNICE MOLD
4	DARK ANODIZED STOREFRONT WINDOW SYSTEM WITH TINTED GLASS TO MATCH EXISTING
5	WALL SCONCE ACCENT LIGHT TYP FOR 2
6	TENANT SIGNAGE AREA SEE PROFILE BELOW
7	REVEAL 1/2"
8	REVEAL 2"
9	MAPES BAKED ENAMEL BRONZE CANOPY
10	PILASTER POP-OUT



New Elevation

1/8" = 1'-0"

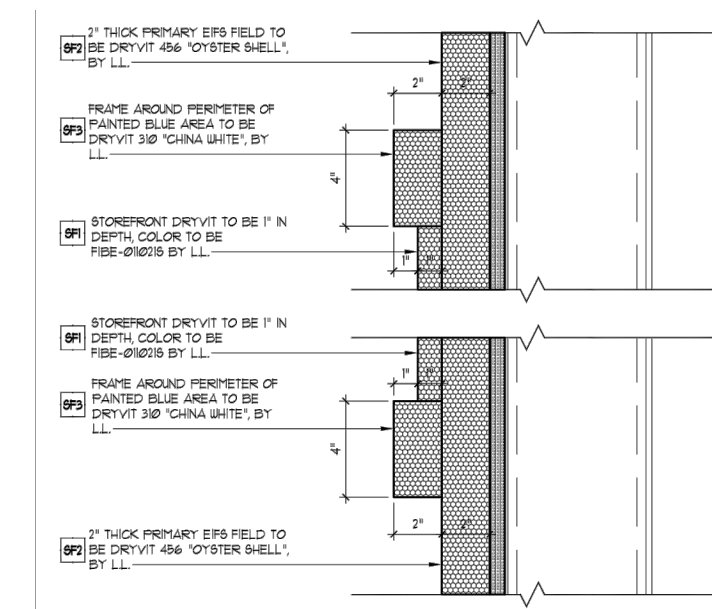


OWS-FC-202-LED-UD
Half Moon LED Wall Scone with Up/Downlight

LUMENS	500 up / 5000 down
CCT	40K, 50K
CRI	70+ Standard
COLOR QUALITY	3 Step MacAdam Ellipse
MOUNTING	Surface
DIMMING	DM10 (0-10 dimming)
FINISH	Black, Silver, White, Bronze
WORKING TEMPERATURE	-30°C to 40°C (-22°F to 104°F)
LIFETIME	L70 at 50,000 Hours
PHOTOMETRIC TESTS	In Accordance with IES LM79-08, LM80 and TM-30, TM-21

Exterior Sconce

NOT TO SCALE



Signage Profile

NOT TO SCALE

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Elevation

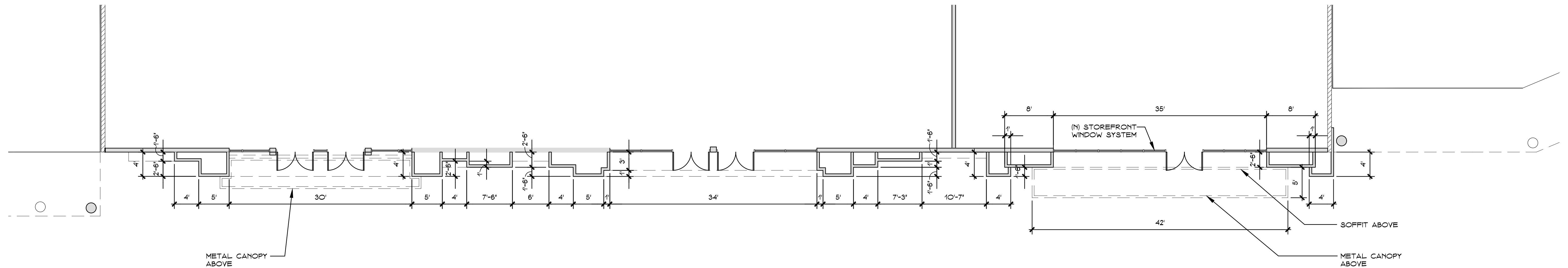
Project: FACADE REMODEL

Job No. 23-746 Date: 2-5-24

Scale: 1/8" = 1'-0"

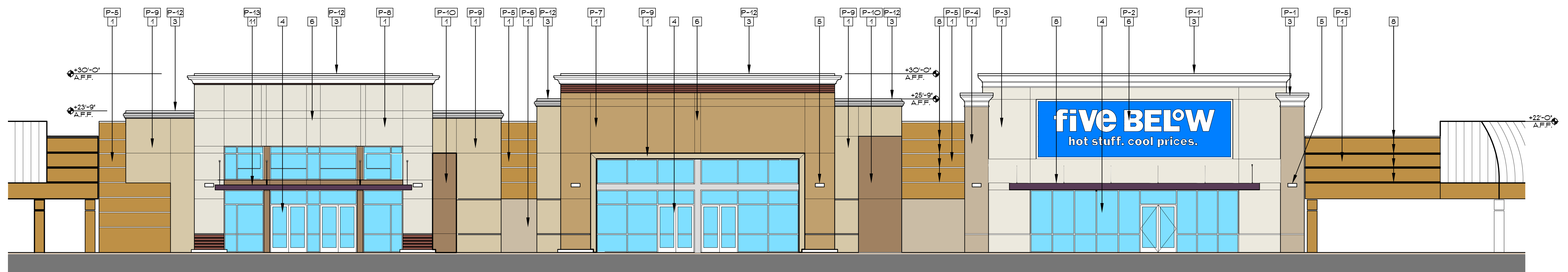
Century Plaza Facade Remodel
4505 Century Blvd, Pittsburg, Ca. 94565

A4



Future 3-Tenant Floor Plan

1/8" = 1'-0"



Future 3-Tenant Elevation

1/8" = 1'-0"

COLOR SCHEDULE											
	P-1	DRYVIT - #310 CHINA WHITE		P-5	KELLY MOORE - 3544-5 CHAPULTEPEC		P-9	KELLY MOORE - 202 DOESKIN		P-13	KELLY MOORE - A38-5 GYPSY JEWELS
	P-2	SHERWIN WILLIAMS - 6959 BLUE CHIP		P-6	KELLY MOORE - 171 SAND PEBBLE		P-10	KELLY MOORE - 4015-3 CARAMEL MOUNTAIN		P-14	SHERWIN WILLIAMS - 7633 TAUPE TONE
	P-3	DRYVIT - 456 OYSTER SHELL		P-7	KELLY MOORE - 3998-3 SHEER EXPOSURE		P-11	KELLY MOORE - 4088-5 OLD BRICK			
	P-4	DRYVIT - #113 AMARILLO WHITE		P-8	SHERWIN WILLIAMS - PEARLY WHITE		P-12	KELLY MOORE - 23 SWISS COFFEE			

KEY NOTES	
1	PAINTED CEMENT PLASTER - FINE SAND FINISH TO MATCH EXISTING
2	PAINTED CEMENT PLASTER - HEAVY DASH FINISH TO MATCH EXISTING
3	CORNICE MOLD
4	DARK ANODIZED STOREFRONT WINDOW SYSTEM WITH TINTED GLASS TO MATCH EXISTING
5	WALL SCONCE ACCENT LIGHT TYP FOR 2
6	TENANT SIGNAGE AREA SEE PROFILE BELOW
7	REVEAL 1/2"
8	REVEAL 2"
9	MAPES BAKED ENAMEL BRONZE CANOPY
10	PILASTER POP-OUT
11	METAL CANOPY

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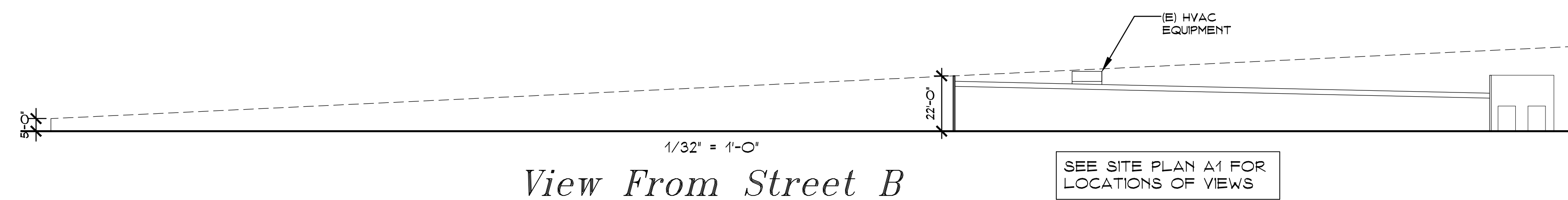
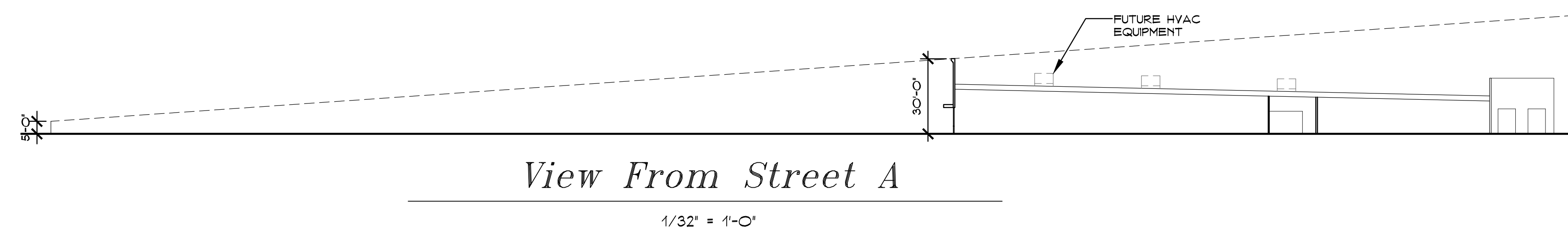
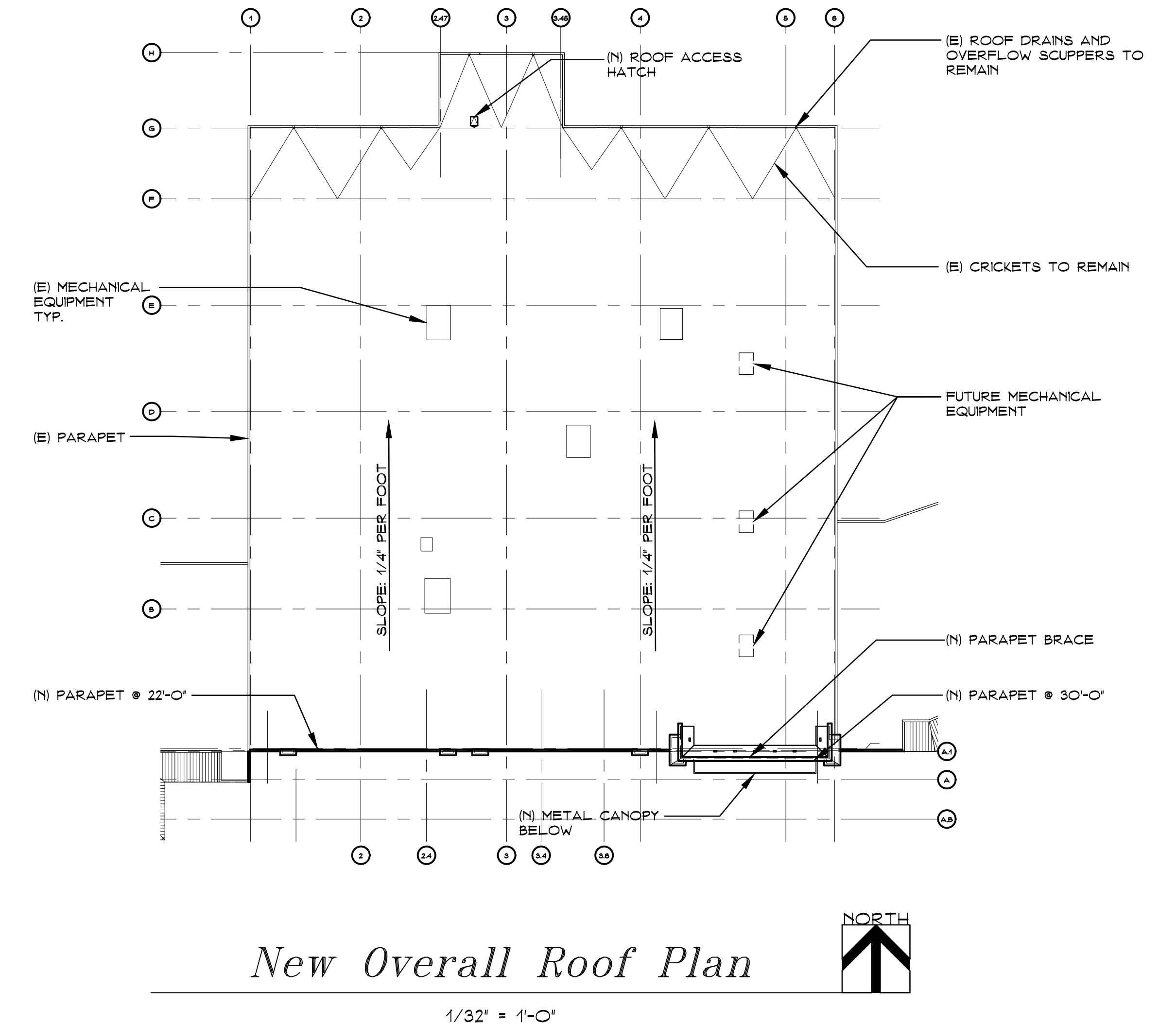
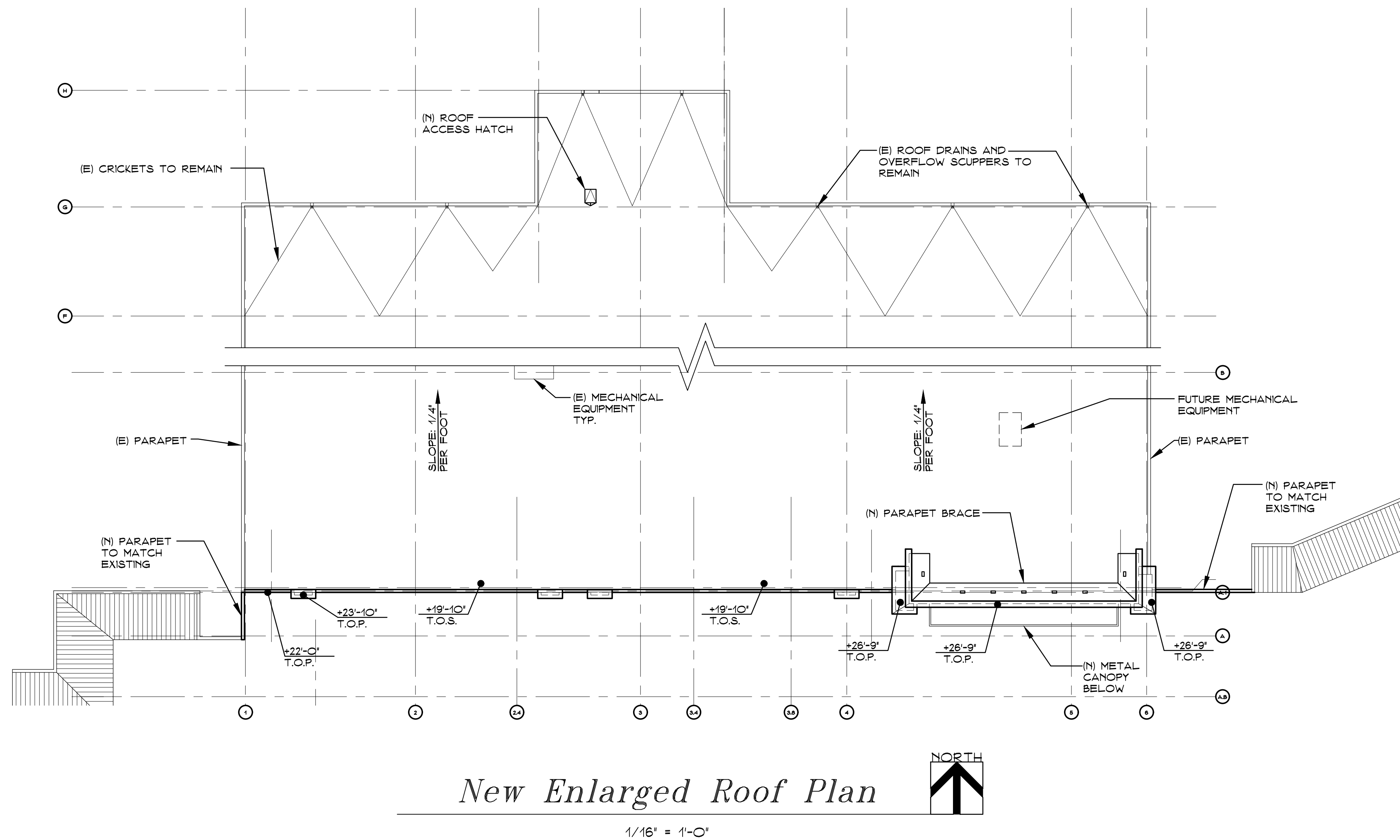
Future 3 Tenant Floor Plan

Project: FACADE REMODEL

Job No. 23-746 **Date:** 2-2-24

Scale: 1/16" = 1'-0"

Century Plaza Facade Remodel
 4505 Century Blvd, Pittsburg, Ca. 94565



Century Plaza Facade Remodel

4505 Century Blvd, Pittsburg, Ca. 94565

PERKINS, WILLIAMS & COTTERILL, INC.
ARCHITECTS
 3320 Data Drive, Suite 200 • Rancho Cordova, California 95670
 T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

Roof Plan

Project: FACADE REMODEL

Job No. 23-746 *Date:* 2-5-24

Scale: 1/8" = 1'-0"

A5



Community and Economic Development Department – Planning Division

PROJECT REFERRAL & REQUEST FOR COMMENTS/CONDITIONS

Project Name:	Mccampbell Analytical – Façade & Tenant Improvements
Project No: AP-24-0018	Application Type: Administrative Design Review (ADR)
Project Description: This is an application requesting Administrative Design Review approval by RPR Architects to upgrade the facade and make ADA and tenant improvements to existing commercial building located at 134 Willow Pass Road, Pittsburg, CA 94565. The site is classified “Industrial” in the Pittsburg General Plan land use map and zoned “IG – General Industrial” where pursuant to PMC Section 18.54.100, all projects require design review.	
Assessor’s Parcel No. 096-092-009	Applicant: RPR Architects – Justan Ulmer
Mailing Address:	1629 Telegraph Avenue, Oakland, CA 94612
Phone: (206) 484-3091	E-mail: justan@rprarchitects.com

Instructions for the Referral Agency:

Enclosed are plans for the project identified above which is proposed in the City of Pittsburg. Please review these plans and provide this office with your feedback on availability of services/potential design or code conflicts/requirements for additional permits and recommended conditions of project approval.

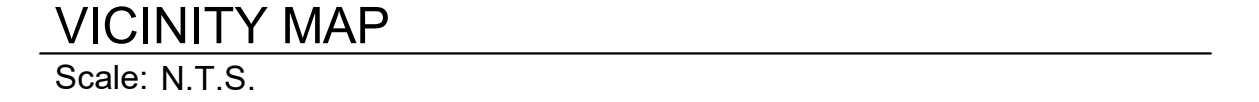
Deadline for Comments:

Please submit your comments no later than Tuesday, March 19th, 2024.

Comments should be sent to **Maurice Brenyah-Addow** at the mailing address noted above, through e-mail at: mbrenyah-addow@pittsburgca.gov, or by fax at: (925) 252-4814. If you have any questions regarding this project, please call **Maurice Brenyah-Addow** at (925)252-4261. A list of referral agencies for this project is provided on the back of this sheet.

List of Referral Agencies:

Federal/State/Regional	☐ Ambrose Recreation & Park District
☐ US Army Corps of Engineers	☐ Contra Costa Mosquito & Vector Control District
☐ US Fish and Wildlife Service	☐ Bay Point Municipal Advisory Comm.
☐ Dept. of Fish and Game – Region 3	☐ City of Antioch Community Development Department
☐ State RWQCB	☐ City of Concord Planning Division
☐ US Postal Service – Pittsburg	☐ City of Concord Transportation Department
☐ Caltrans - District 4	☐ Antioch Unified School District
☐ Sonoma State - Historical/Archaeological	☐ Mt. Diablo Unified School District
☐ Association of Bay Area Governments	☐ Pittsburg Unified School District
☐ Bay Area Air Quality Management District	City of Pittsburg
☐ East Bay Regional Park District	☒ Planning Division
☐ Native American Heritage Commission	☒ Building Division
Contra Costa County	☒ Engineering Division
☐ Assessor's Office	☒ Transportation Division
☐ Community Development Department	☒ Public Works Division
☒ Environmental Health	☒ Waste Reduction Coordinator
☒ Fire Protection District	☐ Successor Agency
☐ Flood Control District	☒ Economic Development
☒ Health Services Department	☒ City Attorney
☒ Hazardous Materials Programs	☒ City Manager
☐ LAFCO	☒ Police Dept.
☐ Library (Pittsburg Branch)	☐ HCP Coordinator
☒ Public Works Dept. (Transportation Eng.)	☒ NPDES Coordinator
Transportation	Utilities
☐ BART Planning/Environmental Compliance Division	☒ Contra Costa Water District
☐ Central Contra Costa Transit Authority	☒ Delta Diablo Sanitation District
☐ Metropolitan Transportation Commission	☐ AT&T
☐ Tri-Delta Transit	☒ PG&E – 1-877-259-8314 for utility easements
☐ TRANSPLAN	☒ Pittsburg Disposal Service
☐ Contra Costa Transportation Authority	☐ Comcast Cable Communications, Inc.
☐ TRANSPAC	☒ Other: Additional External Agencies
Local	☐ Other:
☒ Supervisor Federal Glover	☐ Other:



1. SEE MAIN FLOOR PLAN FOR DIMENSIONS AND WALL TYPE REFERENCES.
2. SEE DOOR AND RELITE SCHEDULES, SHEET A3.02 AND DIVISION 8 SPECIFICATION FOR DOOR HARDWARE AND OTHER FIRE RATING REQUIREMENTS FOR DOORS AND RELITES.
3. SEE ELECTRICAL FOR EXIT SIGNS AND EMERGENCY EGRESS LIGHT FIXTURES.
4. SEE MECHANICAL AND ROOF PLAN. FOR ROOF PENETRATIONS, NO PENETRATIONS ARE PERMITTED WITHIN 4'-0" OF FIRE WALL.
5. ARCHITECT SHALL REVIEW ALL DEFERRED SUBMITTALS AND VERIFY COMPLIANCE WITH THE DESIGN CONCEPT AND CODE REQUIREMENTS RELATING TO:
 - A. AUTOMATIC SPRINKLER SYSTEM DESIGN DRAWINGS.
 - B. MANUAL AND AUTOMATIC FIRE ALARM DRAWINGS.
 - C. INSTALLATION DETAILS OF ACOUSTICAL CEILING SUSPENSION SYSTEM.
 - D. INSTALLATION DETAILS OF MEMBRANE AND THROUGH-PENETRATION FIRE STOPS, AND FIRE-RESISTIVE JOINT SYSTEMS.
 - E. DESIGN DETAILS AND STRUCTURAL CALCULATIONS FOR THE SEISMIC ANCHORAGE AND BRACING OF THE EDGE OF ROOF MOUNTED AND ROOF MOUNTED MECHANICAL AND OTHER EQUIPMENT WEIGHING 400 POUNDS OR MORE.
 - F. WRITTEN FIRE AND LIFE SAFETY EMERGENCY PLAN, WHICH SPECIFICALLY ADDRESSES THE EVACUATION OF PERSONS WITH DISABILITIES.
 - G. BASKETBALL BACKBOARD DRAWINGS.
6. APPROVED ADJUVANT SPRINKLER FLOW ALARMS SHALL BE INSTALLED WITHIN THE BUILDING AND ON THE EXTERIOR IN APPROVED LOCATIONS; ACTUATION SHALL CONFORM TO IBC CHAPTER 9. ELECTRICAL VALVE MONITORING FOR SPRINKLER SYSTEM AND WATER FLOW SWITCHES SHALL BE INSTALLED AND CONNECTED TO AN APPROVED CENTRAL, REMOTE, OR PROPRIETARY MONITORING STATION.
7. AN APPROVED MANUAL AND AUTOMATIC FIRE ALARM SYSTEM SHALL BE INSTALLED AS SPECIFIED IN THE FIRE CODE. FIRE ALARMS COMPLYING WITH WISC SECTION 1108.15.2 SHALL BE INSTALLED IN ALL COMMON-USE AREAS, ASSEMBLY AREAS, TOILET ROOMS, HALLWAYS, LOBBIES AND CORRIDORS.
8. INTERIOR WALL AND CEILING FINISHES SHALL CONFORM TO CBC SECTION 803 AND TABLE 803.11 FOR FLAME SPREAD REQUIREMENTS.

ALL PENETRATIONS MADE THROUGH FIRE-RATED WALLS, CEILINGS AND FLOOR ASSEMBLIES, BOTH EMPTY HOLES AND HOLES ACCOMMODATING SUCH ITEMS AS DUCTS, PIPES, CONDUIT, AND OTHER PENETRATING ITEMS SHALL BE FIRE- STOPPED. PENETRATIONS SHALL BE FIRE STOPPED TO RETAIN THE INTEGRITY OF THE TIME-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND GASES, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 07270 - FIRESTOPPING. MECHANICAL AND ELECTRICAL RELATED PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR MAKING THE PENETRATION - SEE MECHANICAL AND ELECTRICAL.

1. A SPRINKLER SYSTEM WITH QUICK-RESPONSE HEADS WILL BE INSTALLED IN ACCORDANCE WITH IBC CHAPTER 9 AND NFPA-13. SEE DIVISION 15 SPECIFICATIONS. SPRINKLER DRAWINGS TO BE SUBMITTED BY LICENCED INSTALLER AS DEFERRED SUBMITTAL AFTER PROJECT BIDS.
2. BUILDING TO HAVE FIRE ALARM SYSTEM PER NFPA-72 THROUGHOUT WITH ADDRESSABLE PANEL. SEE ELECTRICAL DIVISION 15 SPECIFICATIONS. FIRE ALARM DRAWINGS TO BE SUBMITTED BY LICENCED INSTALLER AS DEFERRED SUBMITTAL AFTER PROJECT BIDS.
3. SMOKE CONTROL SYSTEM IS NOT REQUIRED.
4. FIRE EXTINGUISHERS ARE LOCATED AS SHOWN ON THE ARCHITECTURAL FLOOR PLANS.

1. <u>OCCUPANCY:</u>		<u>OCCUPANT LOAD:</u>	
GROUP B -	SERVICES/OTHER (100SF/OCC)	20	
GROUP S -	WAREHOUSES (500SF/OCC)	5	
2. <u>FIXTURES REQUIRED:</u>			
<u>OCCUPANCY:</u>	<u>WC-MALE/FEMALE 1:25</u>	<u>LAVS-MALE/FEMALE 1:40</u>	<u>DRINK FOUNTAIN 1:1000</u>
GROUP B - SERVICES/OTHER	1/1	1/1	N/A SINK PROVIDED
	<u>WC-MALE/FEMALE 1:100</u>	<u>LAVS-MALE/FEMALE 1:100</u>	<u>DRINK FOUNTAIN 1:1000</u>
GROUP S - STORAGE	1/1	1/1	N/A SINK PROVIDED
TOTAL (REQ/PROVIDED)	4 (5)	4 (4)	0 (1)

* UNI-SEX TOILET STALLS - FIXTURES PROVIDED REFLECTS ALL ALLOCATED TOILETS TO EACH SEX

TYPE OF CONSTRUCTION (EXISTING)	III-B
OCCUPANCY:	S-1 MODERATE HAZARD STORAGE B ASSOCIATED OFFICE USE
IMPROVEMENT BUILDING AREA:	GROUND FLR S-1 3,750 SF B 1,000 SF ANC 100 SF
	<u>MEZZANINE(NEW)</u> S-1 1,200 SF DOES NOT ADD TO TOTAL SF
APN:	096-092-009-8

TENANT IMPROVEMENTS OF AN EXISTING BUILDING
RELOCATE OFFICES AND SHIPPING AND RECEIVING TO EXISTING UNIT (A/B) FOR IMPROVED OPERATIONS
WORK TO INCLUDE UPDATES TO MECHANICAL, ELECTRICAL, STRUCTURAL, INTERIOR FINISHES.
IMPROVED STOREFRONT SYSTEM, RESTROOMS AND THE ADDITION OF A MEZZANINE STORAGE SPACE.
SITE WORK TO INCLUDE ADA ACCESS FROM THE RIGHT OF WAY.

GOVERNING CODES 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALGREEN
 2022 CA ENERGY CODE
 CITY OF PITTSBURGH ADOPTED ORDINANCES
 CAL OSHA

BUILDING 1(1538 A/B) - NON-SEPARATED-508.3.2
STORAGE S-1, MODERATE HAZARD TESTING FACILITY OFFICES
OFFICE B - ASSOCIATED OFFICE USE - NO SEPARATION REQ.(508.2
STORAGE < 100SF ACCESSORY USE PER 311.1.1

3. SEPARATION OF OCCUPANCIES (508.4):

BUILDING 1(1538 A/B) B TO S-1 NO SEPARATION REQUIREMENT

GROUND FLOOR (FULLY SPRINKLERED)	S-1 UNIT A/B : B UNIT A/B	4,541/17,500 = 1,962/19,000=	.26 .1
MEZZANINE (FULLY SPRINKLERED)	S-1	NA =	.00
SUM UNIT A/B			.35 < 1 CONFORMS

5. TOTAL EXISTING BUILDING AREA: 31,000 +/- SF

ACTUAL FLOOR AREA:		
BUILDING 1(1538 A/B):	L1	MEZZ (505.2.1)
B OCCUPANCY:	1,962 SF	0
S-1 OCCUPANCY:	4,541 SF	1,995 SF
TOTAL AREA 1	6,503 SF	1,995 SF (LESS THAN 30% OF TOTAL SF

6. FIRE-RATED ASSEMBLIES: (TYPE III & TABLE 601)	TYPE:	RATING:	ASSEMBLY:
STRUCTURAL FRAME	STEEL COLUMNS	0-HR	N/A
EXTERIOR BEARING WALLS	CONC	2-HR	N/A
INTERIOR BEARING WALLS	WOOD	0-HR	N/A
FLOOR/CEILING	WOOD/GYP WOOD/SUSP	0-HR 0-HR	N/A N/A
ROOF/CEILING	WOOD	0-HR	N/A
SMOKE PARTITIONS	NONE	NR	N/A

THE GENERAL CONTRACTOR SHALL SUBMIT THE FOLLOWING DRAWINGS AND CALCULATIONS, AND PAY PERMIT FEES TO THE AHJ. NO CONSTRUCTION OF THE FOLLOWING ITEMS SHALL COMMENCE UNTIL FEES ARE PAID AND PERMIT ISSUED:

1. CONTRA COAST CCCFPD COMMERCIAL ENGINEERING APPLICATIONS (TENANT IMPROVEMENT APPLICATION) AND MODIFICATIONS FOR EXISTING FIRE SPRINKLER SYSTEM
2. STOREFRONT SYSTEM SHOP DRAWINGS AND CALCULATIONS AS REQUIRED

ELECTRICAL ENGINEER
UPLIGHT ELECTRICAL ENGINEERING
3130 TWITCHELL ISLAND ROAD WEST
SACRAMENTO, CA 95691
9163713202
JIM PUGA

00 GENERAL	
G0.00	TITLE SHEET
G1.00	CODE OCCUPANCY / ACCESSIBILITY PLAN
G1.01	ADA ACCESSIBILITY AND SIGNAGE
G1.02	CALGREEN CHECKLIST
G1.03	CALGREEN CHECKLIST
G1.04	CALGREEN CHECKLIST

02 CIVIL	
C1	GENERAL NOTES, GRADING NOTES & STORM DRAIN NOTES
C2	TOPOGRAPHIC SURVEY
C3	GRADING PLAN & HANDICAP RAMP
C4	EROSION CONTROL POINTS
C5	STORM WATER DISSIPATOR SECTION, EROSION CONTROL

06	ARCHITECTURAL
A0.01	ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
A.10	SITE PLAN AND DETAILS
A2.10	DEMOLITION PLANS
A2.11	DEMOLITION PLANS
A3.00	WALL / CURB ASSEMBLIES
A3.02	DOOR & INTERIOR WINDOW SCHEDULES AND DETAILS
A3.04	ROOM FINISH SCHEDULE
A3.10	FLOOR PLANS
A3.11	REFLECTED CEILING PLAN
A3.12	ROOF PLAN
A3.20	ENLARGED TOILET PLANS & ELEVATIONS
A3.21	ENLARGED FLOOR PLANS
A4.10	INTERIOR ELEVATIONS / PARTIAL SECTIONS AND DETAILS
A4.15	EXTER ELEVATIONS - STOREFRONT DETAILS
A4.20	BUILDING SECTIONS
A5.01	DOOR, CABINET DETAILS

08	STRUCTURAL
S0.1	SHEET LIST & 3D VIEWS
S1.1	FLOOR SLAB DEMOLITION PLAN
S1.2	PARTIAL ROOF FRAMING DEMOLITION PLAN
S1.3	DEMOLITION DETAILS
S2.1	FLOOR SLAB PLAN
S2.2	MEZZANINE AND CEILING FRAMING PLAN
S2.3	ROOF FRAMING PLAN
S4.1	GENERAL NOTES
SR.1	TYPICAL CONCRETE DETAILS
S5.2	CONCRETE DETAILS
S5.3	CONCRETE DETAILS
S8.1	TYPICAL WOOD DETAILS
S8.2	TYPICAL WOOD DETAILS
S8.3	TYPICAL WOOD DETAILS
S8.4	MEZZANINE FRAMING DETAILS
S8.5	WOOD DETAILS
S8.6	ROOF FRAMING DETAILS
S8.7	DETAILS

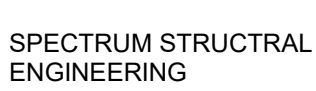
10 MECHANICAL	
M1.1	MECHANICAL SCHEDULES AND DETAILS
M1.2	MECHANICAL PIPING AND WIRING DETAILS
M2.1	MECHANICAL PLAN
M2.2	MECHANICAL ROOF PLAN
M3.1	MECHANICAL SPECIFICATION

13 PLUMBING	
P1.1	PLUMBING SCHEDULES AND DEATAILS
P2.1	PLUMBING WASTE AND VENT PLAN
P2.2	WATER PIPING PLUMBING PLAN
P2.3	PLUMBING ROOF PLAN
P3.1	PLUMBING SPECIFICATION

E1.0	14 ELECTRICAL
E1.1	PANEL SCHEDULES & LOAD CALC'S & ONE-LINE
E2.0	GROUND FLOOR POWER & SIGNAL PLAN
E2.1	MEZZANINE POWER PLAN
E2.2	HVAC POWER PLANS
E3.0	GROUND FLOOR LIGHTING PLAN
E3.1	MEZZANINE LIGHTING PLAN
E3.2	LUMINAIRE & CONTROLS SCHEDULES
E4.0	ELECTRICAL SPECIFICATIONS
E5.0	TITLE-24 INTERIOR LIGHT FORMS
Grand total: 64	



100% CONSTRUCTION DOCUMENTS

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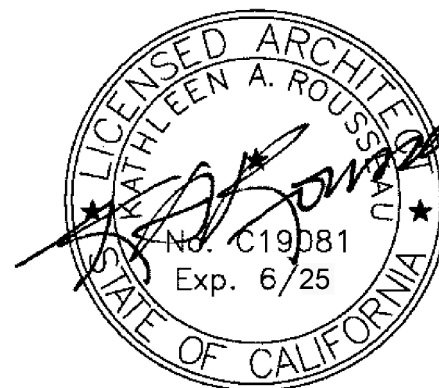
GAF CIVIL ENG

McCAMPBELL ANALYTICAL, INC.

TENANT IMPROVEMENT

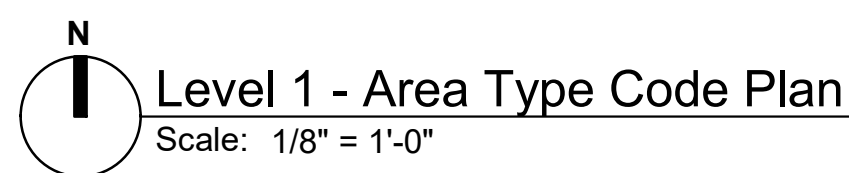
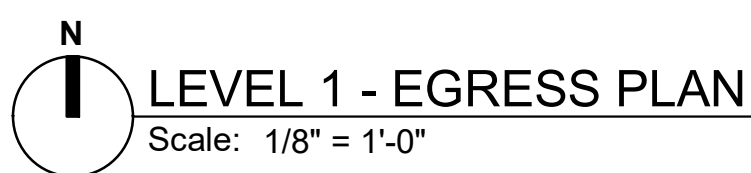
1538 WILLOW PASS ROAD, PITTSBURG, CA

REGISTRATION AND SIGNATURE



TITLE SHEET

100% CD
G0.00



1629 Telegraph Avenue
Mezzanine
Oakland California 94012-2811
Tel 510 272 0654

100% CONSTRUCTION DOCUMENTS

[illegible]

UPLIGHT
ELECTRICAL ENGINEERING

SPECTRUM STRUCTURAL
ENGINEERING

ELMENDORF &
ASSOCIATES, INC

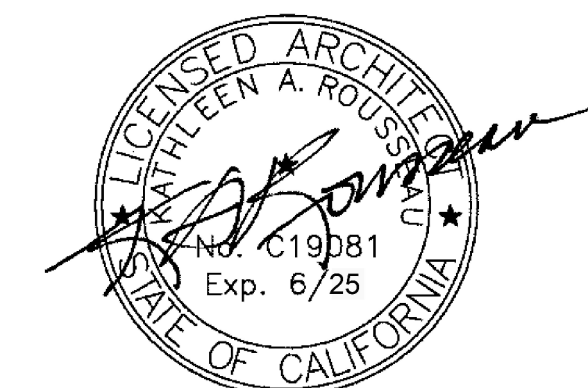
GAF CIVIL ENG

McCAMPBELL ANALYTICAL, INC.

TENANT IMPROVEMENT

538 WILL OW PASS ROAD PITTSBURG CA

REGISTRATION AND SIGNATURE



RPR NO	230401
DRAWN	JJU
CHECKED	Checker
DATE	02.16.24

CODE OCCUPANCY /
ACCESSIBILITY PLAN

100% CD
G1.00

GENERAL NOTES

1.

BASIS OF ELEVATION DATUM:
SHOWN ON SHEET 2 OF 8. ASSUMED ELEVATION OF 100.00 FEET ON MONUMENT BRASS DISC.
2.

ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND DISTRIBUTED BY THE ENGINEERING SERVICES DIVISION PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE.
3.

THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
4.

ALL UTILITY DISTRIBUTION FACILITIES SHALL BE INSTALLED UNDERGROUND.
5.

SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT GILBERT A. FITCH AND ASSOCIATES, INC., AT (925) 822-3116 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
6.

IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1ST, TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT.
7.

CONTRACTOR IS RESPONSIBLE FOR TESTING (IN PRIVATE STREET) AND PROVIDING RESULTS TO COUNTY GRADING INSPECTOR.
8.

THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR MUNICIPAL CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS.
9.

MINIMUM RELATIVE COMPACTION REQUIRED UNDER DRIVEWAYS SHALL BE 95%.
10.

GRADING ADJACENT TO NEIGHBORING PROPERTY SHALL BE DONE SUCH THAT EXISTING DRAINAGE PATTERN FROM THESE LOTS SHALL NOT BE DISTURBED. ANY CONFLICT SHALL BE REPORTED TO THE ENGINEER.
11.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
12.

ALL GRADES SHOWN ARE FOR FINISHED SURFACES. CONTRACTOR TO MAKE APPROPRIATE ALLOWANCES FOR ROUGH GRADES.
13.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK TO AVOID CONFLICTS BETWEEN SEWER LATERALS, STORM DRAINS AND WATER MAINS.
14.

THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS WORK WITH ALL OTHER UTILITY COMPANIES.
15.

THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OFF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISIONS, TRACTS, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
21.

NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. IF ANY TREES ARE TO BE REMOVED, THE IMPROVEMENT PLANS MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED PROPERLY, TREATED AND SEALED.
22.

NOISE GENERATING CONSTRUCTION ACTIVITIES, INCLUDING SUCH THINGS AS POWER GENERATORS, SHALL BE LIMITED TO THE HOURS OF 7:30 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY, AND SHALL BE PROHIBITED ON STATE OR FEDERAL HOLIDAYS. THE RESTRICTIONS ON ALLOWED WORKING DAYS MAY BE MODIFIED ON PRIOR WRITTEN APPROVAL BY ZONING ADMINISTRATOR.
23.

THE CONTRACTOR AND HIS SUBCONTRACTORS ARE REQUIRED TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN A GOOD CONDITION AND SHALL LOCATE STATIONARY NOISE GENERATING EQUIPMENT SUCH AS AIR COMPRESSORS AND CONCRETE PUMPERS AS FAR AWAY FROM EXISTING RESIDENCES AS POSSIBLE.
24.

A DUST AND LITTER CONTROL PROGRAM SHALL BE SUBMITTED FOR THE REVIEW AND APPROVAL OF OF THE ZONING ADMINISTRATOR. ANY VIOLATION OF THE APPROVED PROGRAM OR APPLICABLE ORDINANCE SHALL REQUIRE AN IMMEDIATE WORK STOPPAGE. CONSTRUCTION WORK SHALL NOT BE ALLOWED TO RESUME UNTIL, IF NECESSARY, AN APPROPRIATE CONSTRUCTION BOND HAS BEEN POSTED.

GRADING NOTES

1.

ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH PITTSBURG MUNICIPAL CODES AND CONTRA COSTA COUNTY GRADING ORDINANCE NO. 99-46; ALSO UNDER THE DIRECT SUPER-VISION OF THE SOIL ENGINEER. SUBSEQUENT TO COMPLETION OF THE WORK, THE SOIL ENGINEER SHALL SUBMIT TO THE CITY BUILDING INSPECTION DE-PARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO ITS SATISFACTION.
2.

CONTRACTOR TO NOTIFY CITY GRADING SECTION 48-HOURS PRIOR TO START OF WORK. OWNER/CONTRACTOR NEEDS TO SET UP AN INSPECTION (CODE 600) OFF THE PERMIT CARD.
3.

ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
4.

ANY DEVIATION FROM APPROVED PLAN REQUIRES APPROVAL FROM THE CITY OF PITTSBURG.
5.

ALL SLIDE REPAIR WORK, KEYWAYS, SUBDRAIN INSTALLATION, AND LINED DITCH WORK SHALL BE INSPECTED BY THE GRADING SECTION. REPORT FROM THE SOIL ENGINEER SHALL BE SUBMITTED TO THE GRADING SECTION REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION.
6.

DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES.
7.

A FINAL REPORT BY THE CIVIL ENGINEER CERTIFYING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE SLOPE PLANTING INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS, SHALL BE SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF BUILDING PERMITS.
8.

SILT AND EROSION CONTROL PLANS REQUIRED FOR WORK DURING RAINY SEASON. (OCTOBER 15 THROUGH APRIL 15) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY OCT. 1.
9.

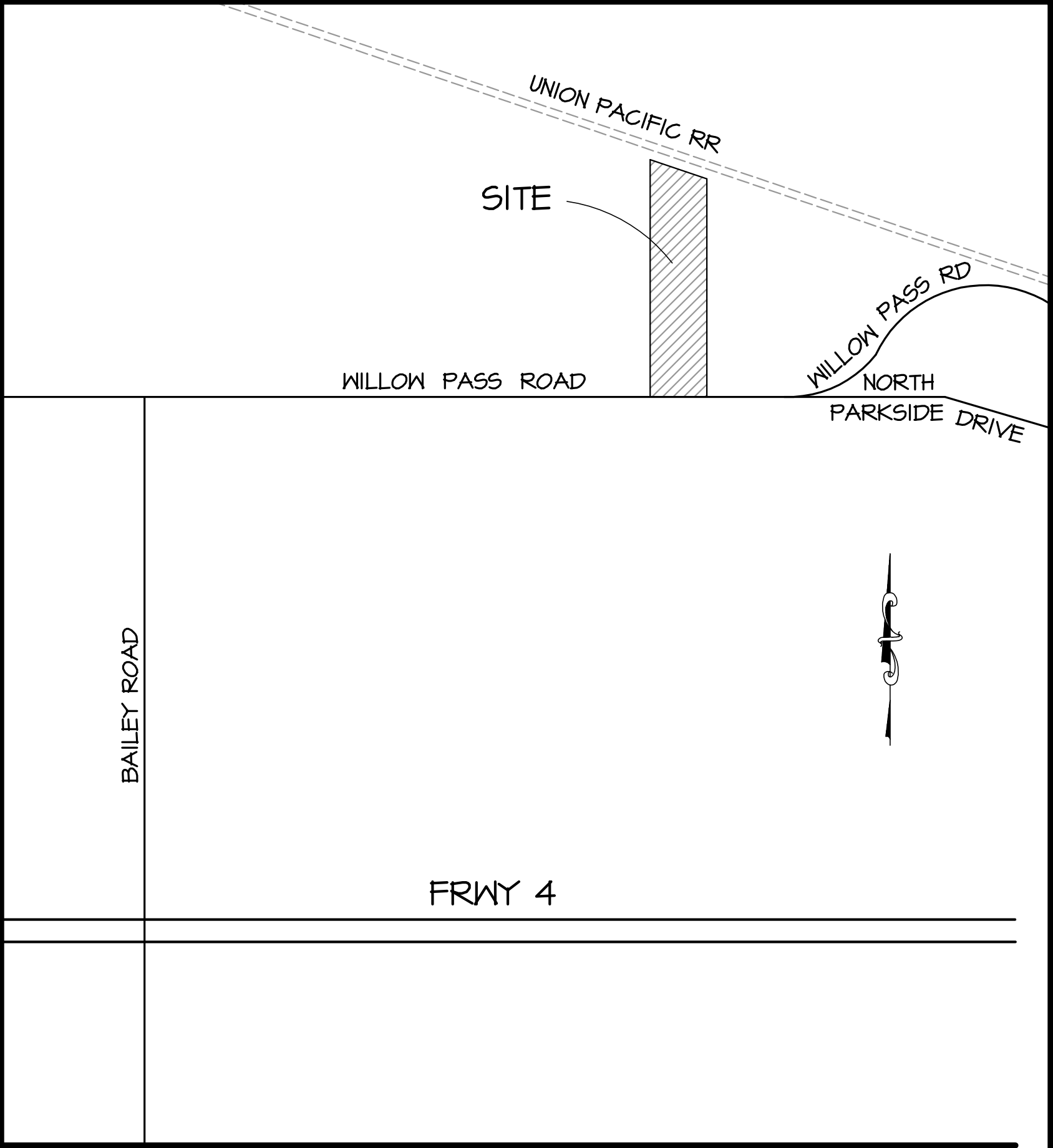
IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, YOU SHALL CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
10.

GRADING WORK HOURS ARE 7:30 A.M. TO 5:30 P.M., MONDAY THRU FRIDAY. NO GRADING WORK WILL BE PERFORMED ON OBSERVED NATIONAL HOLIDAYS.

STORM DRAIN NOTES:

1.

UNLESS OTHERWISE NOTED, ALL PRIVATE STORM DRAIN PIPE SHALL BE PVC SDR 35 OR SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (CONFORM TO AASHTO M252 & M294 TYPE 5).



VICINITY MAP
NO SCALE

LEGEND

1.

GENERAL, GRADING, & STORM DRAINAGE NOTES
2.

TOPOGRAPHIC SURVEY
3.

GRADING PLAN & HANDICAP RAMP
4.

EROSION CONTROL PLANS
5.

EROSION CONTROL NOTES & DETAILS

APN: 096-092-009

GENERAL NOTES, GRADING
NOTES & STORM DRAIN NOTES



REVISIONS		
CITY APPROVAL		DESCRIPTIONS
BY	DATE	

GILBERT A. FITCH & ASSOCIATES, INC.

CONSULTING ENGINEERS
PO BOX 21542

PHONE (925) 822-3116
CONCORD, CA 94521

SCALE NO SCALE

DATE 8/5/2023

DRAWN BY DWF

CHECKED BY

APPROVED BY

REG. CIVL ENGINEER NO. 48427

IMPROVEMENT PLANS

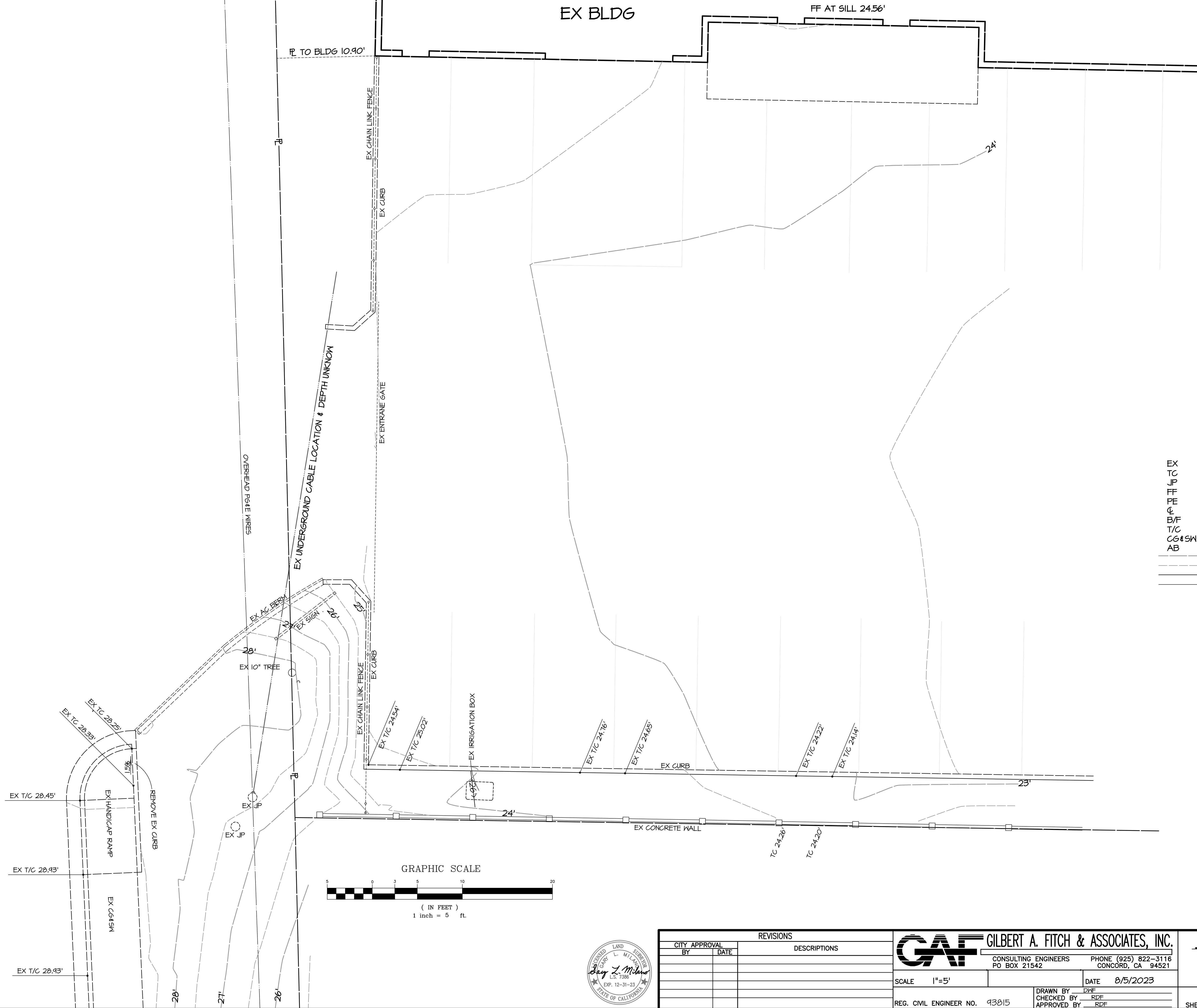
for MC CAMPBELL ANALYTICAL, INC.
1534 WILLOW PASS ROAD
PITTSBURG, CALIFORNIA

JOB NO.

13369

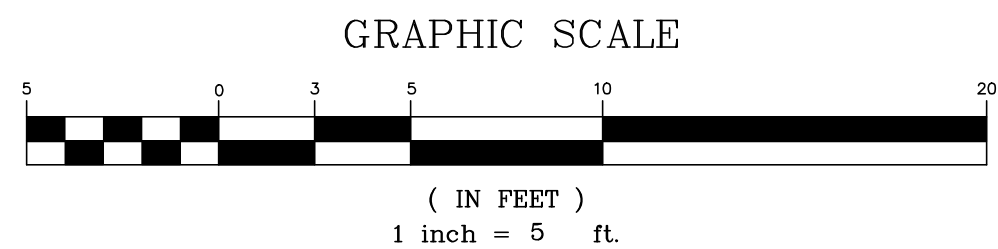
SHEET 1 OF 5

WILLOW PASS ROAD



LEGEND

- EX EXISTING
- TC TOP OF CONCRETE
- JP TOP OF PAVEMENT
- FF FINISH FLOOR
- PE JOINT POLE
- CL CENTER LINE
- B/F BOTTOM OF FOOTING
- T/C TOP OF CURB
- CG&SW CURB GUTTER & SIDEWALK
- AB ASPHALT BASE
- 1' EXISTING CONTOUR
- 0.5' EXISTING CONTOUR
- 1' PROPOSED CONTOUR
- 0.5' PROPOSED CONTOUR



REVISIONS		
CITY APPROVAL	BY	DATE



GILBERT A. FITCH & ASSOCIATES, INC.

CONSULTING ENGINEERS
PO BOX 21542

PHONE (925) 822-3116
CONCORD, CA 94521

SCALE 1"=5'

DATE 8/5/2023

REG. CIVIL ENGINEER NO. 43815

DRAWN BY DNF
CHECKED BY RDF
APPROVED BY RDF

TOPOGRAPHIC SURVEY

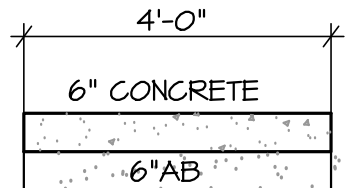
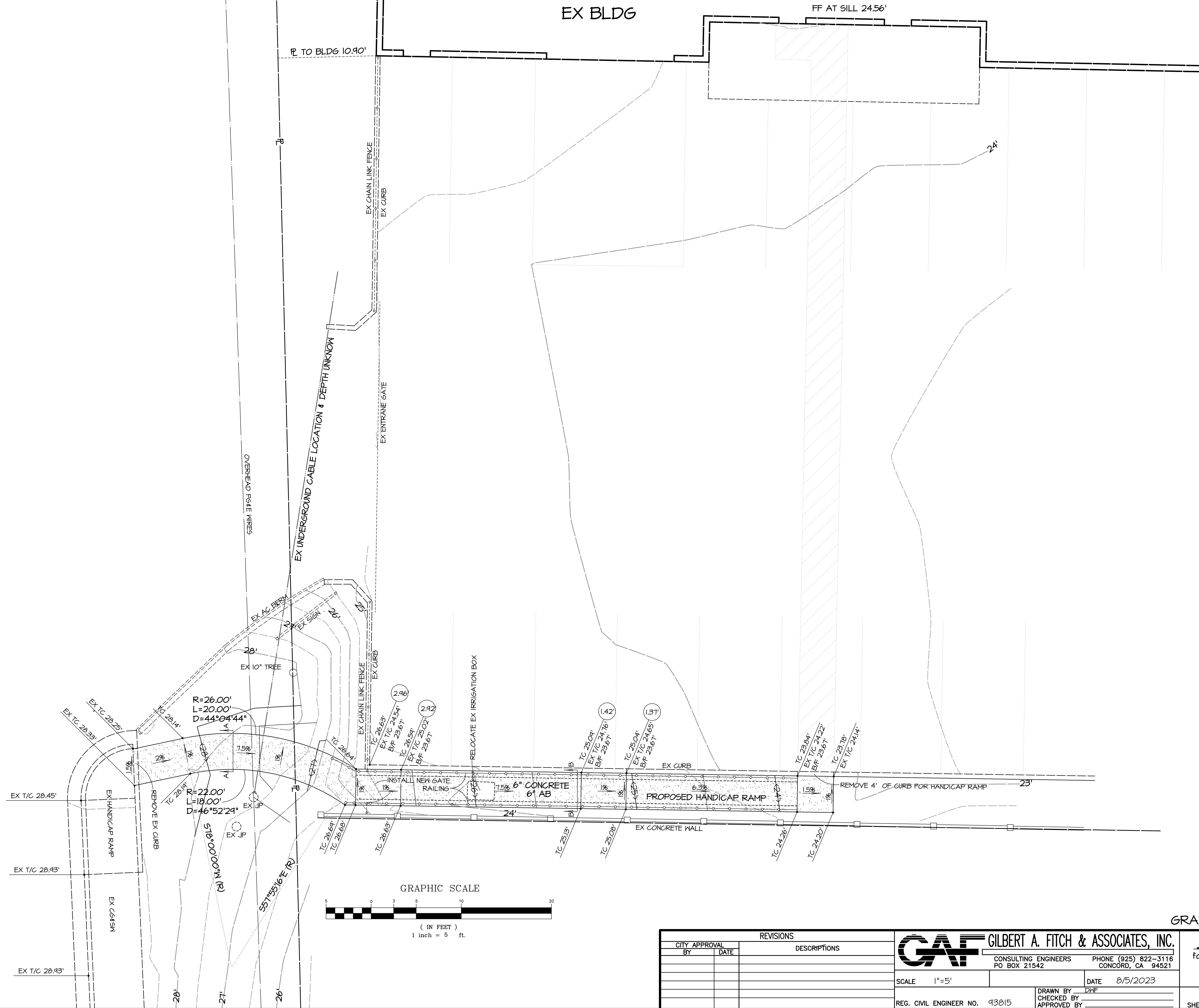
IMPROVEMENT PLANS

for MC CAMPBELL ANALYTICAL, INC.
1534 WILLOW PASS ROAD
PITTSBURG, CALIFORNIA

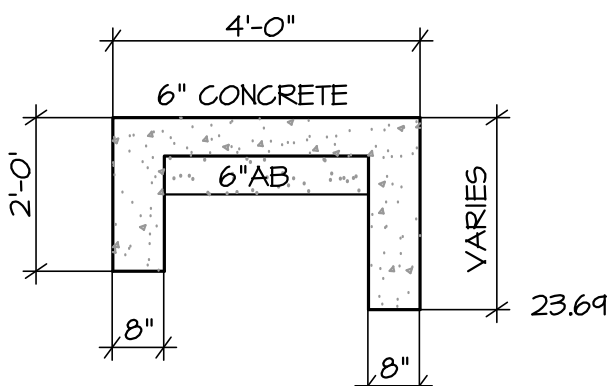
SHEET 2 OF 5

JOB NO. 13369

WILLOW PASS ROAD



SECTION A-A



SECTION B-B

HANDICAP SECTIONS
NO SCALE

EARTHWORKS

FILL	3 CYS
CUT	5 CYS
EXPORT	2 CYS

LEGEND

EX	EXISTING
TC	TOP OF CONCRETE
JP	TOP OF PAVEMENT
FF	FINISH FLOOR
JP	JOINT POLE
CL	CENTER LINE
B/F	BOTTOM OF FOOTING
T/C	TOP OF CURB
CG&SW	CURB GUTTER & SIDEWALK
AB	ASPHALT BASE
1'	1' EXISTING CONTOUR
0.5'	0.5' EXISTING CONTOUR
1'	1' PROPOSED CONTOUR
0.5'	0.5' PROPOSED CONTOUR

GRADING PLAN & HANDICAP RAMP

CITY APPROVAL		REVISIONS	
BY	DATE	DESCRIPTIONS	

GAF GILBERT A. FITCH & ASSOCIATES, INC.
CONSULTING ENGINEERS
PO BOX 21542
CONCORD, CA 94521
PHONE (925) 822-3116
DATE 8/5/2023
SCALE 1"=5'
DRAWN BY DJF
CHECKED BY
APPROVED BY
REG. CIVIL ENGINEER NO. 93815

IMPROVEMENT PLANS
for MC CAMPBELL ANALYTICAL, INC.
1534 WILLOW PASS ROAD
PITTSBURG, CALIFORNIA
JOB NO. 13369
SHEET 3 OF 5

WILLOW PASS ROAD

EX BLDG

FF AT SILL 24.56'

1

EX CHAIN LINK FENCE
EX CURB

EX CURB

EX ENTRANE GATE

EX UNDERGROUND CABLE LOCATION & DEPTH UNKNOWN

OVERHEAD PG#E WIRES

EX 10" TREE

~~EX-10~~

EX JP

CONST. STRAW FIBER ROLL
(WATTLE) SEDIMENT BARRIERS
WHERE SHOWN
SEE DETAIL ON SHT. 5

EX|HANDICAP RAM

EX CG45M

EX T/C 28.45'

EX T/C 28.93

EX T/C 28.9

PROVIDE CONSTRUCTION ENTRANCE
MIN. 25 FT. LONG USING MIN. 8"
THICK LAYER CRUSHED ROCK IN
1" TO 3" SIZE, OR USE EXISTING
DRIVEWAY IF NOT REMOVED

EX CURB

PROPOSED HANDICAP RAMP

X CONCRETE WALL

REMOVE 4' OF CURB FOR HANDICAP RAMP

— 23 —

GRAPHIC SCALE

(IN FEET)
1 inch = 5 ft.



CITY APPROVAL		REVISIONS
BY	DATE	
		DESCRIPTIONS



GILBERT A. FITCH & ASSOCIATES, INC.

CONSULTING ENGINEERS
PO BOX 21542
PHONE (925) 822-3116
CONCORD, CA 94521

	DATE	8/5/2023
--	------	----------

0. 93815

DRAWN BY	DWF
CHECKED BY	RDF
APPROVED BY	RDF

EROSION CONTROL PLANS

IMPROVEMENT PLANS

for MC CAMPBELL ANALYTICAL, INC.
1534 WILLOW PASS ROAD
PITTSBURG, CALIFORNIA

SHEET 4 OF 5	JOB NO. 13369
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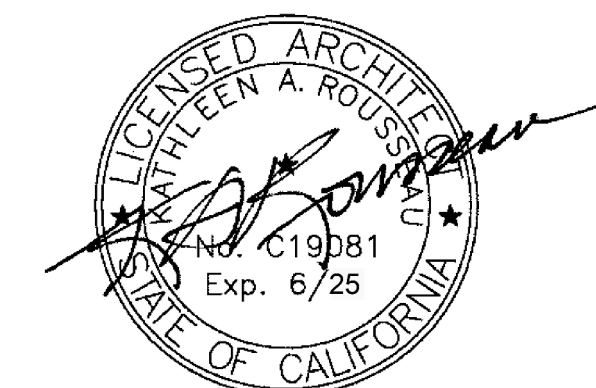
UPLIGHT
ELECTRICAL ENGINEERING

SPECTRUM STRUCTURAL
ENGINEERING

ELMENDORF &
ASSOCIATES, INC

GAF CIVIL ENG

REGISTRATION AND SIGNATURE



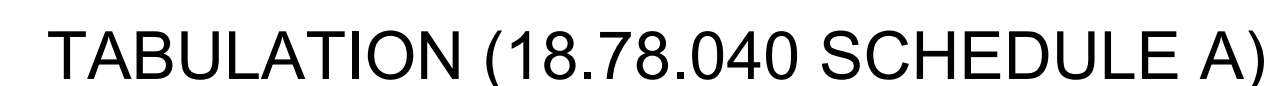
RPR NO	230401
DRAWN	JJU
CHECKED	AWC
DATE	02.16.24

SITE PLAN AND DETAILS

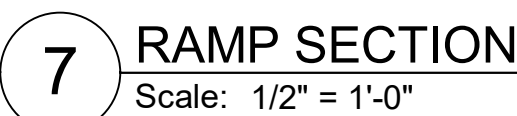
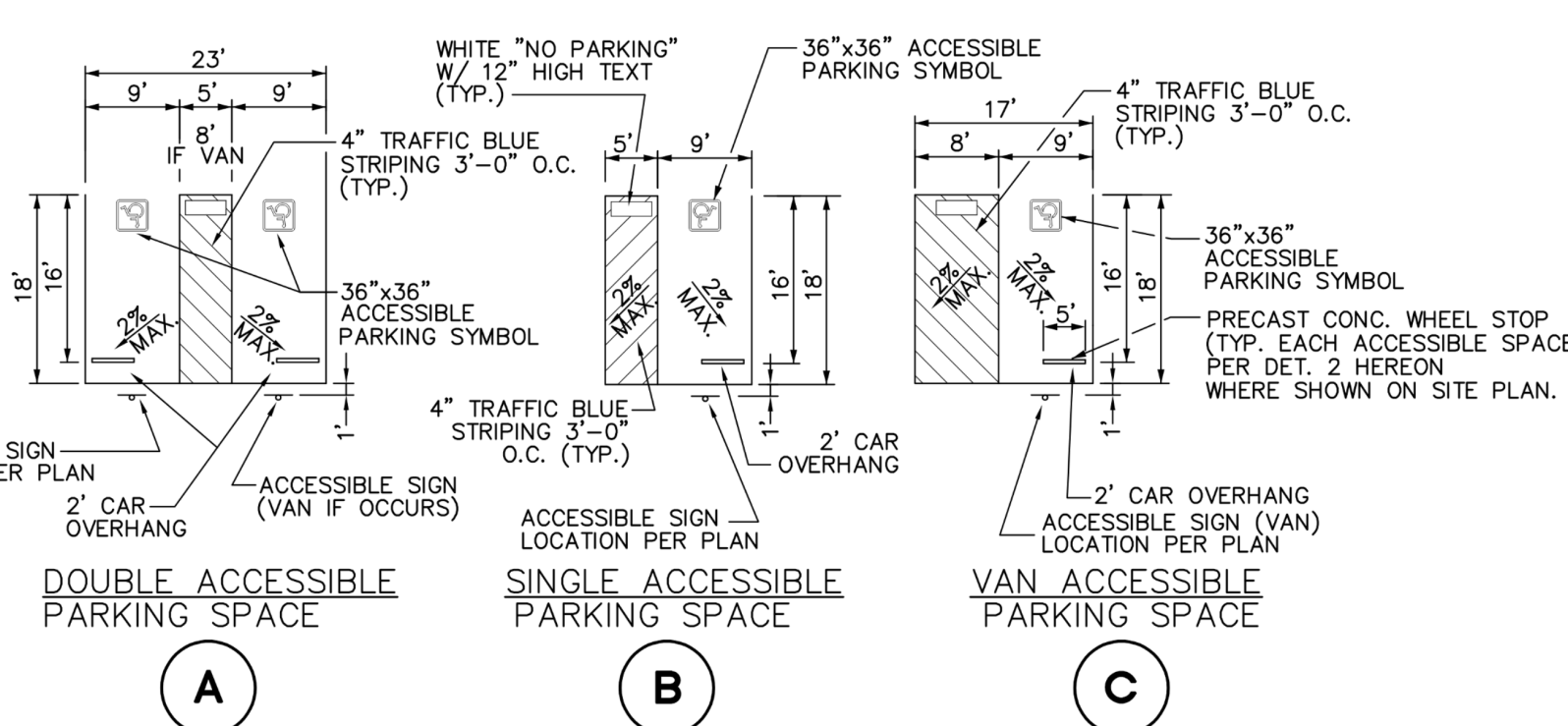
100% CD
A1.10

SITE GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR NEW RAMP AND WALKWAY
2. ALL PARKING IS EXISTING
3. PROVIDE NEW STRIPING AS SHOWN FOR ACCESSIBLE PATH OF TRAVEL FROM RIGHT OF WAY
4. COORDINATE GAS AND ALL UTILITIES LOCATIONS WITH RAMP



<u>AREA OF TOTAL BUILDINGS</u>	
1538 WILLOW PASS ROAD	30,380 +/- SF
 <u>PARKING REQUIRED</u>	
1/500 LABORATORY	41 SPACES
1/2000 STORAGE, LIMITED	4 SPACES
1/250 OFFICE	15 SPACES
TOTAL:	60 SPACES REQUIRED
 <u>PARKING PROVIDED</u>	
	61 (E) STANDARD
<u>ADA PARKING</u>	3 (REQUIRED) 11B-208.





BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Amending the Categories of Eligible)
Projects and Revising the Procedures for) Resolution No. 9918
Delegating Design Review Authority of Certain)
Types of Projects to the Zoning Administrator)

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On August 26, 2003, the Planning Commission adopted Resolution No. 9444 in an effort to streamline the planning review process for certain projects that the Commission had determined to be routine in nature and have minimal visual impacts on the surrounding community. This resolution authorized various types of projects to be reviewed by the Zoning Administrator rather than the Planning Commission, including "Wireless Communication Antennas, Monopoles and Related Structures and Equipment."
- B. On August 14, 2012, in response to recent Commission concerns regarding the approval process for wireless telecommunication equipment, a study session was conducted with the Planning Commission to review proposed updates to the existing design review delegation procedures. At this study session, the consensus of a majority of Commissioners was to keep all staff proposed changes, with an added clarification on the recommended voting process (Section B) for calling up items to be reviewed by the Commission.
- C. Proposed changes to the existing staff delegated design review authority (as presented during the August 14, 2012, study session) generally include: 1) a modification to the text of category 2, "Wireless Communication Antennas, Monopoles and Related Structures and Equipment," intended to separate out construction of new wireless telecommunications facilities from requests for modifications to existing facilities, with the only latter retaining eligibility for delegated review by the Zoning Administrator; 2) a revision to Category 3 to clarify that it applies to all minor building remodels and not just 'storefront' remodels; 3) a consolidation of Category 7 (changes in building colors) into Category 3; 4) a clarification to Category 9 to confirm application within all districts, not just Industrial areas; and 5) a clarification within Section B clarifying that a Commissioner's request to rescind delegated authority for a specific application, otherwise eligible for Zoning Administrator review, must be supported by a majority of the Commissioners present.
- D. Pittsburgh Municipal Code (PMC) Section 18.10.020, *Powers and Duties of the Planning Commission*, grants primary design review authority to the Planning

Commission. In 2003 the Planning Commission delegated its review and approval authority of certain routine and non-controversial application types to the Zoning Administrator through the adoption of Resolution No. 9444. Changes or revisions to Resolution No. 9444 fall within the same category as the original delegation, which the Commission has authority to approve under PMC 18.10.020.

- E. PMC Section 18.10.030 identifies the City Planner as the Zoning Administrator, and in accordance with PMC Section 18.10.100, the City Planner will continue to give notice to the Planning Commission of intent to exercise any authority that the Commission previously granted, including the authority to review and approve staff delegated design review applications.
- F. Staff would continue to be responsible for reviewing delegated applications for compliance with the General Plan, City Codes and adopted Design Guidelines, and the Zoning Administrator would continue to be required to make findings for approval and identify evidence to support the required findings, consistent with PMC Section 18.36.220(B). Approved resolutions would continue to be signed by the Zoning Administrator and no separate staff reports would be prepared on these items.
- G. Copies of all Zoning Administrator approved resolutions would continue to be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- H. The proposed action delegating certain Planning Commission discretionary authority to the Zoning Administrator is not considered a project, as defined by the Public Resources Code section 21065, of the California Environmental Quality Act (CEQA).
- I. On September 25, 2012, the Planning Commission considered the proposed revisions to the staff delegated design review authority process as previously established by adoption of Resolution No. 9444.

Section 2. Decision

- A. The Planning Commission hereby delegates discretionary Design Review Authority to the Zoning Administrator, for the following types of applications, when categorically or statutorily exempt from the provisions of CEQA:
 - 1. Freestanding Signs. Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
 - 2. Wireless Communication Equipment. New or replacement antennas on existing poles and their related equipment.

3. Minor Building Remodels. Limited to changes in building colors, awnings, fenestration, and finishes.
 4. Changes to Existing Parking Lots.
 5. Changes to Existing Landscaping.
 6. Additions to Existing Buildings. Additions must be smaller than 2,500 sq. ft. and designed to complement existing building architecture.
 7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
 8. Ancillary Structures. Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in Industrial Districts.
- B. In compliance with PMC Section 18.10.100, staff shall prepare a list and brief description along with a copy of the project plans when applicable, of new pending applications for which the Zoning Administrator intends to exercise delegated design review authority, and submit it to the Commission at a Commission meeting prior to taking any action on the applications. Any member of the Planning Commission may then request at that time to have the matter scheduled for future consideration by the entire Commission. The Commission must approve the request as a group through a majority vote, prior to scheduling the item for future consideration.
- C. Staff shall continue to prepare resolutions of approval, when appropriate, describing the project, project location, applications being filed, required findings to approve the project and identifying evidence to support the required findings. Resolutions shall be signed by the Zoning Administrator and continue to have conditions of project approval, where applicable.
- D. To keep the Commission informed about what applications are processed under this proposal, copies of all Zoning Administrator approved resolutions shall be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- E. If the Zoning Administrator does not believe he/she can make the required design review findings to approve a project, and the applicant is unwilling or unable to make the changes requested, the application shall automatically be referred to the Commission for action on the design review application.

Section 3. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner Wirick, seconded by Commissioner Gargalikis, the foregoing resolution was passed and adopted the 25th day of September, 2012, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES: Fardella, Fogleman, Gargalikis, Kelley, Ohlson, Wirick

NAYES:

ABSTAIN:

ABSENT: Diokno

I hereby certify that the above Resolution No. 9918 was adopted by the Planning Commission of the City of Pittsburg on September 25, 2012.



KRISTIN VAHL POLLOT, SECRETARY
PITTSBURG PLANNING COMMISSION