



City of Pittsburg Planning Commission Agenda

03/25/2025

**City Hall Council Chamber
65 Civic Avenue, Pittsburg, CA 94565**

**Regular Meeting
7:00 P.M.**

Planning Commission Members

**Sarah Foster, Chair
Donna Smith, Vice-Chair
Elissa Robinson, Commissioner
Frank Gordon, Commissioner
Deandra Stokes, Commissioner
Ivelina Popova, Commissioner
Reilly Kent, Commissioner**

Any member of the public who wishes to address the Commission should complete a Speaker's Card, available on the public counter below the dais. Please note on the card the agenda item number, or, for items not listed on this agenda, a brief description of the issue on which you would like to address the Commission. Give the completed form to the Minutes Clerk or a staff member, who will give the card to the Commission Chair. The Chair will invite the speaker(s) to the podium at the appropriate time during the meeting. Each individual will be given three minutes to address the Commission, unless additional time is allowed as provided for spokespersons. Prior to speaking, each speaker is requested to state his or her name and business and city of residence in a clear and audible tone of voice. For items listed under the "Public Hearings" or "Commission Consideration" portions of this agenda, the public hearing or public comment period will follow a brief presentation on the item by Planning Department staff and/or the project applicant.

A decision by the Planning Commission is not final until the appeal period expires 10 calendar days after the date the decision occurred. The applicant, City Council member(s), City Manager, or any affected person may appeal the denial, approval, recommendation, or any condition of approval of an item within the 10-day appeal period. A completed appeal form and the applicable filing fee must be filed with the City Planner, 65 Civic Avenue, Pittsburg. The appeal form must include the name and address of the appellant and state the reasons for the appeal. The appeal will be set for City Council consideration and appropriate public notification given.

The Commission requests that you refrain from disruptive conduct during the meeting and that you observe the order and decorum of the Council Chamber. Please turn off or set to vibrate all cellular phones, and refrain from making personal, impertinent or slanderous remarks. Boisterous or disruptive behavior while the Commission is in session, and the display of signs in a manner that violates the rights of others or prevents others from watching or fully participating in the Planning Commission meeting is considered counterproductive and will not be tolerated, and the Commission Chair can order any person who engages in such conduct to leave the Council Chamber.

This agenda was posted in City Hall on Thursday, March 20, 2025

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

DELETIONS, WITHDRAWALS OR CONTINUANCES

COMMENTS FROM THE AUDIENCE

CONSENT

1. **Minutes**
Minutes of February 25, 2025

PUBLIC HEARINGS

2. **Blue Sports Bar & Lounge, AP-25-0007 (UP)**
This is a public hearing on a request for approval of a Use Permit to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot structure located at 337 Railroad Avenue in the Pedestrian Commercial (CP) District. Assessor's Parcel Number: 085-108-016.

Environmental Review: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Existing Facilities," of the CEQA Guidelines, section 15301.

ZONING ADMINISTRATOR REPORTS

3. **Notice of Intent to Exercise Delegated Design Review Authority**
The Zoning Administrator submits one Notice of Intent to Exercise Delegated Design Review Authority

STAFF COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT OF PLANNING COMMISSION MEETING

HISTORICAL RESOURCES COMMISSION MEETING

CALL TO ORDER

ROLL CALL

REORGANIZATION

COMMENTS FROM THE AUDIENCE

CONSENT

4. Minutes

Minutes of March 14, 2023

Minutes of March 12, 2024

STAFF COMMUNICATIONS

ADJOURNMENT OF HISTORIC RESOURCES COMMISSION

NOTICE TO PUBLIC

NOTICE TO THE DISABLED AND VISUALLY OR HEARING IMPAIRED

In compliance with the Americans with Disabilities Act, the city of Pittsburg will provide special assistance for disabled citizens. Upon request, an agenda for any meeting shall be made available in appropriate alternative formats. The Council Chamber is equipped with sound amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the sound amplifier from the City Clerk for personal use during Commission meetings. If you need special assistance to participate in this meeting, or are requesting a specially formatted agenda, please contact the City Clerk at 925-252-4850. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format. (28 CFR 35.102-35.104 ADA Title II)

GENERAL INFORMATION

Copies of the open session agenda packets that are distributed to the Planning Commission are on file in the office of the Planning Department, 65 Civic Avenue, Pittsburg, California, and are available for public inspection, beginning no fewer than 72 hours in advance of the meeting, during normal business hours (8:00 a.m. – 5:00 p.m., Monday through Friday, except city holidays). Additionally, if any reports or documents that are public records are distributed to the Planning Commission fewer than 72 hours before the meeting, those reports and documents will also be available for public inspection in the city's Planning Department and at the Commission meeting. The Pittsburg Library is also provided a full agenda packet for your convenience. As a courtesy, the agenda is also located on the city's website at www.ci.pittsburg.ca.us.

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG PLANNING COMMISSION**

February 25, 2025

A regular meeting of the Pittsburg Planning Commission was called to order by Vice-Chair Sara Foster at 7:00 p.m. on Tuesday, February 25, 2025, in the Council Chambers at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Chair Foster, Vice-Chair Smith, Commissioners Gordon Popova, Robinson, Stokes

Staff: Assistant Director of Community and Economic Development John Funderburg,
Senior Planner Alison Spells, Administrative Analyst I Candace Hatch

PLEDGE OF ALLEGIANCE

Commissioner Gordon led the Pledge of Allegiance.

DELETIONS / WITHDRAWALS / CONTINUANCES

There were no deletions, withdrawals or continuances.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

CONSENT ITEM

1. Minutes
Minutes of January 28, 2025

On a motion by Commissioner Gordon, approving the consent item(s), seconded by Commissioner Stokes:

AYES: Foster, Gordon, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: None
ABSENT: None

PUBLIC HEARING

2. JC Recycling Facility (Relocation), AP-24-0116 (UP)

A public hearing was held requesting approval of a Use Permit to operate a bulk handling materials repurposing and refurbishing operation on an approximately 2.0-acre leased portion of a 4.1-acre site located at 780 Clark Avenue within the Industrial Park (IP) Zoning District. Assessor's Parcel Number: 088-250-050. The site is not open to the public.

Senior Planner Alison Spells gave a presentation.
Applicants Bill Hillis spoke on behalf of the project.
Chair Foster opened the public hearing.
Public comment received from the following:
Iman Azad, Landlord for 780 Clark Avenue

There being no further public comments at this time, Chair Foster closed the public hearing item.

On a motion by Commissioner Gordon, approving a Use Permit to operate a bulk handling materials repurposing and refurbishing operation on an approximately 2.0-acre leased portion of a 4.1-acre site located at 780 Clark Avenue within the Industrial Park (IP) Zoning District, AP-24-0116 (UP), seconded by Commissioner Robinson:

AYES: Foster, Gordon, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: None
ABSENT: None

COMMISSION CONSIDERATION

3. Siena at San Marco (Units 16 and 17), AP-24-0142 (DR)

A public hearing was held requesting Design Review approval of plans to construct 206 detached, single-family dwellings within the existing Siena at San Marco Subdivision (Units 16 and 17) located on an approximately 58-acre portion of the San Marco project site located immediately south of the Willow Pass Road interchange on State Route 4, near the westernmost edge of Pittsburg city limits in the PD-1519 (Planned Development, Ordinance No. 24-1519) district. Assessor's Parcel Nos. 091-050-072 and a portion of 091-050-071.

Senior Planner Alison Spells gave a presentation.

Applicant Dana Owyong spoke on behalf of the project.

Chair Foster opened the public hearing.

Public comment received from the following:

Bruce Ohlson, Pittsburg resident

There being no further public comments at this time, Chair Foster closed the public hearing item.

On a motion by Commissioner Stokes, approving Design Review approval of plans to construct 206 detached, single-family dwellings within the existing Siena at San Marco Subdivision (Units 16 and 17) located on an approximately 58-acre portion of the San Marco project site located immediately south of the Willow Pass Road interchange on State Route 4, near the westernmost edge of Pittsburg city limits in the PD-1519 (Planned Development, Ordinance No. 24-1519) district, AP-24-0142 (DR), seconded by Commissioner Robinson:

AYES: Foster, Gordon, Popova, Robinson, Smith, Stokes
NAYES: None
ABSTAIN: None
ABSENT: None

STAFF COMMUNICATIONS

Secretary Funderburg announced the upcoming Joint Planning Commission and City Council Meeting on March 17, 2025, at 5:30 p.m. to discuss the Development Title.

Secretary Funderburg informed the Planning Commission that there are no items schedule for the March 11, 2025, meeting and announced that the meeting has been cancelled.

Two (2) items tentatively to be presented at the March 25, 2025, meeting:

1. 2024 General Plan Annual Progress Report – Report and update
2. AP-25-0007 - Use Permit application to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot structure located at 337 Railroad Avenue in the Pedestrian Commercial (CP) District. Assessor's Parcel Number: 085-108-016. BLUE Sports Bar & Lounge would include live blues, R&B and old school music, premium bar offerings, southern-inspired food and sports viewing.

The proposed establishment would be open seven days a week from 11:00 am - 10:00 pm weekdays and 11:00 am - 12:00 am weekends. Security would be provided on-site from 9:00 pm - 12:00 am on weekends.

COMMITTEE REPORTS

There were no committee reports.

ADJOURNMENT

The meeting was adjourned at 8:32 p.m. to March 25, 2025.

Respectfully Submitted,

John Funderburg, Secretary

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
March 25, 2025**

ITEM: Blue Sports Bar & Lounge, AP-25-0007 (UP)

ORIGINATED BY: Chris Williams, 337 Railroad Avenue, Pittsburg CA 94565

SUBJECT: This is a public hearing on a request for approval of a Use Permit to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot structure located at 337 Railroad Avenue in the Pedestrian Commercial (CP) District. Assessor's Parcel Number: 085-108-016.

RECOMMENDATION: Staff recommends the Planning Commission adopt a Resolution (Attachment 1), approving Use Permit Application No. 25-0007, subject to conditions.

BACKGROUND: The building at 337 Railroad Avenue is identified in the Pittsburg 2040 General Plan as a historic building within the New York Landing Historic District (Figure 5-2). Buildings in the Historical District were constructed between 1914 and 1930 and reflect the architectural styles prevalent during that time period. Some structures, while not considered significant in and of themselves, enhance the overall character of the district. The building, constructed in 1925, is part of the core historical fabric of what is today commonly referred to as "Old Town".

The building at 337 Railroad Avenue has been used by "Five Associates" circa 2002, as a miscellaneous apparel and accessories store and the "Downtown Café" restaurant, circa 2005. Business license records indicate the building was vacant from 2009 to 2015, when the business "Holm Patches and Caps" commenced. However, the business closed before renewing their business license in 2016. Therefore, this space has been vacant for approximately ten years.

On February 4, 2025, the applicant filed Use Permit Application No. 25-0007, requesting to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot structure located at 337 Railroad Avenue in between East 3rd and 4th Streets in downtown Pittsburg's Old Town neighborhood.

PROJECT DESCRIPTION:

Existing Conditions:

The lot is located in the Old Town core and is 40 feet wide and 60 feet in length. The existing, approximately 2,400-square-foot, single-story commercial building covers 100 percent of the lot area. The existing commercial building was built in 1925. At that time many structures in the Old Town neighborhood were designed with Italianate elements, including 337 Railroad. The west side of the building has a 10-foot recessed central entrance from the sidewalk on Railroad Avenue leading to glass-paned wooden double doors. On either side of the double doors are two large display windows. The recessed entry is partially enclosed with a three-foot wrought-iron fence.

The interior of the space is open with approximately 20-foot-tall ceilings and four columns. There is a 56-square-foot (sq. ft.) restroom in the front left-hand corner of the building. The back of the building includes a storage area (59 sq. ft.), stairwell down to mechanical room, an approximately 70-sq.ft. restroom and an office area (148 sq. ft.).

The applicant has applied for a tenant improvement building permit (currently in review with the Building Division) for a structural retrofit of the building to include a new one-hour firewall at each side exterior wall, new front entrance doors, new roofing, electrical and mechanical upgrades, new rear exit door and ADA upgrades to both restrooms.

See Attachment 2 for Existing Conditions Photos.

Surrounding Land Uses:

North: Commercial and Business Uses
West: Vacant Land and Commercial Uses
South: Commercial and Business Uses
East: Commercial Uses

The property is surrounded on all sides by similar commercial buildings. Surrounding businesses include New Mecca Restaurant and Catering Office, Old Town Market (in the National Building), Pittsburg Performing Arts, California Theatre and an insurance and tax preparation business.

See Attachment 3 for Map of Surrounding Land Uses.

Proposed Project:

The applicant is requesting approval to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within the existing 2,400-square-foot building at 337 Railroad Avenue. The proposed business would provide food offerings, alcoholic beverages, sports viewing and live entertainment. The applicant is requesting to operate seven days a week from 11:00 am - 10:00 pm weekdays (Monday through Thursday) and 11:00 am - 12:00 am weekends (Friday through Sunday), with security on-site from 9:00 pm - 12:00 am on weekends. The applicant would be required to obtain a Type 47 license from the California Department of Alcoholic Beverage Control (ABC). The applicant would also be required to install a video surveillance system.

Food Offerings

The interior space of the building would be remodeled to include a full kitchen with hood and exhaust. The center of the space would be designed to allow a dining area with tables and chairs, separate from the bar. The proposed business proposes to offer southern-inspired or "Louisiana-style" soul foods such as barbeque chicken, shrimp or fish po' boy sandwiches, and specialty macaroni and cheese bowls. Small plates with

crowd favorites such as chicken wings, soups, nachos and/or pizza may also be provided for sports viewing.

Alcoholic Beverages

Beverages would include both hand-crafted cocktails and non-alcoholic lemonades, sodas and juices. Nonalcoholic beverages would be available along with regular bar offerings. As mentioned previously, the applicant would be required to obtain a Type 47 license from ABC. See discussion beginning on page 9 of this Staff Report for detailed information about the concentration of alcohol licenses in the census tract for this property.

Sports Viewing

The venue would offer patrons the ability to view sports such as boxing, football, baseball and basketball. The applicant would install high-definition televisions for viewing from the bar. An additional large television, with Audio Visual (AV) system, would also be integrated into the décor. Stool seating would be along the room-length bar for sports viewing, drinks and small plates. The applicant would provide additional seating along the rear wall.

Live Entertainment

Entertainment offerings would include live blues, R&B and old school genres. The applicant has expressed a desire to provide a venue for local music groups and bands. Live music offerings could include single artists or small groups, as well as the potential for a variety of musicians, especially blues artists, to participate in “jam sessions.”

Trash Enclosure

All trash and recycling accumulated by the proposed business will be disposed of in an existing cinderblock structure (trash compactor) and trash bins located in the rear of the building. Mount Diablo Resource Recovery (MDRR) picks up trash twice a week from the project site.

See Attachment 4 for the Project Plans and Trash Exhibit

CODE COMPLIANCE:

Pittsburg General Plan 2040:

The project site is located in the ‘Downtown Subarea’ of the *2040 General Plan (GP)* and has a land use designation of *Downtown Commercial*. The *Downtown Commercial* land use designation is intended to provide sites for specialty retail, personal services, restaurants, offices, financial organizations, institutions, and other businesses serving

the daily needs of Downtown residents. Upper-story residential and mixed commercial/residential ground-floor uses are also permitted.

Core values identified by community members during development of the *2040 General Plan* indicate a desire for more shopping, restaurants and increased entertainment venues in the downtown area. Feedback received during the General Plan update process also expressed a need to ensure adequate opportunities would be provided for such commercial uses (page 1-2).

The following *2040 General Plan* goals, policies and actions are consistent with the proposed project:

Goal-2-3: Accommodate and promote exceptional commercial, cultural, recreational, entertainment, and public sector activities that serve the community and its neighborhoods to ensure that Pittsburg remains a unique, vital, and attractive family-friendly community.

Action 2-A-3.a: Implement planning and zoning mechanisms to work with downtown businesses to enhance the economic diversity of the area.

Goal-2-5: Promote and maintain Downtown as a vibrant downtown and destination point with a mix of uses, walkable areas with shopping, restaurants, entertainment, offices, and housing.

Goal-5-1: Promote and enhance Downtown as the City's symbolic center and community destination, with a variety of land uses, including mixed use developments, community destinations, and neighborhood retail centers, in a walkable, pedestrian-oriented district.

Policy 5-P-1.8: Concentrate Downtown commercial activity—which includes specialty retail, professional offices, personal services, entertainment and other uses - along the Railroad Avenue corridor.

Action: 5-A-1.c: Encourage commercial and mixed-use sites to utilize ground-level storefronts for retail and pedestrian-oriented commercial activities (for example, restaurants, boutiques, and personal services).

Goal 6-2: Facilitate attraction, retention, and expansion of businesses that meet the City's economic development objectives and maintain a desirable climate for conducting business in and with the City.

Policy 6-P-2.4: Encourage development that accommodates services necessary to support local residential neighborhoods, including local grocery stores, restaurants, high-quality health care, education, and other services.

Zoning:

The project site is located within the Pedestrian Commercial (CP) Zoning District, the purpose of which, as codified in Pittsburgh Municipal Code (PMC) 18.52.005(B)(7) is to:

“provide a vibrant destination area that caters to pedestrian shoppers and visitors in the downtown commercial core. Permitted uses on ground floor along the primary corridor consist primarily of pedestrian-oriented retail, entertainment, restaurants, and galleries. Office uses are permitted above/below the ground floor and beyond the primary corridor of the CP district to increase the downtown population and employment/shopper base without detracting from the ground floor pedestrian retail synergy desired along the primary corridor. The district is intended to create a place for pedestrian-oriented activity by providing inviting, visually interesting, human-scale architecture, pedestrian-friendly storefronts, outdoor dining opportunities, and a limited number of (public) parking facilities.”

Use Types:

The proposed use is defined under the Eating and Drinking Establishment use classification listed in PMC 18.08.080(13). “*Restaurant or Alcoholic Beverage Establishment with Live Entertainment*” is defined in PMC 18.08.080(13)(h) as a conditionally permitted use in the CP District with an approved Use Permit, subject to the following additional use regulations:

L-126	<i>The provision of alcoholic beverages requires a conditional use permit for any restaurant if it will create “undue concentration” as defined in the Alcoholic Beverage Control (ABC) Act under Section 23958.4.</i>
L-127	<i>Permitted for full-service restaurants with an active Alcoholic Beverage Control License. The restaurant must be operated and maintained as a bona fide eating place, which requires the actual and substantial sales of meals during the normal hours that they are open, at least five days a week. Actual and substantial food and meal sales must occur on site until at least two hours before closing. Conditional use permit required for self-service restaurants with full alcoholic service.</i>
L-129	<i>Permitted for live or recorded music in full-service, self-service restaurants, and/or food shops, between the hours of 10:00 a.m. and 10:00 p.m.; provided, that the noise generated is not audible beyond the property line or lease space for the use. When the provisions above are not met, a conditional use permit, special event permit or temporary activity permit is required.</i>

Development Standards:

Per Pittsburgh Municipal Code 18.78.040(G)(3) nonresidential uses on properties located in the CP District shall not be subject to the minimum off-street parking and loading spaces required by PMC section 18.78.040. Therefore, no off-street parking is required for the proposed project. Additionally, there is ample public and bicycle parking available in the area along Railroad Avenue, in the City's public parking lot less than 200 feet west of the building and on the corner of Cumberland and E 5th Streets.

The applicant is not proposing any exterior alterations to the existing tenant space at this time. All future façade and tenant improvements would require additional permits through the Building and Planning Divisions.

Because the property is within the New York Landing Historic District, any future changes to the exterior of the building, windows, doors, entrances, etc., must be fully reviewed and authorized by the Zoning Administrator.

Any future signage associated with the proposed project will require a separate sign permit application that demonstrates consistency with the *Old Town Design Guidelines and Principles*.

Similarly, should the applicant wish to allow for outdoor dining in the future, an Outdoor Dining Permit would be required by the Zoning Administrator.

Required Findings – Use Permit: Pursuant to PMC section 18.16.040, in order to approve the Use Permit, the Planning Commission must find that the proposed project:

- A. is in accord with the objective of the Zoning Ordinance, the purposes of the land use district in which it is located and is appropriate to the specific location;
- B. is not detrimental to the health, safety, and general welfare of the city;
- C. will not adversely affect the orderly development of property within the city;
- D. will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the city;
- E. is consistent with the objectives, policies, general land uses and programs specified in the general plan and applicable specific plan;
- F. will not create a nuisance or enforcement problem within the neighborhood;
- G. will not encourage marginal development within the neighborhood;

- H. will not create a demand for public services within the city beyond that of the ability of the city to meet in the light of taxation and spending restraints imposed by law;
- I. is consistent with the city's approved funding priorities; and,
- J. if located within the pedestrian commercial (CP) district, will support the goals of creating a vibrant, economically prosperous, visually interesting, and engaging pedestrian oriented atmosphere along the primary downtown corridor.

A full analysis of how the proposed project meets the required Use Permit findings is provided in the Resolution (Attachment 1).

Environmental: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Existing Facilities," of the CEQA Guidelines, section 15301.

Public Notice: On or before March 14, 2025, a notice of the March 25, 2025, public hearing for the proposed project was posted at City Hall and at or near the project site; was delivered for posting at the Pittsburg Library; was posted on the "Public Notices" section of the City's website and was mailed via first class or electronic mail to the applicant, to the property owner, to all owners of property within 300 feet of the project site, to local service agencies expected to provide services to the business, and to individuals who had previously filed written request for such notice, in accordance with PMC section 18.14.010 and Government Code section 65091. In addition, a copy of the notice was posted on www.nextdoor.com ("Nextdoor") and was sent directly to all subscribed residents in neighborhoods surrounding the project site.

See Attachment 5 for the Public Hearing Notice.

ANALYSIS:

Staff believes that the Planning Commission can make the required findings to grant Use Permit approval for the proposed project, as it would provide a new commercial business within the City, have a positive impact on the City's tax base, and occupy a tenant space that has been vacant for over a decade.

Key conditions of approval (listed below) have been drafted to ensure the proposed use would operate as intended:

- The business operator shall ensure that the site is maintained in a neat and clean manner at all times. Trash and debris shall not be allowed to accumulate on or around the site, or on the street gutters and sidewalks. There shall be no outside storage of materials, supplies, bins, or other equipment related to the business operation.

- Hours of operation shall be limited to 11:00 am - 10:00 pm weekdays (Monday through Thursday) and 11:00 am - 12:00 am on weekends (Friday through Sunday), with security on-site from 9:00 pm - 12:00 am on weekends.
- The business operator shall provide a video surveillance system available for use by the Pittsburg Police Department upon request.
- The proposed business shall operate in substantial conformance with this Use Permit application. Any proposed change in use is subject to review and approval by the City of Pittsburg Zoning Administrator.
- The business operator shall ensure the number of patrons within the building does not exceed the maximum occupancy for the space, as determined by the California Building Code and the City of Pittsburg Building Official. The Pittsburg Police Department is also requiring the business owner to arrange for a door person to ensure legal entrance and capacity.
- The business operator shall ensure alcoholic beverages are not served to intoxicated adults or minors at any time and there is no provision of alcohol anywhere outside the building unless otherwise specified in a Temporary Activity Permit or Special Event Permit for a particular event.

The project site is identified as an Employment and Revenue-Generating Site in Figure 6-1 of the *2040 General Plan*. Therefore, the City's tax base and other substantial revenue sources within the City would only be increased upon approval of the proposed project. Additionally, the proposed use is consistent with the City's approved funding priorities in that there is no public funding proposed for the development.

With the incorporation of the conditions identified above, the proposed use will not be detrimental to the health, safety, and general welfare of the City, nor create a nuisance or enforcement problem within the neighborhood. The proposed project will help promote the general welfare of residents by occupying a site that would otherwise remain vacant.

The proposed project will support the goals of creating a vibrant, economically prosperous, visually interesting, and engaging atmosphere by drawing the community to Old Town Pittsburg, thereby increasing pedestrian traffic for surrounding sites and businesses.

Census Tract 3090 and Alcohol License Concentration

The State of California Department of Alcoholic Beverage Control (ABC) is responsible for regulating alcoholic beverages to ensure compliance with state laws and promote responsible consumption. All business owners in the state must go through ABC to obtain the appropriate alcohol license prior to obtaining a certificate of occupancy. ABC regulates the number of businesses allowed to sell alcoholic beverages to customers for on-site consumption ("On-Sale" licenses) within each census tract.

The list below provides examples of the different “On-Sale” license types:

- Type 41: Restaurant authorized to sell beer and wine.
- Type 42: Bar/Tavern authorized to sell beer and wine.
- Type 47: Eating Place authorized to sell beer, wine, and distilled spirits. Minors are allowed.
- Type 48: Bar/Nightclub authorized to sell beer, wine, and distilled spirits. No minors allowed and food service is not required.
- Type 51: Private Club authorized to sell beer, wine and distilled spirits to members and guests only.

The applicant will be required to obtain a Type 47 license from ABC in order to sell beer, wine and distilled spirits for consumption on the premises as part of the proposed full-service restaurant operation.

Each County in California is allotted a specific number of “On-Sale” licenses, identified by census tract and determined based on population. The proposed business is located within Census Tract 3090, which is outlined in yellow in the figure below:



For Census Tract 3090, ABC's threshold for "On-Sale" licenses is four. Currently, there are 12 active "On-Sale" licenses belonging to the following businesses:

- | | |
|--|-----------|
| 1. La Veranda Ristorante Italiano | (Type 47) |
| 2. Waterfront Grill | (Type 47) |
| 3. Creasian Bistro | (Type 47) |
| 4. Pinedas | (Type 48) |
| 5. Elks Lodge | (Type 51) |
| 6. Pittsburg Yacht Club | (Type 51) |
| 7. Dale Vino Wine Bar | (Type 41) |
| 8. New Mecca Café | (Type 41) |
| 9. Lumpys Diner | (Type 41) |
| 10. EJ Phair (Headlands) | (Type 41) |
| 11. Fishermen's Catch Fish Market & Restaurant | (Type 41) |
| 12. Doctorbird Market | (Type 42) |

Because the number of active licenses exceeds ABC's threshold in this census tract, the City of Pittsburg must make a Public Convenience and Necessity (PCN) Determination. Staff believes there are a variety of reasons and benefits to supporting the PCN Determination:

1. **Business Retention.** Wine, beer and alcohol service, in conjunction with a full-service restaurant, would help to sustain the operation of a restaurant at this location. Alcohol sales have a large impact on a restaurant's financial viability and help small restaurant businesses survive when it would otherwise struggle.
2. **Economic Benefit.** The addition of the alcohol license could lead to job creation within the Old Town neighborhood, including bartenders, servers, security staff and other related positions. Additionally, revenue from the sale of alcohol could contribute to local tax income which could be used to fund public services such as schools, roads and emergency services.
3. **Community Benefit.** The proposed business would provide a unique venue to the Old Town neighborhood which may cater to customers seeking social spaces for dining, entertainment, social gatherings, cultural events, and community interaction, all of which would improve the vibrancy of the area. The proposed venue may also attract tourists or people from neighboring areas, boosting the local economy and supporting other nearby businesses.
4. **Public Safety and Regulation.** The proposed business would be regulated by ABC, as well as the City of Pittsburg, and be required to adhere to Use Permit conditions of approval. Therefore, the City can ensure the establishment is following proper regulations, is maintaining the character and safety of the area and the City can monitor issues such as excessive noise, overcrowding and/or disorderly conduct.

5. Downtown Revitalization. The addition of the alcohol license for a new venue could attract a new customer base, furthering economic revitalization of the Old Town neighborhood and increasing opportunities for economic development in the downtown core consistent with several goals and policies in the Downtown Element of the *2040 General Plan*.

ACTION REQUIRED:

Move to adopt a Resolution, approving Use Permit application No. 25-0007, subject to conditions.

ATTACHMENTS:

1. Proposed Resolution
2. Existing Conditions Photos
3. Surrounding Land Uses Map
4. Project Plans and Trash Exhibit
5. Public Hearing Notice

Prepared by: Alison Spells, Senior Planner

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Approval of a Use Permit to establish a)
Full-Service Restaurant with Alcohol Sales)
and Live Entertainment at 337 Railroad Ave.,) Resolution No.
in the Pedestrian Commercial (CP) District for)
“Blue Sports Bar and Lounge, AP-25-0007)
(UP).” Assessor’s Parcel No. 085-108-016.)

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On February 4, 2025, Christopher Williams filed Use Permit Application No. 25-0007, requesting to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot commercial building located at 337 Railroad Avenue in the Pedestrian Commercial (CP) District. Assessor’s Parcel No. 085-108-016.
- B. The proposed project is governed by the policies, development standards, and guidelines contained in the Pittsburg General Plan, Pittsburg Municipal Code (PMC) Title 18 (Zoning).
- C. This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, “Existing Facilities” of the State CEQA Guidelines Section 15301.
- D. On or prior to Friday, March 14, 2025, notice of the March 25, 2025, public hearing to consider this application was posted at City Hall, and on the “Public Notices” section of the city’s website; was delivered to the Pittsburg Library; and was mailed via first class or electronic mail to the applicant, to the property owner, to owners of property located within 300 feet of the proposed project site, to local service agencies expected to provide services to the business, and to individuals who had previously filed written request for such notice, in accordance with PMC section 18.14.010 and Government Code section 65091. The notice was also posted on www.nextdoor.com (“Nextdoor”) and was sent directly to all subscribed residents in the “Old Town Pittsburg” Nextdoor neighborhood.
- E. On March 25, 2025, the Planning Commission held a public hearing on Planning Application No. 25-0007, at which time oral and/or written testimony was considered.

Section 2. Findings

- A. Based on the Planning Commission Staff Report entitled, “Blue Sports Bar & Lounge, AP-25-0007 (UP)” and based on all the information contained in the Planning Division files on the project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburg, and based on all written and oral testimony presented at the meeting, the Planning Commission finds that:
1. All recitals above are true and correct and are incorporated herein by reference.
 2. The applicant is requesting approval to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment. The applicant is requesting to operate seven days a week from 11:00 am - 10:00 pm weekdays (Monday through Thursday) and 11:00 am - 12:00 am on weekends (Friday – Sunday), with security on-site from 9:00 pm - 12:00 am on weekends (Friday – Sunday). The proposed use is defined under the Eating and Drinking Establishment use classification listed in PMC 18.08.080(13). “Restaurant or Alcoholic Beverage Establishment with Live Entertainment” is defined in PMC 18.08.080(13)(h) as a conditionally permitted use in the CP District with an approved Use Permit, subject to the following additional use regulations:
 - a. L-126: The provision of alcoholic beverages requires a conditional use permit for any restaurant if it will create “undue concentration” as defined in the Alcoholic Beverage Control (ABC) Act under Section 23958.4.
 - b. L-127: Permitted for full-service restaurants with an active Alcoholic Beverage Control License. The restaurant must be operated and maintained as a bona fide eating place, which requires the actual and substantial sales of meals during the normal hours that they are open, at least five days a week. Actual and substantial food and meal sales must occur on site until at least two hours before closing. Conditional use permit required for self-service restaurants with full alcoholic service.
 - c. L-129: Permitted for live or recorded music in full-service, self-service restaurants, and/or food shops, between the hours of 10:00 a.m. and 10:00 p.m.; provided, that the noise generated is not audible beyond the property line or lease space for the use. When the provisions above are not met, a conditional use permit, special event permit or temporary activity permit is required.
 3. The proposed Full-Service Restaurant with Alcohol Sales and Live Entertainment use:

- a. Is in accord with the objective of the Zoning Ordinance, the purposes of the land use district in which it is located and is appropriate to the specific location, in that a “Restaurant or Alcoholic Beverage Establishment with Live Entertainment”, is a conditionally permitted use in the CP District.
- b. Will not be detrimental to the health, safety, and general welfare of the City, in that any such use will meet health and safety requirements of the Pittsburg Community Development Department, the Contra Costa County Fire Protection District, and the Environmental Health Division of Contra Costa Health Services;
- c. Will not adversely affect the orderly development of property within the City. The proposed use will occupy an existing commercial space that has previously been operated as a restaurant, and the applicant is not proposing to expand the use or make changes that could impact the orderly development of the surrounding area.
- d. Will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the City, as the continued occupancy of empty tenant spaces throughout Old Town will increase property values as well as the City's tax base;
- e. Is consistent with the 2040 General Plan, specifically Goals 2-5 and 5-1, in that the proposed project would promote Pittsburg’s Old Town neighborhood as a vibrant downtown, destination point and symbolic City center with a mix of uses, walkable, pedestrian-oriented areas with shopping, restaurants, entertainment, offices, and housing;
- f. Will not create a nuisance or enforcement problem if the applicant abides by all Conditions of Approval included with the Use Permit, all City codes and regulations, and all regulations of any other affected out agencies. Additionally, the business owner shall be required to maintain a valid Department of Alcoholic Beverage Control (ABC) license in good standing at all times; and the Pittsburg Police Department reserves the right to amend the conditions of the Alcoholic Beverage Control license and require the business owner to provide additional public safety measures as determined necessary by the Chief of Police, at the business owner's sole expense to ensure that the Pittsburg Police Department can adequately address potential public safety concerns;
- g. Will not encourage marginal development within the neighborhood, in that the business will occupy a vacant tenant space located along Railroad Avenue in Old Town and does not involve construction of a new building or building addition;
- h. Will not create a demand for public services within the City beyond that of the ability of the City to meet in the light of taxation and spending

restraints, in that the project site is located in an area of the City served by existing utilities, and the business will be maintained and operated at the cost of the applicant;

- i. Is consistent with the City's approved funding priorities in that there is no public money involved in this project;
- j. Is located in the Pedestrian Commercial (CP) District and the proposed business will create a vibrant, economically prosperous, visually interesting, and engaging pedestrian-oriented atmosphere along the primary downtown corridor, in that the Business Plan for "Blue Sports Bar & Lounge" indicates the business owners wish to create an inviting and unique atmosphere where customers can enjoy live soulful music, comfort food and sports entertainment in a welcoming and secure environment. The stated goals of the proposed business in the Business Plan are consistent with the goals in the *2040 General Plan* for the Old Town area of Pittsburgh.

B. The Staff Report entitled, "BLUE Sports Bar & Lounge, AP-25-0007 (UP)" dated March 25, 2025, is referenced hereto as additional support for findings.

Section 3. Decision

A. Based on the findings set forth above, the Commission hereby approves Planning Application No. 25-0007, subject to the following conditions:

City of Pittsburgh, Planning Division

1. Operation of the approved use in a manner inconsistent with this use permit shall be grounds for revocation of the use permit. Any major changes to the business operation shall be subject to review and approval by the Planning Commission at the City Planner's discretion.
2. The business owner shall maintain, in good standing, all appropriate permits and approvals required from the Department of Alcoholic Beverage Control (ABC). In accordance with California Business and Professions Code section 23800 E, if an application is ever filed to transfer ownership of the Alcoholic Beverage Control (ABC) license, the Pittsburgh Police Department shall reserve the right to amend the conditions of the Alcoholic Beverage Control license. If there is a conflict between the conditions of this resolution and the terms specified in the ABC license, the more restrictive term or condition shall govern.
3. This use permit approves on-site beer, wine and distilled spirits sales consistent with the requirements of an ABC Type 47 license. The business operator shall ensure that there is no provision of food or alcohol anywhere outside the building, other than to-go orders, unless otherwise specified in a Temporary Activity Permit or Special Event Permit for a particular event. Future outdoor dining and any

associated alcohol sales must be reviewed and approved by the Zoning Administrator.

4. Food service shall be available during all hours of operation.
5. The restaurant shall remain open to the public, including minors, unless otherwise permitted through a Temporary Activity Permit or Special Event Permit for a specific event.
6. The business operator shall ensure that there is no loitering on the sidewalks, rear or side yards, or streets surrounding the business tenant space, or within the nearby parking lots, during operating hours and within one (1) hour of business closing. If the business operator observes loitering, the Pittsburgh Police Department shall be notified immediately.
7. All future façade improvements and any desired changes to the exterior of the building must go through Administrative Design Review process with the Planning Division, will be subject to Old Town Design Guidelines and Principles and must be approved by the Zoning Administrator.
8. Any future signage associated with the proposed project will require a separate sign permit application that demonstrates consistency with the Old Town Design Guidelines and Principles.
9. The site and adjacent street and sidewalk shall be kept clean and free of all litter, debris, and refuse that may be generated from the operation of the business, at all times. There shall be no outside storage of materials, supplies, bins, or other equipment related to the business operation.
10. This use permit does not allow for outdoor dining. Should the applicant wish to allow for outdoor dining in the future, an Outdoor Dining Permit would be required by the Zoning Administrator.
11. The use permit should include the following conditions of approval to ensure that the operation of the restaurant does not negatively affect stormwater runoff or violate the City's National Pollutant Discharge Elimination System (NPDES) stormwater permit:
 - a. ensure that the dumpster/trash enclosure area is swept daily and that the debris is disposed of properly.
 - b. ensure that all employees and personnel are educated about pollution prevention and Best Management Practices.
 - c. ensure that employees bag and seal food waste prior to placing it into the dumpsters.
 - d. shall not allow floor mats to be cleaned or rinsed outdoors unless in a mop sink or bermed area draining to the sanitary sewer.

- e. ensure that detergents/degreasers are never used in the process of outdoor cleaning.
- f. shall hire only certified mobile surface cleaners, as defined by the City of Pittsburg, for cleaning of the outdoor dining areas.
- g. ensure the employees use dry cleanup methods where applicable.
- h. ensure that employees clean equipment, collect water and cleaning liquids, and dispose of water and cleaning liquids to the sanitary sewer, not to the exterior storm drain system or to any storm drain inlets/catch basins.

Contra Costa Environmental Health (CCEH)

- 1. A health permit is required for retail food facilities, including restaurants.
- 2. Plans must be submitted to CCEH and approved prior to the issuance of building permits for such facilities. Prior to the submission of plans, CCEH staff is available to meet with prospective developers/operators to discuss the requirements for these facilities and the plan review process.
- 3. Dumpster areas serving retail food facilities are required to have a drain to the sanitary sewer and provided with a hot/cold water supply. It is recommended that developers be informed of this requirement, since it is usually easier to plan for the installation of sewer and water in dumpster areas during initial construction rather than install these afterwards.
- 4. All retail food facilities must have approved restrooms.

California Department of Alcoholic Beverage Control (ABC)

- 1. The business operator must obtain the appropriate license for sale of beer, wine and/or distilled spirits prior to operation.
- 2. The business operator must obtain a Determination of Public Convenience and Necessity (PCN) for Census Tract 3090 from the local authority prior to operation.

City of Pittsburg, Public Works Department, Traffic

- 1. Americans with Disabilities Act (ADA) Compliance
The applicant shall provide an ADA curb stop for the ADA stall on Railroad Avenue shown in the plans.

City of Pittsburg, Public Works Department

- 1. Contra Costa County Fire Protection District (CCCYPD) may require a separate water supply line for fire protection and a backflow preventer device. If the CCCYPD requires a separate fire line, the existing $\frac{3}{4}$ water line may remain the

same, so long as the design Engineer does not recommend a larger than ¾ inch pipe for domestic use.

2. For a restaurant type of business, a grease trap or interceptor will need to be installed. The applicant shall coordinate with the Engineering Division on this requirement.
3. The applicant shall provide the Department of Public Works with a condition assessment of the existing pipes in the building. This information should include the size of the existing sewer line. If the sewer line is 4-inches, Public Works will evaluate whether a 6-inch sewer line may be necessary to accommodate all the restaurant and bar wastewater.

Contra Costa County Fire Protection District

1. **Changes of use or occupancy.** Changes shall not be made in the use or occupancy of any structure that would place the structure in a different division of the same group or occupancy or in a different group of occupancies, unless such structure is made to comply with the requirements of this code. (§102.3) CFC
2. **Tenant Improvement Permit Required.** The developer shall submit building Tenant Improvement construction plans and specifications for the subject project to the Fire District through the public portal (<https://confire.vision33cloud.com/citizenportal/app/landing>).

After the tenant improvement plans are approved, plans and specifications for all deferred submittals shall be submitted, including, but not limited to the following:

- Fire alarm
- Carbon Dioxide Systems
- Commercial kitchen hood extinguishing systems

All projects shall be submitted to the Fire District for review and approval prior to construction of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees.

3. **Water Supply for Firefighting.** The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of **1,500 GPM**. Required flow must be delivered from not more than **one (1) hydrant** flowing for a duration of **120 minutes** while maintaining **20-pounds residual pressure** in the main. (507.1), (B105) CFC.

To request a fire hydrant field flow test, email the Fire District Permit Technicians at permittech@cccfd.org or call the main office at (925) 941-3300.

4. **Fire Safety During Construction.** The owner or the owner's authorized agent shall be responsible for the development, implementation and maintenance of a written plan in compliance with NFPA 241, establishing a fire prevention program at the project site applicable throughout all phases of the construction. The plan shall be made available for review by the fire code official upon request. (Ch.33) CFC.
5. All plan submittals shall be submitted to the Fire District for review and approval prior to construction of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC.

City of Pittsburg, Building Division

1. All new businesses must acquire a Business License and a Certificate of Occupancy permit prior to opening any business in the City of Pittsburg.
2. On the cover sheet, please indicate the building Design Codes applicable to this project. The City of Pittsburg has adopted and enforces the following building Design Codes: 2022 California Administrative Code (CAC), 2022 California Building Code (CBC), 2022 California Historical Building Code (CHBC), 2022 California Existing Building Code (CEBC), 2022 California Green Building Standards Code (CGBSC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code (CEC Part 6), 2022 California Fire Code and the Pittsburg Municipal Code (RMC). Reference CBC Sec. 107.
3. On the cover sheet, please verify the Drawing Index includes all plan sheets. Reference CBC Sec. 107.
4. On the cover sheet, provide or verify the Code Analysis includes the proposed tenant's Use, Occupancy Group, Type of Construction, Separated or Nonseparated Mixed Occupancies, whether or not the building is Fire Sprinkled, Floor Area (S.F.), Number of Stories and Occupant Load. Reference CBC Sec. 111, 302.1, 401, 503, 508, 601, 903 and 1004.1.
5. The preparation of plans or specifications for commercial buildings and tenant improvements shall be performed by a licensed architect or engineer (Exception: Interior alterations that involve only non-bearing partitions). The licensed architect or engineer shall affix a stamp to the plans as evidence of the person's responsibility for the documents. Licensed Mechanical, Plumbing and Electrical Contractors may design the systems that they are to install.
6. The Site Plan shall include code compliant accessible parking spaces and

access aisles, and an accessible route from accessible parking spaces to all entrances and exterior ground floor exits. The clear width for sidewalks and walks shall be 48" minimum. The slope of the accessible route shall not exceed 1:20 (5%) in the direction of travel for walking surfaces, 1:12 (8.3%) in the direction of travel for ramps, and the cross slope shall not exceed 1:48 (2%). The slope of curb ramps shall not exceed 1:12 (8.3%). Where the accessible route crosses onto a vehicular route of travel, provide a 36" long continuous detectable warning mat where the pedestrian path crosses or adjoins the vehicular way, such as a driveway, to warn of potential hazards.

7. At least one accessible route shall be provided within the site from accessible parking spaces and accessible loading zones; public streets and sidewalks; and public transportation stops to the accessible building or facility entrance they serve. Where more than one route is provided, all routes must be accessible.
8. At least one accessible route shall connect accessible buildings, accessible facilities, accessible elements, and accessible spaces that are on the same site.
9. All exterior and interior accessibility requirements for this project, shall be designed and built to chapter 11B of the California Building Code.

City of Pittsburg, Police Department

1. A Video Surveillance system is required. The business owner shall provide the Pittsburg Police Department access to video surveillance immediately upon request, as related to a criminal investigation.
2. The business owner shall arrange for a door person to ensure legal entrance and capacity.
3. The City of Pittsburg Police Department reserves the right to require the business owner to ensure a bonded security guard is stationed at the main building entry from 9:00 p.m. until closing, Friday through Saturday. Days and hours of security may be adjusted based on need. The security guard shall ensure that there is no:
 - a) loitering on the sidewalk, side yard, and streets surrounding the business, or within the nearby parking lots; and
 - b) consumption of alcohol anywhere outside the building.
4. The business owner shall arrange for a portable roped-off area for patrons to wait in line for entrance if the need arises due to occupancy capacity.
5. The business owner shall ensure that there is no provision of alcohol anywhere outside the building unless otherwise specified in a Temporary Activity Permit or Special Event Permit for a particular event.

6. The business owner shall ensure that there is no loitering on the sidewalks, rear or side yards, or streets surrounding the business, or within the nearby parking lots, during operating hours and within one (1) hour of business closing.
7. It shall be the responsibility of the business owner to maintain the peace and order on and around the premises. All necessary steps shall be taken to ensure that the customers refrain from incidents of violence and/or intoxication that adversely impact the safety of the community. Should the business owner fail to control loitering, noise, public disturbances or incidents of violence and in the event that the business necessitates an increased police presence, the Chief of Police may require business owner to provide additional public safety measures, including but not limited to, video cameras, additional exterior lighting, hiring licensed and bonded security guards approved by the Police Department, or such other measures as determined necessary by the Chief of Police. Any such additional measures required by the Chief of Police shall be at the business owner's sole expense.
8. The business owner shall maintain, in good standing, all appropriate permits and approvals required from the Department of Alcoholic Beverage Control (ABC) and abide by the limitations and requirements therein. In accordance with California Business and Professions Code section 23800 E, if an application is ever filed to transfer ownership of the Alcoholic Beverage Control (ABC) license, the Pittsburg Police Department shall reserve the right to amend the conditions of the Alcoholic Beverage Control license. In the event that there is a conflict between the conditions of this resolution and the terms specified in the ABC license, the more restrictive term or condition shall govern.

Standard Conditions

1. **Standard Conditions of Development**
The Standard Conditions of Development, as adopted by the Pittsburg Planning Commission by Resolution No. 8931, shall apply as conditions of approval for this project as applicable. Where there is a conflict between the Standard Conditions and the project-specific conditions identified in this resolution, the specific conditions of this resolution shall govern.
2. **Design of Storm Drain, Water, and Sewer Facilities**
The design and construction of storm drain, water, and sewer facilities shall be in accordance with PMC Section 17.28.020.
3. **Compliance with PMC Title 12, 13, and 15**
All site development shall comply with PMC Title 12 (Streets, Sidewalks, and Utilities), Title 13 (Water and Sewers), and Title 15 (Buildings and Construction) as determined by the City Engineer. Issuance of a site development permit will be required whereby specific engineering requirements will be made as conditions of

approval.

4. Other Agency Requirements

The Developer shall comply with all the requirements of the Community and Economic Development Department and all other applicable local, state, and federal agencies.

5. Indemnification

Developer agrees to indemnify, defend, and hold harmless the City, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at developer's sole cost and expense. Developer may select its own legal counsel to represent developer's interests at developer's sole cost and expense. Developer shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

6. Expiration of Approval

Use Permit approval for the project shall expire on March 25, 2027, unless a building permit or grading permit has been issued or a written request for extension is filed with the Planning Division prior to the expiration date and subsequently approved by the Planning Commission. The approval shall be valid for no more than six months from the date of building or grading permit issuance, unless work is commenced and diligently pursued prior to the expiration of the building or grading permit.

Section 4. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner _____, seconded by Commissioner _____, the foregoing resolution was passed and adopted the 25th day of March 2025, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES:

NAYES:

ABSTAIN:

ABSENT:

I hereby certify that the above Resolution No. _____ was adopted by the Planning Commission of the City of Pittsburg on March 25, 2025.

JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION

Attachment 2
Existing Conditions Photos
BLUE Sports Bar & Lounge, AP-25-0007 (UP)

Fig. 1 Entrance to 337 Railroad Avenue Property from Railroad Avenue



Fig. 2 Planter adjacent to Railroad Avenue in front of 337 Railroad Avenue



Fig. 3 Recessed Entry and Display Windows for 337 Railroad Avenue
Looking Southeast from sidewalk on Railroad Avenue



Fig. 4 Interior of Commercial Structure at 337 Railroad Avenue



Fig. 5 Location of New Rear Exit Door for 337 Railroad Avenue
Looking West toward California Theatre Lobby/Elevator Rear Exit

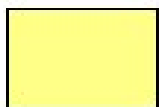


Fig. 5 Location of Rear Exit Route to E 3rd Street
Looking South toward E 4th Street



Emergency Exit Routes and Trash Enclosure

337 Railroad Avenue



Project Site



Trash Enclosure



Rear Exit Pedestrian Routes

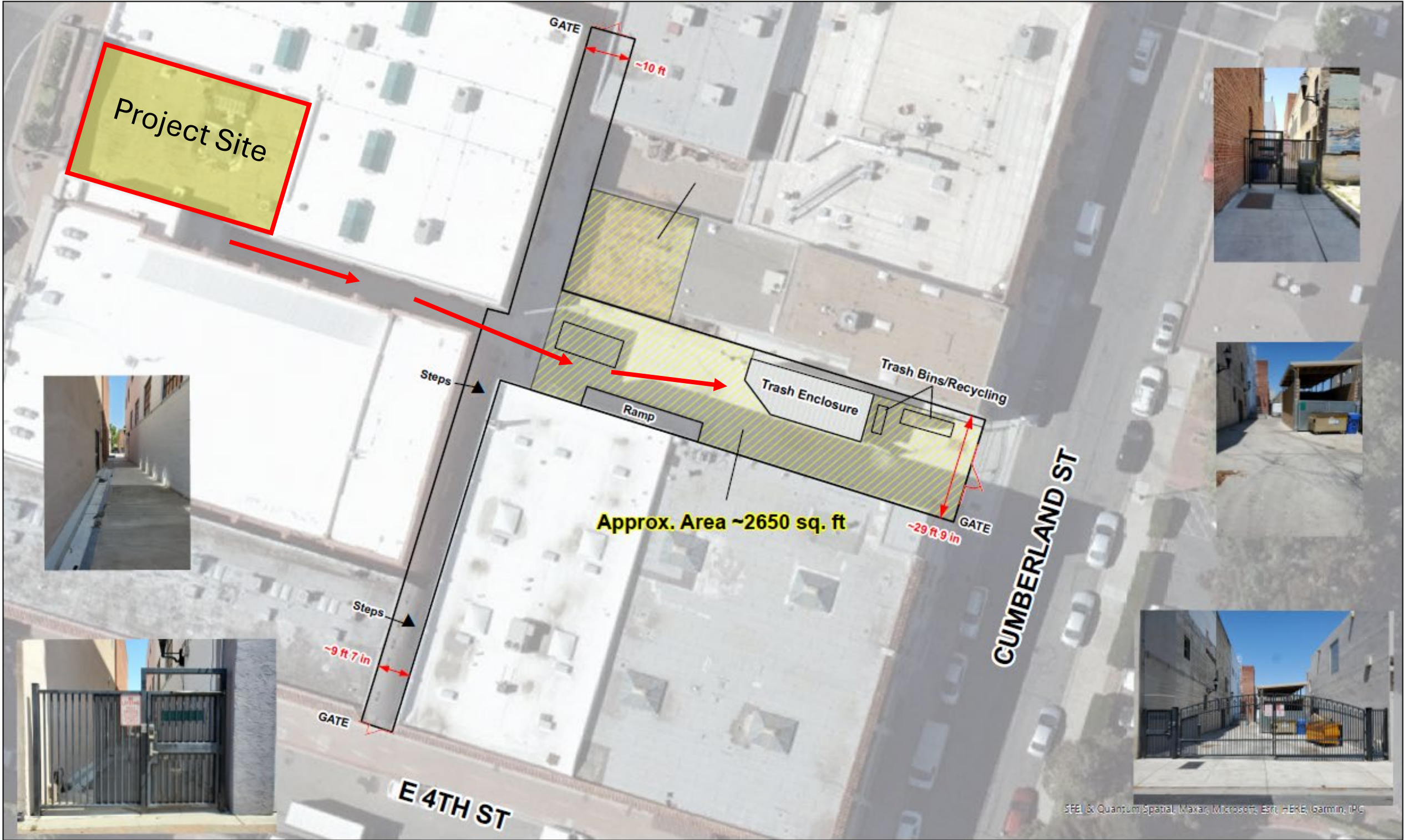


Secured Gate



New Rear Exit Door

337 Railroad - Trash Exhibit



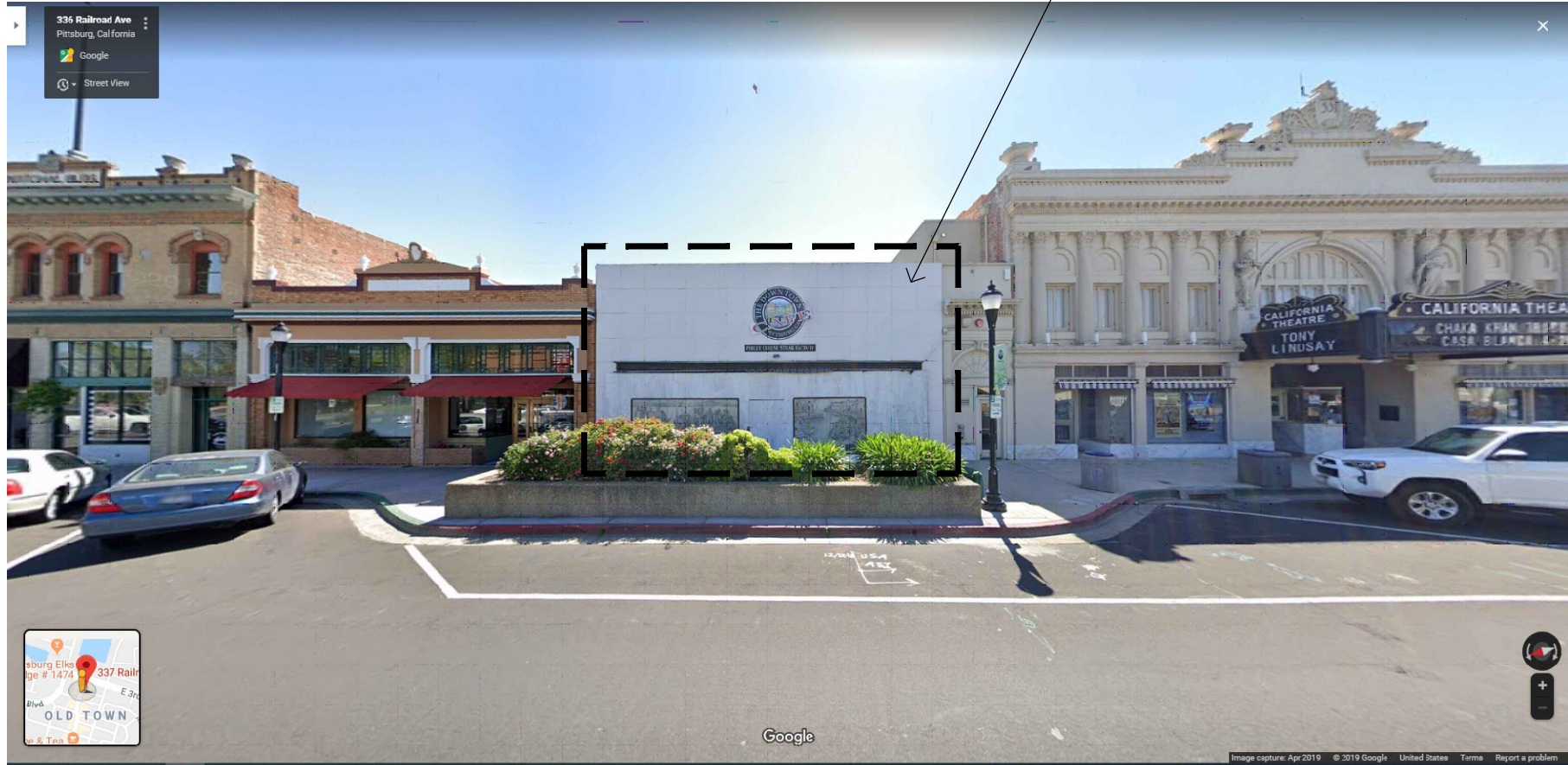
Attachment 3 - Surrounding Land Uses

Blue Sports Bar & Lounge, AP-25-0007 (UP)



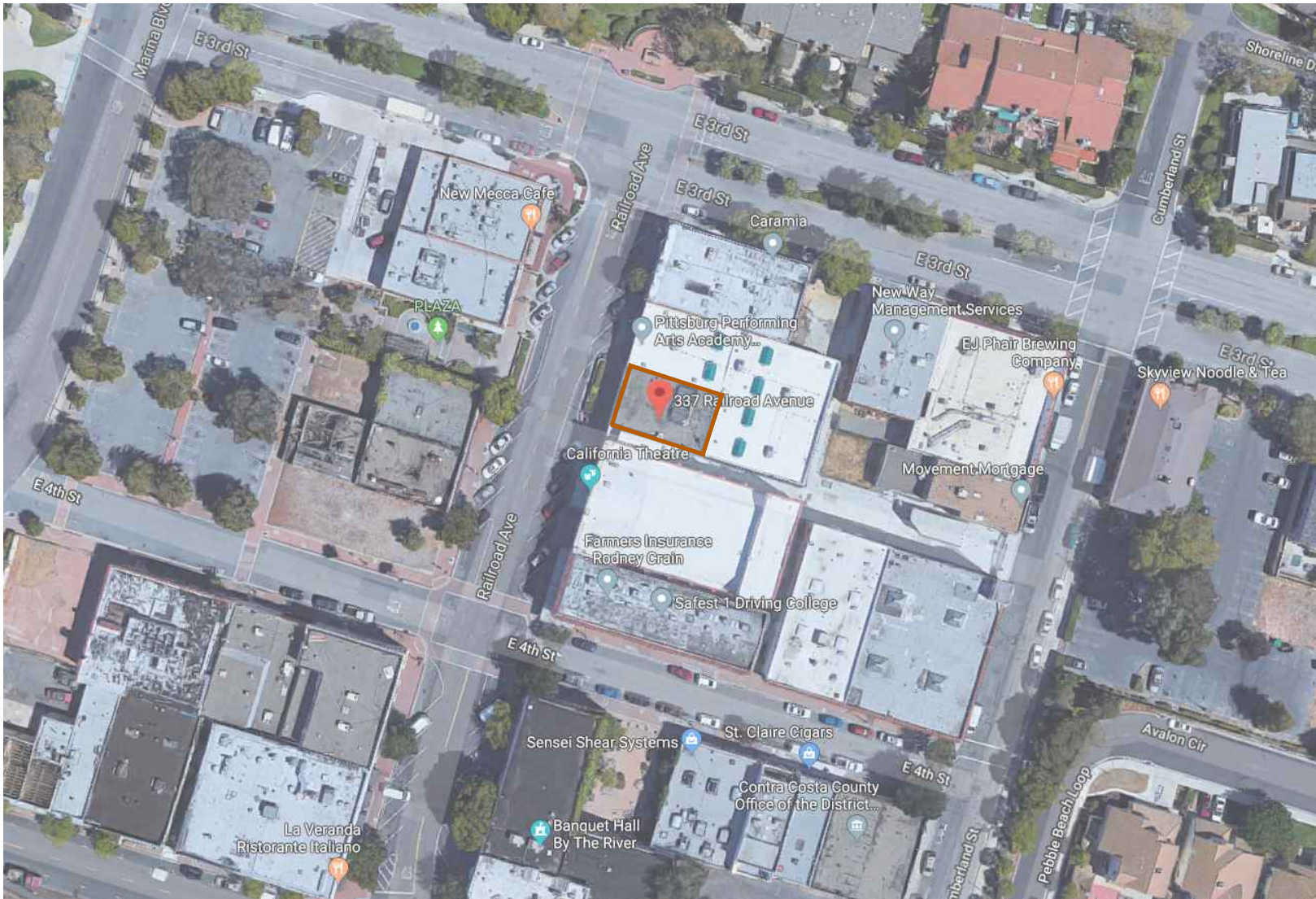
(E) STREET VIEW

NTS



CONTEXT MAP

NTS



GENERAL NOTES

- UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE DRAWINGS, THE FOLLOWING NOTES SHALL APPLY THROUGHOUT CONSTRUCTION.
- ALL NEW CONSTRUCTION SHALL CONFORM TO LATEST CODES SHOWN ON THE PROJECT DATA
- ANY DISCREPANCY IN THE DRAWINGS SHALL BE REFERRED TO THE DESIGNER FOR FURTHER CLARIFICATION BEFORE STARTING CONSTRUCTION.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF WITH THESE PLANS AND THE EXISTING SITE CONDITIONS, PRIOR TO START OF CONSTRUCTION.
- VERIFY ALL PLAN DIMENSIONS AND ROUGH OPENING REQUIREMENTS PRIOR TO START OF FRAMING.
- INDICATED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ALL WORK SHALL EQUAL OR EXCEED ALL CURRENT APPLICABLE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, FIRE, SAFETY, AND ZONING CODES AND ORDINANCES.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE LINE DIAGRAMS, LOAD CALCULATIONS, SHOP DRAWINGS, ETC., TO THE OWNER'S REPRESENTATIVE AND/OR LOCAL BUILDING OFFICIALS FOR APPROVAL.
- VERIFY LOCATIONS AND REQUIREMENTS FOR UNDERGROUND WORK AND WORK EMBEDDED IN SLABS INCLUDING UTILITY SERVICE, SANITARY SEWER, DRAINAGE AND IRRIGATION PRIOR TO START OF WORK. SPECIAL COORDINATION WITH UTILITY COMPANIES WILL BE REQUIRED TO COORDINATE GAS, ELECTRIC, CABLE, AND WATER SERVICE LINES.
- VERIFY SPACE REQUIRED FOR PLENUMS AND DUCTS WITH HEATING CONTRACTOR BEFORE START OF WORK.
- VERIFY SPACE REQUIRED AND COMPLIANCE WITH CODE REQUIREMENTS FOR PIPING AND DRILLING THROUGH STRUCTURAL WOOD MEMBERS BEFORE START OF WORK.
- BOLTS BEARING ON WOOD SHALL HAVE STANDARD CAST IRON OR MALLEABLE IRON WASHERS. BOLTHOLES SHALL BE DRILLED TO THE NET DIAMETER OF BOLTS.
- EXTEND AND/OR MODIFY ALL EXISTING SUBSURFACE DRAINAGE SYSTEMS, AS REQUIRED AT NEW AND REMODELED AREAS, INCLUDING ROOF DRAIN SOLID COLLECTOR, PERIMETER SUBDRAIN, AND CRAWLSPACE DRAINS (IF ANY).
- GRADE TO DRAIN AWAY FROM FOUNDATIONS A MINIMUM OF 5%.
- INSTALL WATER RESISTANT GYPSUM BOARD (FULL HEIGHT) AROUND ALL SHOWER ENCLOSURES AND BEHIND ALL PLUMBING FIXTURES, EXCEPT BEHIND TILE, INSTALL DUROC, WONDERBOARD, OR SIMILAR PRODUCT.
- ALL WALLS WITH SHEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH. FURR WALLS OR CONTINUE PLYWOOD TO MAINTAIN THE REQUIRED FLUSH FINISH
- ALL EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO THE CITY OR COUNTY SECURITY ORDINANCE. HINGED EXTERIOR DOOR AND FIRED DOOR BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE CONSTRUCTED SO THAT IS SELF-CLOSING, SELF LATCHING AND 20 MIN. SOLID CORE DOOR.
- ALL WALLS OVER 10'-0" TALL SHALL BE 2x6 STUDS @ 16" ON CENTER MIN, WITH FIRE BLOCKING @ 10'-0" INTERVALS
- ALL ANGLES OTHER THAN 90° SHALL BE 45° UON.
- PROVIDE BACKING FOR ALL TOWEL BARS AND TISSUE HOLDERS IN BATHROOMS, TYPICAL.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UON.
- VERIFY ALL FINISH MATERIALS WITH OWNER PRIOR TO INSTALLATION.
- CEILING HEIGHTS ARE MEASURED FROM TOP OF SUBFLOOR, TYPICAL.
- ALL TEMPERED GLASS SHALL BE AFFIXED W/ A PERMANENT LABEL.
- SHOWERS AND TUB/SHOWER FIXTURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- AT LEAST ONE WINDOW IN SLEEPING ROOMS SHALL HAVE SILL HEIGHTS FROM THE CLEAR OPENING NOT MORE THAN 44-INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREETS, PUBLIC ALLEYS, YARDS, OR EXIT COUNTY. MIN. 5.7 SQ.FT.
- ALL DOORS SHALL BE FRAMED WITH 4" JAMBS, TYPICAL UON.
- PROVIDE SAFETY GLAZING AT SPECIFIC LOCATIONS ON PLANS WHERE BOTTOM OF WINDOW WILL BE LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

DEMOLITION NOTES & LEGEND

- PROVIDE DEMOLITION AS SHOWN ON DRAWINGS. OBTAIN ALL REQUIRED PERMITS AND APPROVALS PRIOR TO BEGINNING DEMOLITION.
- COMPLETELY CONTROL AND REMOVE ALL DEMOLITION DEBRIS, SCRAPS AND DUST. SALVAGEABLE ITEMS SHALL REMAIN THE PROPERTY OF THE OWNER AND AS NOTED ON THE DRAWINGS. OBTAIN DIRECTION FROM OWNER REGARDING REMOVAL AND/OR STORAGE OF SALVAGED ITEMS.
- DEMO EXISTING DOORS AS NOTED ON THE DRAWINGS.
- RE-ROUTE PLUMBING FOR FIXTURES TO BE RELOCATED.
- PROVIDE SAFE AND ADEQUATE TEMPORARY SUPPORT WHERE STRUCTURAL ASSEMBLIES ARE DISRUPTED BY DEMOLITION.
- VERIFY ROUGH OPENING SIZES REQUIRED AT ALL NEW DOORS.

	EXISTING STUD WALL
	EXISTING 2X STUD WALL FRAME TO BE DEMOLISHED. VERIFY DEMOLITION REQUIREMENTS.
	EXISTING DOOR TO BE REMOVED
	EXISTING SWITCH/OUTLET TO BE RELOCATED W/ (N) PER ELEC. PLAN, V.I.F.

FLOOR PLAN NOTES & LEGEND

- WALL FRAMING TO COMPLY PER STRUCTURAL DRAWINGS.
- WALL STUD SIZE TO BE 2X4 (U.O.N.) ON PLANS. SEE STRUCTURAL PLANS FOR ACTUAL STUD & POST REQUIREMENTS.
- THERMAL INSULATION SHALL COMPLY WITH T-24 ENERGY COMPLIANCE.
- FIRE BLOCKS ARE REQUIRED IN THE LOCATIONS PER CBC. FIRE BLOCK CONSTRUCTION SHALL BE 2-INCH NOMINAL LUMBER.
- DIMENSIONS AT WINDOWS ARE TO THE CENTER LINE.
- ALL ANGLES SHALL BE 90 DEG. (U.O.N.)
- ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC. ALL SAFETY GLAZING SHALL COMPLY WITH CBC.
- LABELED SAFTY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS, PER CBC
 - TUBS, SHOWERS, & TUB/SHOWERS ENCLOSURES
 - ADJACENT TO AND WITHIN 24" RADIUS OF EITHER EDGE OF DOORS; IN CLOSED POSITION, INCLUDING PERPENDICULAR WALL TOWARD WHICH DOOR SWINGS WHEN OPENED.
 - ALL SLIDING GLASS DOORS - GLAZING WITH 60" FROM BOTTOM OF TUBS/SHOWERS.
- ALL WINDOWS AND DOOR HEADERS HEIGHTS PROVIDED PER EXTERIOR ELEVATIONS, (U.O.N.)
- EMERGENCY EGRESS OPENINGS AT GRADE FLOOR LEVEL SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT. AND 5.7 SQ. FT.
- WHERE OPERABLE WINDOW WHOSE SILL IS GREATER THAN 72" ABOVE OR BELOW FINISH GRADE SURFACE, SHALL BE NO LESS THAN 24" TO FINISH FLOOR.
- CEILING HEIGHTS ARE TO BE MEASURED FROM THE TOP OF THE SLAB TO BOTTOM OF TRUSS FRAMING.
- PROVIDE SOUND ATTENUATING BATTEN INSULATION AT ALL PLUMBING WALLS, AND AT NON-PLUMBING WALL SURROUNDING BATHROOMS. INSULATION SHALL BE INSTALLED SO THAT THERE IS NOT DIRECT CONTACT BETWEEN PLUMBING PIPES AND INSULATION.
- SHOWER RECEPTORS AND SHOWER COMPARTMENTS SHALL CONFORM WITH CPC.
- WATER CLOSETS SHALL BE MAXIMUM 1.28 GALLONS PER FLUSH.
- WALLS AT SHOWER SHALL BE FINISHED WITH A SMOOTH HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 70" ABOVE THE DRAIN INLET. GREEN BOARD IS NOT ALLOWED BEHIND THE NON-ABSORBENT SURFACE PER CBC.
- ALL EXTERIOR DOOR AND WINDOWS SHALL MEET THE MINIMUM STANDARDS AS ESTABLISHED BY THE CBC.
- LANDINGS AT EXTERIOR DOORS SHALL NOT EXCEED 7-3/4" BELOW TOP OF THRESHOLD PROVIDED DOOR DOES NOT SWING OVER LANDING, OR IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS. WHERE DOOR IS A COMPONENT OF EGRESS THE THRESHOLD SHALL NOT EXCEED 3/4" FROM TOP OF LANDING TO TOP OF THRESHOLD.
- MAX. THRESHOLD HEIGHT FOR SLIDING DOORS SERVING AS MAIN EGRESS SHALL NOT EXCEED 3/4", AND 3/4" FOR ALL OTHER DOORS. RAISED THRESHOLDS & FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED W/ SLOPE NOT GREATER THAN 1:2 (50%).
- PROVIDE APPROVED FIRESTOP MATERIAL AT PENETRATIONS AS REQUIRED PER CBC.

	NEW 2X STUD WALL FRAME.
	EXISTING 2X STUD WALL FRAME TO BE DEMOLISHED. VERIFY DEMOLITION REQUIREMENTS.
	REMOVE DOOR AND FRAME, FILL AND FINISH OUT OPENING TO MATCH ADJACENT WALL. VERIFY DEMOLITION REQUIREMENTS.
	OPENING AT EXISTING WALL TO INSTALL NEW WINDOW OR DOOR. VERIFY DEMOLITION REQUIREMENTS.
	BUILDING SECTION REFERENCE

CALGREEN REQUIREMENTS:

LISTED TAMPERED-RESISTANT RECEPTACLES SHALL BE PROVIDED WHERE REPLACEMENTS ARE MADE AT RECEPTACLE OUTLETS CEC406.4(D)(5) AND 406.12
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER
ANNULAR SPACES AROUND PIPES ,ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE , AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS
DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT SHALL BE COVERED DURING CONSTRUCTION
ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS
AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS
DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED
CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS
80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA

REFLECTED CEILING & ELECTRICAL PLAN NOTES

NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH CEC, CFC, & CBC.

- ALL LIGHTING FIXTURES SHALL BE HIGH-EFFICACY, IN COMPLIANCE WITH TABLE 150.0-A. PER CEC 150.0(k)(1)(A).
- ALL HARDWIRED LIGHTING IN BATHROOMS AND GARAGE SHALL BE HIGH EFFICACY & BE CONTROLLED BY A MANUAL - ON OCCUPANT SENSOR.
- ELECTRICAL FIXTURES OVER TUB & SHOWER SHALL BE ENCLOSED, GASKETED AND LISTED FOR WET LOCATIONS.
- PROVIDE GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS:
 - ALL BATHROOMS
 - SERVING COUNTERTOP SURFACES AS SHOWN ON DRAWINGS.
 - WITHIN 25 FEET OF A/C CONDENSER.
 - WITHIN 6 FT FROM OUTSIDE EDGE OF BAR SINK.
- PROVIDE RECEPTACLE OUTLETS IN THE FOLLOWING LOCATIONS:
 - RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6FT.
 - ANY WALL SPACE 2 OR MORE FEET WIDE.
 - EXTERIOR MOUNTED RECEPTACLES SHALL BE EQUIPPED W/ PROTECTIVE BUBBLE COVER.
 - AS SHOWN ON DRAWINGS AND VERIFIED WITH OWNER.
- PROVIDE AN OPEN SERVICE AREA OF 30"x36" DIRECTLY IN FRONT OF EMERGENCY DISCONNECT AT A/C CONDENSER.
- ALL RECESSED FIXTURES SHALL BE LABELED AS BEING CERTIFIED INSULATION CONTACT/AIR TIGHT UNITS (I.C.A.T. RATED) AND HAVE A LEAKAGE RATING OF LESS THAN 2.0 AT 75 PASCALS.
- ALL OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY & BE CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR COMBINATION.
- ALL 120-V, SINGLE PHASE, 15-AMP & 20-AMP BRANCH CIRCUITS THAT SUPPLY OUTLETS (I.E., RECEPTACLES LIGHTS, SMOKE DETECTORS, ETC.) INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. C.E.C. ARTICLE 210.12(B).
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATCC VENTS).
- A DEDICATED 20 AMPERE CIRCUIT TO SERVE THE REQUIRED BATHROOM OULETS. THIS CIRCUIT CAN NOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.
- KITCHEN TO HAVE (2) 20-AMPERE SMALL APPLIANCE CIRCUITS. KITCHEN LIGHTING TO BE HIGH EFFICACY.
- PROVIDE AFCI PROTECTED OUTLETS IN ALL BEDROOMS.
- PROVIDE INTERCONNECTED HARD WIRED SMOKE DETECTORS.
- OUTLETS TO BE TAMPER RESISTANT. C.E.C. ARTICLE 406.11
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY / STORAGE ROOMS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES IS TO BE CONTROLLED BY A VACANCY SENSOR. SEC 150(K)2J
- FOR THE LAUNDRY ROOM: LAUNDRY RECEPTACLE OUTLET TO BE SUPPLIED BY A DEDICATED 20-AMP BRANCH CIRCUIT PER CEC 210.11(C)(2).

PROJECT ROSTER

OWNER:

GRE INVESTMENTS
337 RAILROAD AVENUE
PITTSBURG, CA 94565

CONSULTING ENGINEER:

TOMAS A. FERNANDEZ, P.E.
2678 NORTH MAIN STREET, SUITE # 27
WALNUT CREEK, CA 94596
(925) 932-6173

PROJECT DATA:

BUILDING OCCUPANCY: M
JURISDICTION: CITY OF PITTSBURG
ZONING: CP, PEDESTRIAN COMMERCIAL
TYPE OF CONSTRUCTION:
STORIES: 1
APN: 085-108-016-8
FIRE SPRINKLER SYSTEM: NONE

BUILDING AREAS:

(E) BUILDING AREA = 2,400 sf.

SCOPE OF WORK

- SHELL BUILDING REMODEL
- STRUCTURAL RETROFIT
- NEW ROOFING
- NEW ELECTRICAL & MECHANICAL
- NEW RESTROOM
- A.D.A. UPGRADE OF (E) FRONT RESTROOM
- NOT INCLUDED IN SCOPE:
- TENANT IMPROVEMENT PLANS (TO BE SUBMITTED BY FUTURE TENANT)

BUILDING CODES

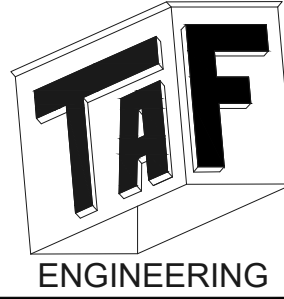
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA ENERGY CODE (CEnc)
- 2022 CALGreen Code
- LOCAL CODE & ORDINANCES

DRAWING INDEX

ARCHITECTURAL DRAWINGS
CS COVER SHEET
A1.1 SITE PLAN
A2.1 FLOOR PLANS
A3.1 A.D.A. DETAILS
T24.1 TITLE 24 REPORT
T24.2 TITLE 24 REPORT
T24.3 TITLE 24 REPORT
T24.4 TITLE 24 REPORT
T24.5 TITLE 24 REPORT

DEFERED SUBMITTALS

- TENANT IMPROVEMENT PLANS



DESIGNED OR PREPARED BY:

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CLIENT NAME:

GRE
INVESTMENTS

ADDRESS:

337 RAILROAD
AVENUE, PITTSBURG,
CA 94565

PROJECT NAME:

SHELL BUILDING
REMODEL

SHEET TITLE:

COVER SHEET

SHEET INFO:

DATE:	DEC. 2024
SCALE:	AS NOTED
DRAWN BY:	RVG
JOB #:	DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

CS

CONTEXT MAP

NTS

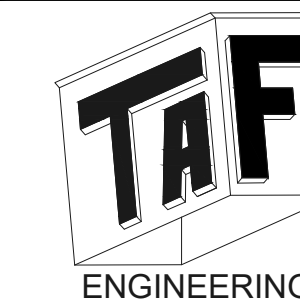


ADDRESS NUMBER

1. ADDRESS NUMBERS SHALL BE PLACED ON, OVER, OR ADJACENT TO THE FRONT DOOR OR GATE USED AS THE ENTRANCE TO THE BUILDING.
2. NUMBERS SHALL BE LIGHTED, EITHER INTERNALLY OR EXTERNALLY, AND SHALL BE EASILY SEEN FROM THE STREET

GAS SHUT-OFF

1. GAS SHUT-OFF VALVE SHALL BE PROVIDED AS REQUIRED BY PITTSBURG MUNICIPAL CODE.
2. VALVE SHALL BE LOCATED TO PROTECT THE ENTIRE BUILDING



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CLIENT NAME:

GRE
INVESTMENTS

ADDRESS:

337 RAILROAD
AVENUE, PITTSBURG,
CA 94565

PROJECT NAME:

**SHELL BUILDING
REMODEL**

SHEET TITLE:

SITE PLAN

SHEET INFO:

DATE:	DEC. 2024
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SCALE:	AS NOTED
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DRAWN BY:	RVG
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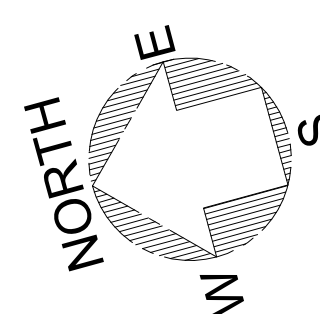
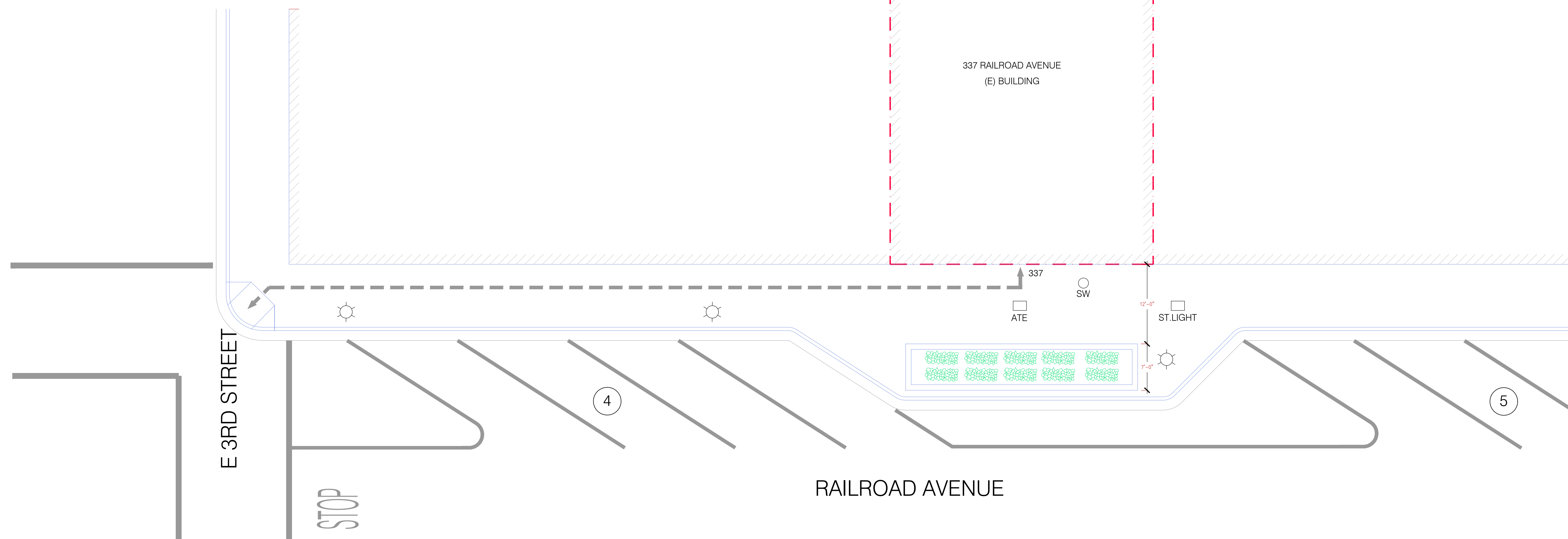
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2	FIELD REVISIONS	07-31-2024

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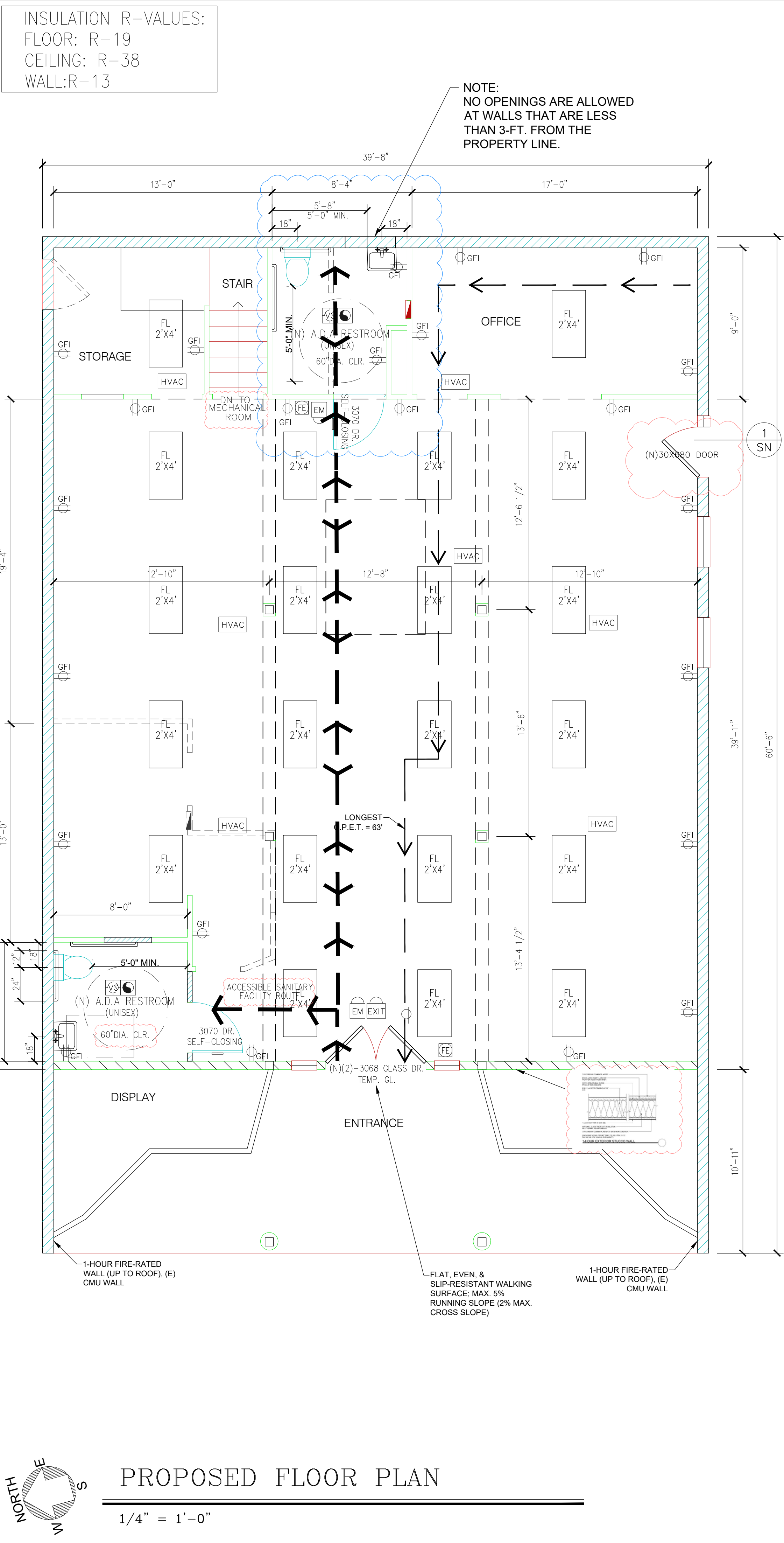
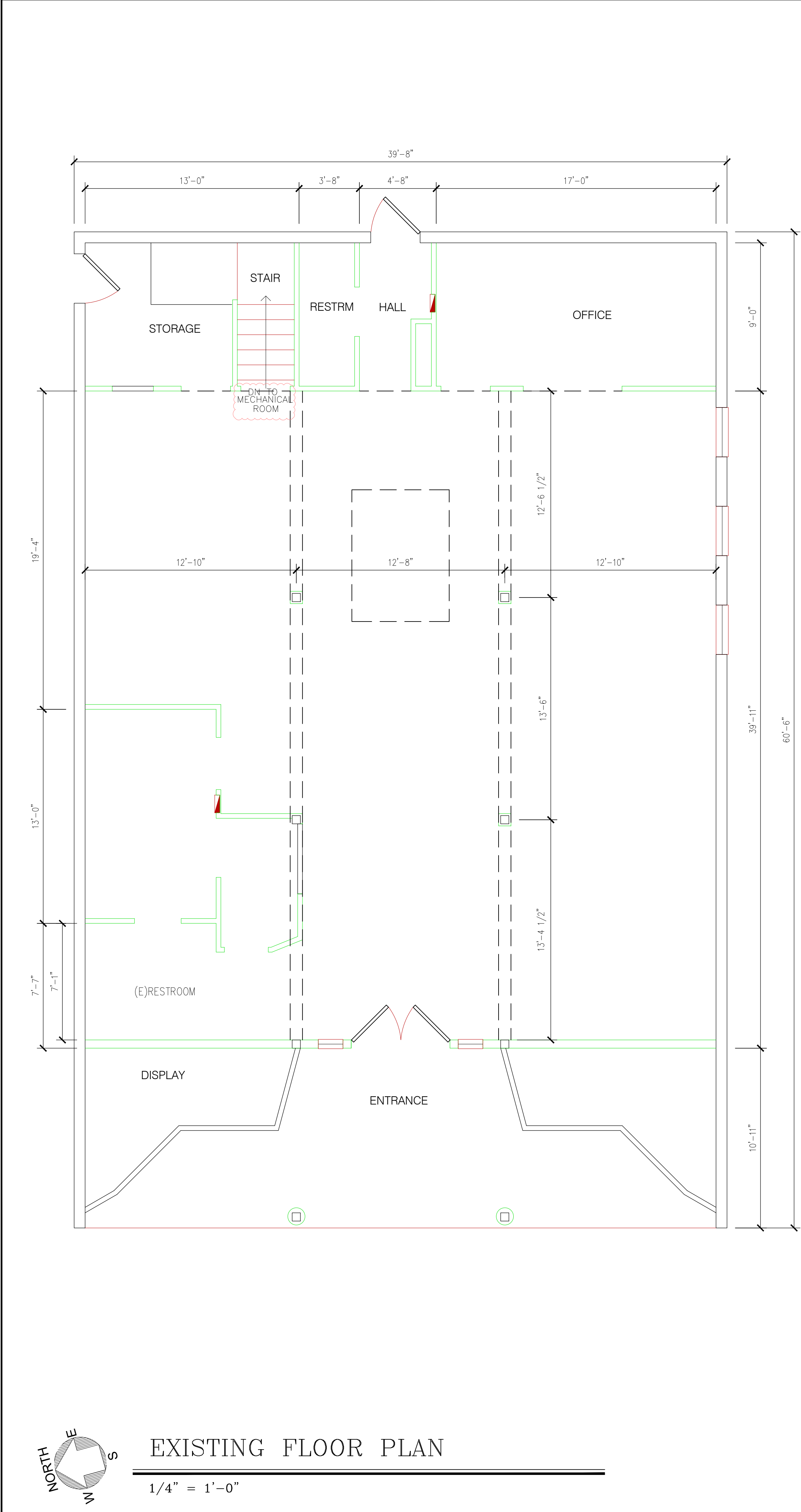
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SITE PLAN

$$1/8'' = 1'-0''$$

NOTE:
THE SITE PLAN IS PREPARED WITH THE
INFORMATION OBTAINED FROM THE
MEASUREMENTS PROVIDED BY THE OWNER.
DESIGNER DOES NOT ASSUME
RESPONSIBILITY ON THE PRECISE LOCATION
OF PROPERTY LINES.



ADA NOTES:

- A. DINING ROOM SEATING:**
- A MINIMUM OF 5% OF SEATS/TABLES SHALL BE ADA-COMPLIANT, UNLESS OTHERWISE NOTED (SUCH AS HIGH BAR COUNTERS, & SOME HIGH TABLES).
 - ACCESSIBLE DINING SHALL BE DISPERSED THROUGHOUT THE DINING AREA. CBC11B-226.2
 - PROVIDE CLEAR FLOOR SPACE OF 30"x48" MINIMUM POSITIONED FOR FORWARD APPROACH IN ACCORDANCE WITH CBC 11B-305. PER CBC 11B-306.3.3 EXCEPTION-2 AND 11B-306.3.4 EXCEPTION: THE KNEE CLEARANCE AT DINING AREAS SHALL EXTEND 19-IN. DEEP MINIMUM @ 27-IN ABOVE THE FINISH FLOOR & MAY NOT BE REDUCED.
 - TOPS OF DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND. CBC 11B-902.3
 - PROVIDE ACCESSIBLE COUNTER WHERE FOOD OR DRINKS ARE SERVED AND IS OVER 34 INCHES HIGH PER CBC11B-226.3. A PORTION OF THE MAIN COUNTER, (60" MIN. LENGTH), SHALL BE MOUNTED BETWEEN 28"-34" ABOVE THE FINISH FLOOR OR GROUND.
 - PROVIDE KNEE & TOE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE (SUCH AS BAR COUNTERS) IN ACCORDANCE WITH CBC 11B-306 & 11B-902.4.1. SEE CBC FIGURE 11B-306.3 FOR ILLUSTRATION.
 - PROVIDE AN ACCESSIBLE ROUTE TO DINING SURFACES. A 36"-MINIMUM CLEAR AISLE WIDTH FOR AISLE SERVING ONE SIDE, AND 44"-MINIMUM CLEAR AISLE WIDTH FOR AISLE SERVING BOTH SIDES. CBC 11B-206.5 & 11B-403.5.1 EXCEPTION 4.

DOOR HARDWARE REQ.:

- CLEAR WIDTH OF DOORWAYS ARE 32" MINIMUM.
- DOOR HARDWARE ARE OPERABLE WITH ONE HAND, AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE HANDS. CBC 11B-404.2.7 & 11B-309.4.
- DOOR THRESHOLDS COMPLY WITH CBC 11B-404.2.5.
- DOOR OPENING FORCE IS 5-POUNDS MAXIMUM FOR INTERIOR & EXTERIOR DOORS PER CBC 11B-404.2.9.
- DOOR OPENING HARDWARE IS MOUNTED 34" TO 44" ABOVE FINISH FLOOR PER CBC 11B-404.2.7.
- LOWER 10-INCH OF THE DOOR SURFACE IS PROVIDED WITH A SMOOTH SURFACE FOR FULL WIDTH OF THE DOOR, AT THE PUSH SIDE OF THE DOOR PER CBC 11B-404.2.10.

COVING:

- FLOORS IN FOOD ESTABLISHMENTS (EXCEPT IN SALES & DINING AREAS) SHALL BE DURABLE, SMOOTH, NONABSORBENT MATERIAL THAT IS EASILY CLEANABLE (e.g. QUARRY TILE, SEAMLESS EPOXY POURED FLOOR, APPROVED COMMERCIAL GRADE VINYL, OR OTHER APPROVED MATERIALS).
- PROVIDE AN APPROVED 3/4"-MIN.-RADIUS INTEGRAL COVED BASE, 4"-MIN. TOE KICKS AT THE EXPOSED EXTERIOR & INTERIOR FLOORWALL JUNCTIONS OF THE FOLLOWING AREAS BELOW. ALSO, PROVIDE SMOOTH, DURABLE, EASILY CLEANABLE AND NON-ABSORBENT WALL & CEILING FINISHES. TOP SET COVING NOT ALLOWED IN THESE LOCATIONS:
 - WALK-IN REFRIGERATOR.
 - KITCHEN (FOOD STORAGE, HANDLING, PREP AREA)
 - RESTROOMS
 - DISHWASHING & HANDWASHING AREAS
 - BAR (EMPLOYEE SIDE)
 - CUSTOMER SELF-SERVE AREAS, BEVERAGE STATIONS
 - WAIT STATIONS
 - JANITORIAL AREAS
 - EMPLOYEE LOCKER ROOMS OR PERSONAL BELONGING STORAGE AREAS
 - WHERE ANY FOOD IS NOT STORED IN THE ORIGINAL UNOPENED CONTAINERS.
 - INTERIOR WASTE DISPOSAL AREAS (GARBAGE, REFUSE, GREASE)

ANTI-SLIPPING AGENTS:

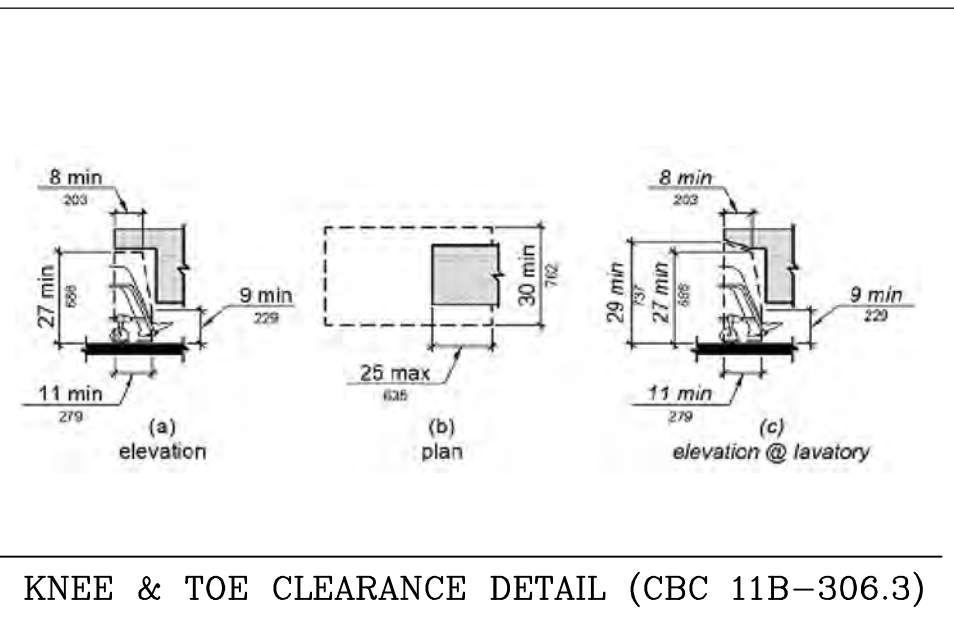
- ANTI-SLIPPING FLOOR AGENTS, SUCH AS ABRASIVES OR RAISED TREAD PATTERNS, ARE RESTRICTED TO TRAFFIC AREAS ONLY. THESE FLOORS MUST SLOPE TO A FLOOR DRAIN. FLOORING IN NON-TRAFFIC AREAS, UNDER EQUIPMENT, AND AT THE WALL/FLOOR AND TOE-KICK/FLOOR JUNCTIONS, MUST BE SMOOTH.

SINKS:

- ALL THREADED FAUCETS AT THE MOP SINK OR OTHER SINKS WITH ATTACHMENTS OF THE POSSIBILITY OF ATTACHMENTS (E.G. HOSES) SHALL BE PROTECTED AGAINST BACKFLOW/ BACKSIPHONAGE WITH APPROVED DEVICES.

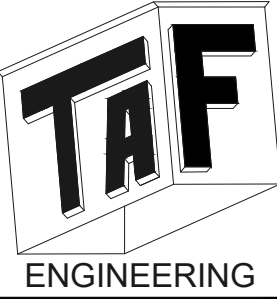
FLOOR PLAN LEGEND

	NEW 2X STUD WALL FRAME.
	EXISTING 2X STUD WALL FRAME TO REMAIN.
	EXISTING 2X STUD WALL FRAME TO BE DEMOLISHED. VERIFY DEMOLITION REQUIREMENTS.
	REMOVE DOOR AND FRAME. FILL AND FINISH OUT OPENING TO MATCH ADJACENT WALL. VERIFY DEMOLITION REQUIREMENTS.
	OPENING AT EXISTING WALL TO INSTALL NEW WINDOW OR DOOR. VERIFY DEMOLITION REQUIREMENTS.
	BUILDING SECTION REFERENCE



ELECTRICAL NOTES & LEGEND:

- A. GENERAL:**
- ALL RECEPTACLES IN THE KITCHEN NEED TO BE GFCI PROTECTED PER ARTICLE 210.B.
 - ROOF MOUNTED WP/GFCI RECEPTACLES WITH IN 25' OF ANY EQUIPMENT REQUIRING MAINTENANCE.
- | | | | |
|--|---|--|--------------------------------|
| | LED, RECESSED (U.O.N.) | | LIGHT SWITCH W/ DIMMER-CONTROL |
| | WALL-MOUNTED FIXTURE | | LIGHT SWITCH W/ VACANCY-SENSOR |
| | EXHAUST FAN (TO EXTERIOR)/LIGHT | | HVAC REGISTER |
| | EMERGENCY EXIT LIGHT W/ BACK UP POWER | | FIRE SPRINKLER |
| | EMERGENCY LIGHT W/ BACK UP POWER FOR MORE THAN 90-MINUTES | | FIRE EXTINGUISHER |
| | 4-PLEX OUTLET W/ GROUND FAULT INTERRUPTER | | |



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CLIENT NAME:

GRE INVESTMENTS

ADDRESS:

337 RAILROAD AVENUE, PITTSBURG, CA 94565

PROJECT NAME:

SHELL BUILDING REMODEL

SHEET TITLE:

EXISTING FLOOR PLAN

SHEET INFO:

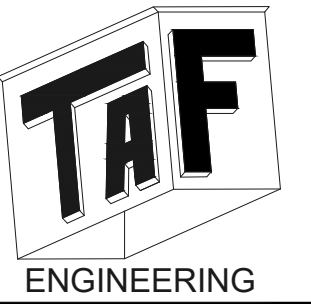
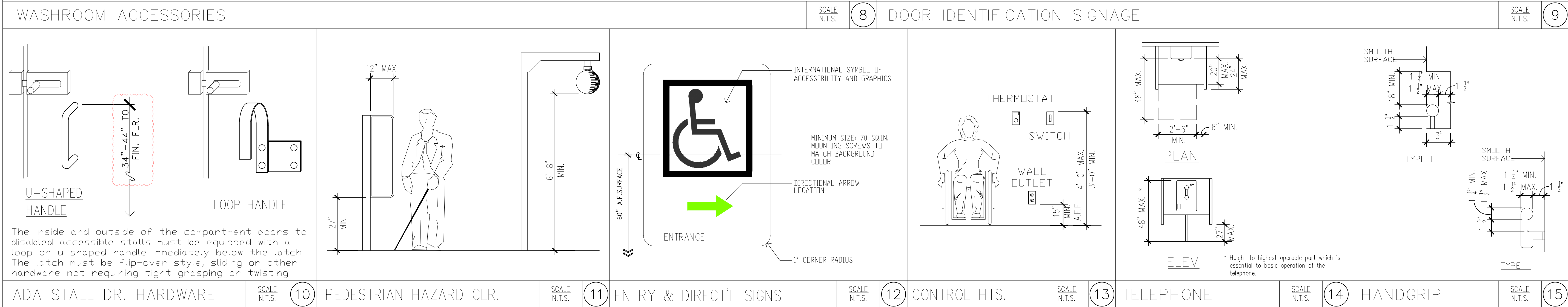
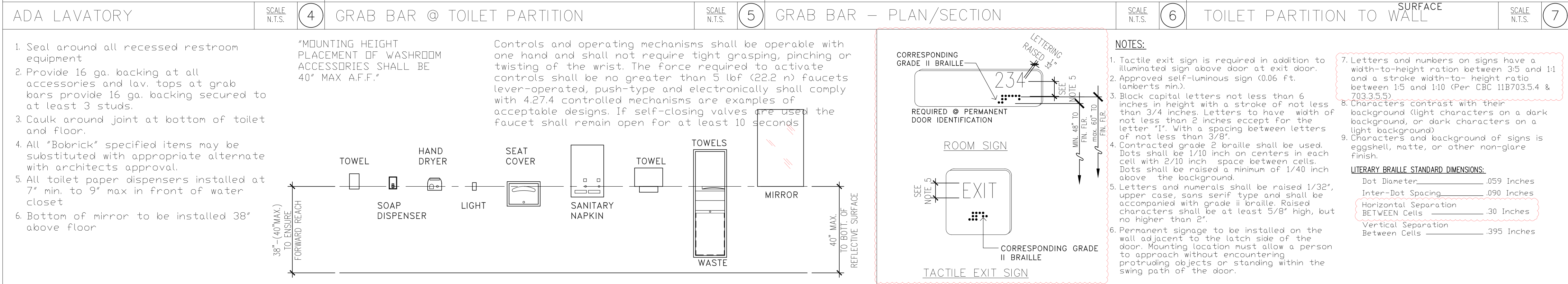
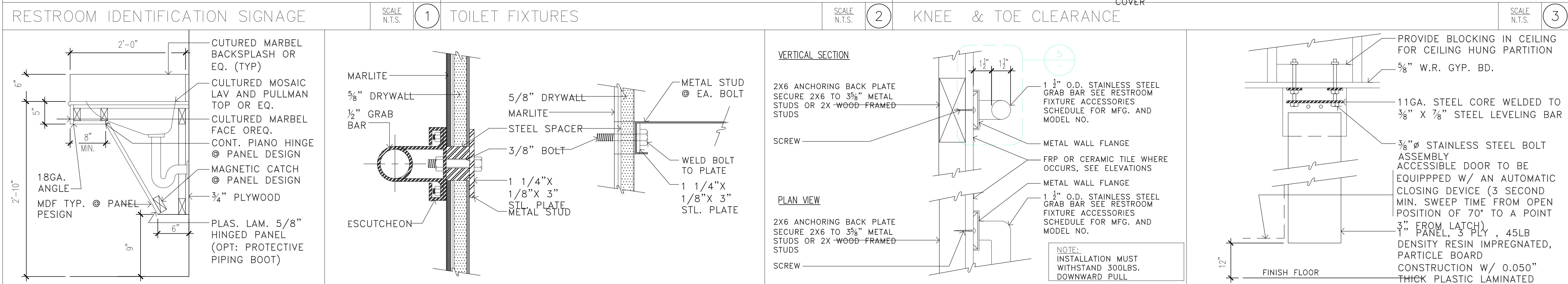
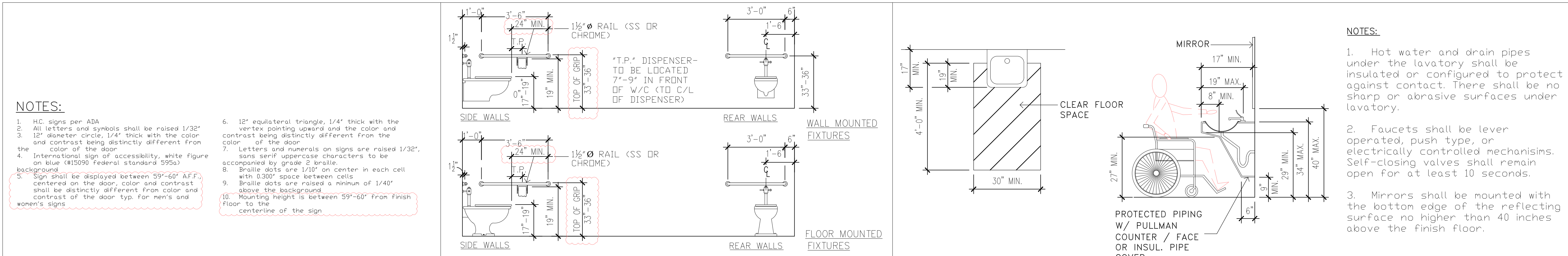
DATE:	DEC. 2024
SCALE:	AS NOTED
DRAWN BY:	RVG
JOB #:	DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

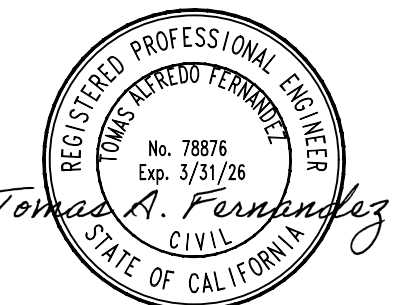
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CLIENT NAME:

GRE INVESTMENTS

ADDRESS:

337 RAILROAD AVENUE, PITTSBURG, CA 94565

PROJECT NAME:

SHELL BUILDING REMODEL

SHEET TITLE:

ADA DETAILS

SHEET INFO:

DATE: DEC. 2024
SCALE: AS NOTED
DRAWN BY: RVG
JOB #: DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

A3.1

STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-B

This document is used to demonstrate compliance with mandatory commissioning requirements in 120.8 for nonresidential buildings and hotel/motel or mixed-use buildings with nonresidential spaces. This document does not demonstrate compliance with commissioning requirements within Title 24, Part 11, which need to be documented separately if they apply.

Project Name: GRE Investments

Report Page: (Page 1 of 6)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

A. GENERAL INFORMATION

01	Project Location (city)	Pittsburg	04	Building Size (ft²)	2400
02	Occupancy Type	Nonresidential	05		< 10,000 ft²
03	Project Type	Newly constructed	06		Unitary or packaged equipment each serving one zone
			07	Climate Zone	12

B. PROJECT SCOPE

Based on project information provided in Table A, Table B indicates which commissioning related requirements apply per 120.8. Table B is not editable by the user.

Commissioning Requirements per 120.8

01	Table F: Design Review Kickoff	120.8(d)1 and 120.8(d)2	The design review kickoff meeting establishes who will play the role of the design reviewer, the project schedule and identify owner's requirements. This meeting should be conducted during schematic design.
02	Table G: Owner's Project Requirements (OPR)	120.8(b)	This requirement does not apply.
03	Table H: Basis of Design (BOD)	120.8(c)	This requirement does not apply.
04	Table I: Design Review	120.8(d) and 120.8(e)	The design reviewer(s) reviews the construction documents for clarity, completeness, and adherence to the owner's goals. Commissioning measures must be included in the construction documents to facilitate the design review and commissioning process. For projects with ≥ 10,000 ft² of nonresidential conditioned floor area, the design review is for adherence with the Owner's Project Requirements (OPR) and Basis of Design (BOD). This should be conducted during design.
05	Table J: Commissioning Plan	120.8(f)	This requirement does not apply.
06	Table K: Functional Performance Testing	120.8(g)	This requirement does not apply.
07	Table L: Documentation and Training	120.8(h)	This requirement does not apply.
08	Table M: Commissioning Report	120.8(i)	This requirement does not apply.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
Schema Version: rev 20220101

Compliance ID: EnergyPro-5096-0824-0014
Report Generated: 2024-08-15 18:03:10

Generated Date/Time: Documentation Software: EnergyPro

STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-B

Project Name: GRE Investments

Report Page: (Page 2 of 6)

Date Prepared: 8/15/2024

C. COMPLIANCE RESULTS

Table C will indicate if the project data input into the compliance document is compliant with commissioning requirements per 120.8. This table is not editable by the user. If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. for guidance.

01	02	03	04	05	06	07	08	09
Design Kickoff Review	Owner's Project Requirements	Basis of Design	Design Review	Commissioning Plan	Functional Performance Testing	Documentation and Training	Commissioning Report	
Table F	Table G	Table H	Table I	Table J	Table K	Table L	Table M	
Yes	Yes							COMPLIES
10								COMPLIES

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
Schema Version: rev 20220101

Compliance ID: EnergyPro-5096-0824-0014
Report Generated: 2024-08-15 18:03:10

Generated Date/Time: Documentation Software: EnergyPro

STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-B

Project Name: GRE Investments

Report Page: (Page 3 of 6)

Date Prepared: 8/15/2024

F. DESIGN REVIEW KICKOFF MEETING

This table indicates that the design reviewer meets the qualification requirements per Title 24, Part 1 Section 10-103(a)1 and demonstrates compliance with design review kickoff requirements per 120.8(d)2. This meeting should occur during the Schematic Design phase of the project.

Design Review Kickoff Meeting Details

01 Date of Design Review Kickoff Meeting 0001-01-01

02 Meeting Attendees: (one person may play multiple roles)

☐ Owner/Facility Manager:

☒ Design Reviewer(s)

Designer

☐ Project Manager:

☐ Design Architect/ Engineer(s):

☐ Contractor:

☐ Certified Acceptance Test Tech(s):

☐ Commissioning Provider:

☐ Energy/ T24 Part 6 Consultant:

Design Reviewer Qualifications per Title 24 Part 1 Section 10-103(a)1

The design reviewer(s) must be licensed professional engineers or licensed architects, or licensed contractors representing services performed by or under the direct supervision of a licensed engineer or architect, as specified in the provisions of Division 3 of the Business and Professions Code.

Do the Design Reviewer(s) meet these qualifications?

03 In addition, for buildings with ≥ 10,000 ft² but < 50,000², the design reviewer(s) shall be a qualified in-house engineer or architect with no other project involvement or a third party engineer, architect, or contractor

Yes No

04 The design reviewer(s) for this project will be: Designer

Preliminary Construction Schedule

	Start Date	Completion Date
05 Schematic Design	0001-01-01	0001-01-01
06 Design Development	0001-01-01	0001-01-01
07 Construction Documents	0001-01-01	0001-01-01
08 Construction	0001-01-01	0001-01-01
09 Building Turnover	0001-01-01	0001-01-01

Project Goals Related to Energy Efficiency

10 Operational Costs

11 Desired Building Lifespan

12 Equipment Lifecycle

13 Project Energy Efficiency Goals

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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Nonresidential Building Commissioning

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NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 6 of 6)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Documentation Author Signature:

Company: Nestor I. Quiambao, P.E. Consulting Engineer

Signature Date:

Address: CEAA/HERS Certification Identification (if applicable):

City/State/Zip: Phone:

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Responsible Designer Signature:

Tomás A. Fernández, P.E.

Company: TAF

Date Signed: 2024-08-15

Address: 2678 North Main Street Suite#27

License:

City/State/Zip: Phone: 925-932-61783

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STATE OF CALIFORNIA

Electrical Power Distribution

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ELC-E

Project Name: GRE Investments

Report Page: (Page 2 of 4)

Date Prepared: 8/15/2024

C. COMPLIANCE RESULTS

Results in this table are automatically calculated from data input and calculations in Tables F through J. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

01	02	03	04	05	06		
Service Electrical Metering 130.5(a)1/ 160.6(a) (See Table F)	AND	Separation for Monitoring 130.5(b)1/ 160.6(b) (See Table G)	AND	Voltage Drop 130.5(c)1/ 160.6(c) (See Table H)	AND	Controlled Receptacles 130.5(d)1/ 160.6(d) (See Table I)	Compliance Results
Yes	AND		AND	Yes	AND		COMPLIES

D. EXCEPTIONAL CONDITIONS

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E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

F. SERVICE ELECTRICAL METERING

This section does not apply to this project.

H. VOLTAGE DROP

This table includes entirely new or complete replacement electrical power distribution systems, or alterations that add, modify or replace both feeders and branch circuits to demonstrate compliance with 130.5(c)1/ 160.6(c). For alterations, only the altered circuits must demonstrate compliance per 141.0(b)2(iii)/ 180.2(d)4B(vii).

01	02	03	04	05
Electrical Service Designation/Description	Combined Voltage Drop on Installed Feeder/Branch Circuit Conductors Compliance Method	Location of Voltage Drop Calculations¹	Sheet Number for Voltage Drop Calculations in Construction Documents	Field Inspector
Main	☒ Voltage drop less than 5%	☐ Permitted by CA Elec Code (Exception to 130.5(c)1)*	Attached	E-Sheets

* NOTES: If "Permitted by CA Elec Code *" is selected under Compliance Method above, please indicate where the exception applies in the space provided below.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
Schema Version: rev 20220101

Compliance ID: EnergyPro-5096-0824-0017
Report Generated: 2024-08-15 18:03:10

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STATE OF CALIFORNIA

Electrical Power Distribution

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ELC-E

Project Name: GRE Investments

Report Page: (Page 3 of 4)

Date Prepared: 8/15/2024

H. VOLTAGE DROP

¹ FOOTNOTES: Voltage drop calculations may be attached to the permit application outside the construction documents if allowed by the Authority Having Jurisdiction. Select "attached" if applicable. If calculations will be the responsibility of the installing contractor, select "Contractor Responsible".

J. ELECTRIC READY BUILDINGS

This section does not apply to this project.

K. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title

NRCC-ELC-E - Must be submitted for all buildings

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
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Compliance ID: EnergyPro-5096-0824-0017
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STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 3 of 6)

Date Prepared: 8/15/2024

A. GENERAL INFORMATION

01	Project Location (city)	Pittsburg	02	Climate Zone	12
			03	Occupancy Types Within Project:	All Other Occupancies

B. PROJECT SCOPE

This table includes electrical systems that are within the scope of the permit application.

01	02	03	04	05	06	07
Electrical Service Designation/Description	Scope of Work²	Rating³ (kVA)	Utility Provided Metering System Exception to 130.5(a)1/ 160.6(a)³	System subject to CA Elec Code Article 5.17 Exception to 130.5(a)1and (b)	Demand Response Controls	Provides power to dwelling units/common living areas only in multifamily occupancy
Main	Add/Alt to feeders and branch circuits only	50	☐	☐		☐

FOOTNOTES: Adding only new feeders and branch circuits triggers Voltage Drop 130.5(c)1/160.6(c), no other requirements from 130.5/160.6 are required.
¹ If common use areas in a multifamily are submetered, rating is for submeter site serving common use areas.
² Applicable if the utility company is providing a metering system that indicates instantaneous kW demand and kWh for a utility-defined period.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 2 of 6)

Date Prepared: 8/15/2024

C. COMPLIANCE RESULTS

Table C will indicate if the project data input into the compliance document is compliant with commissioning requirements per 120.8. This table is not editable by the user. If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. for guidance.

01	02	03	04	05	06	07	08	09
Design Kickoff Review	Owner's Project Requirements	Basis of Design	Design Review	Commissioning Plan	Functional Performance Testing	Documentation and Training	Commissioning Report	
Table F	Table G	Table H	Table I	Table J	Table K	Table L	Table M	
Yes	Yes							COMPLIES
10								COMPLIES

D. EXCEPTIONAL CONDITIONS

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E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

F. SERVICE ELECTRICAL METERING

This section does not apply to this project.

H. VOLTAGE DROP

This table includes entirely new or complete replacement electrical power distribution systems, or alterations that add, modify or replace both feeders and branch circuits to demonstrate compliance with 130.5(c)1/ 160.6(c). For alterations, only the altered circuits must demonstrate compliance per 141.0(b)2(iii)/ 180.2(d)4B(vii).

01	02	03	04	05
Electrical Service Designation/Description	Combined Voltage Drop on Installed Feeder/Branch Circuit Conductors Compliance Method	Location of Voltage Drop Calculations¹	Sheet Number for Voltage Drop Calculations in Construction Documents	Field Inspector
Main	☒ Voltage drop less than 5%	☐ Permitted by CA Elec Code (Exception to 130.5(c)1)*	Attached	E-Sheets

* NOTES: If "Permitted by CA Elec Code *" is selected under Compliance Method above, please indicate where the exception applies in the space provided below.

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STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 3 of 6)

Date Prepared: 8/15/2024

F. DESIGN REVIEW KICKOFF MEETING

This table indicates that the design reviewer meets the qualification requirements per Title 24, Part 1 Section 10-103(a)1 and demonstrates compliance with design review kickoff requirements per 120.8(d)2. This meeting should occur during the Schematic Design phase of the project.

Design Review Kickoff Meeting Details

01 Date of Design Review Kickoff Meeting 0001-01-01

02 Meeting Attendees: (one person may play multiple roles)

☐ Owner/Facility Manager:

☒ Design Reviewer(s)

Designer

☐ Project Manager:

☐ Design Architect/ Engineer(s):

☐ Contractor:

☐ Certified Acceptance Test Tech(s):

☐ Commissioning Provider:

☐ Energy/ T24 Part 6 Consultant:

Design Reviewer Qualifications per Title 24 Part 1 Section 10-103(a)1

The design reviewer(s) must be licensed professional engineers or licensed architects, or licensed contractors representing services performed by or under the direct supervision of a licensed engineer or architect, as specified in the provisions of Division 3 of the Business and Professions Code.

Do the Design Reviewer(s) meet these qualifications?

03 In addition, for buildings with ≥ 10,000 ft² but < 50,000², the design reviewer(s) shall be a qualified in-house engineer or architect with no other project involvement or a third party engineer, architect, or contractor

Yes No

04 The design reviewer(s) for this project will be: Designer

Preliminary Construction Schedule

	Start Date	Completion Date
05 Schematic Design	0001-01-01	0001-01-01
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08 Construction	0001-01-01	0001-01-01
09 Building Turnover	0001-01-01	0001-01-01

Project Goals Related to Energy Efficiency

10 Operational Costs

11 Desired Building Lifespan

12 Equipment Lifecycle

13 Project Energy Efficiency Goals

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STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 6 of 6)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Documentation Author Signature:

Company: Nestor I. Quiambao, P.E. Consulting Engineer

Signature Date:

Address: CEAA/HERS Certification Identification (if applicable):

City/State/Zip: Phone:

RESPONSIBLE PERSON'S DECLARATION STATEMENT

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Responsible Designer Name: Responsible Designer Signature:

Tomás A. Fernández, P.E.

Company: TAF

Date Signed: 2024-08-15

Address: 2678 North Main Street Suite#27

License:

City/State/Zip: Phone: 925-932-61783

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STATE OF CALIFORNIA

Nonresidential Building Commissioning

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-CXR-E

Project Name: GRE Investments

Report Page: (Page 6 of 6)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

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Nonresidential Building Commissioning

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TAF

ENGINEERING

DESIGNED OR PREPARED BY:

TOMAS A. FERNANDEZ, P.E.

Design and Planning Service
2678 North Main Street Suite 27
Walnut Creek, CA 94596
925-932-6173
Email: tomasfer99@comcast.net

REGISTERED PROFESSIONAL ENGINEER
No. 78875
Exp. 3/31/26
Tomás A. Fernandez
CIVIL
STATE OF CALIFORNIA

CLIENT NAME:

GRE INVESTMENTS

ADDRESS:

337 RAILROAD AVENUE, PITTSBURG, CA 94565

PROJECT NAME:

SHELL BUILDING REMODEL

SHEET TITLE:

TITLE 24 REPORT

SHEET INFO:

DATE:	DEC. 2024
SCALE:	AS NOTED
DRAWN BY:	RVG
JOB #:	DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

T24.1

STATE OF CALIFORNIA

Electrical Power Distribution

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ELC-B

Project Name: GRE Investments

Report Page: (Page 4 of 4)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

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Responsible Designer Name:

Date Signed: 2024-08-15

Company:

Address:

City/State/Zip:

Phone:

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000

Compliance ID: EnergyPro-5096-0824-0019

Schema Version: rev 20220101

Report Generated: 2024-08-15 18:03:12

STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

Report Page: (Page 3 of 10)

Date Prepared: 8/15/2024

H. WALL ASSEMBLY SCHEDULE

This table demonstrates compliance with prescriptive wall assembly requirements in 140.3(a)/170.2(a) for new constructions, 141.0(a)/180.1 for additions and 141.0(b)1B/180.2 for alterations.

01

Indicate wall types included in the project:1

☒ Framed

☒ Mass (new only)

☐ Concrete Sandwich Panel (new only)

☐ SIPs

☐ [CF (new only)]

☐ Metal Panels

☐ Metal Building

☐ Spandrel/ Curtain Wall

☐ Straw Bale

☐ Log Home (new only)

1 FOOTNOTES: Wall types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be checked above and compliance demonstrated within this table.

Framed Walls

01

☐

Calculate Area-Weighted Average U-factor for Metal Framed Walls1

02

☒

Include Wood Framed Walls In Area-Weighted Average U-factor Calculation1

03

04

05

06

07

08

09

10

11

12

13

Tag/Plan Detail ID

Occupancy & Status

How Design U-factor was determined

Location/ Fire Rating

Frame Material, Spacing & Depth

Cavity Insulation per Design

Continuous Insulation per Design

Thermal Performance Unit

Required Thermal Performance

U-factor per Design

Net Area3 ft2

Front Wall

Nonresidential/ Relocatable 1 CZ: New

JA4 Tables

Exterior wall

Wood 1/2" gyp 16" OC 2x6

21

5

U-factor

0.059

per JA4
per Software/ Other

0.048

440

1 FOOTNOTES: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Metal framed walls may not be combined with other wall types. Wood framed walls are combined with SIPs, spandrel & curtain, metal panel and straw bale wall types. The area-weighted compliance option is not available for alterations demonstrating compliance with R-values in Table 141.0-C.

1 If "R-value" is shown in cell 09 as the Thermal Performance Unit, the R-value shown here is for cavity insulation per 141.0(b)1B.

2 Wall area minus any fenestration area

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

Report Page: (Page 6 of 10)

Date Prepared: 8/15/2024

I. FLOOR ASSEMBLY SCHEDULE

02

03

04

05

06

07

08

09

10

11

12

Tag/Plan Detail ID

Occupancy & Status

How Design U-factor was determined

Crawlspace

Frame Material, Spacing & Depth

Cavity Insulation per Design

Continuous Insulation per Design

Thermal Performance Unit

Required Thermal Performance1

U-factor per Design

Area ft2

Raised Floor

Nonresidential/ Relocatable 1 CZ: New

JA4 Tables

Yes

Wood

R-19

R-0

U-factor

0.071

per JA4
per Software/ Other

0.037

2400

1 FOOTNOTES: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Framed floors are combined with SIPs floors. The area-weighted compliance option is not available for assemblies demonstrating compliance with R-values.

1 If "R-value" is shown in cell 09 as the Thermal Performance Unit, the R-value shown here is for cavity insulation.

Area-Weighted Average U-factor Compliance Calculation for Framed/ SIPs Floor Types

01

02

03

04

05

Floor Type

Total Area of Floor Type (ft2)

Area-weighted U-factor for Floor Type

Compliance Results Using Area-Weighted Calculation Option

Total for all Floor Types:

2400

0.071

0.037

COMPLIES

J. EXTERIOR DOOR SCHEDULE

This table demonstrates compliance with prescriptive exterior door requirements in 140.3(a)7/170.2(a)4 for new construction or additions. Doors which are being replaced (alterations) do not need to be documented in this table because there are no Title 24, Part 6 requirements that apply. Exterior doors separate conditioned space from unconditioned space or from ambient air. Doors that are more than 25% glass in area are considered Glazed Doors and should be documented on Table K with fenestration per Table B.

01

02

03

04

05

06

07

Tag/Plan Detail ID

Name/Description

Occupancy Type

Door Type

Door Insulation

Maximum Allowed U-factor

U-factor per Design

Insulated Door

Nonresidential

Swinging

Any other wood door

0.7

per JA4

0.2

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

Report Page: (Page 1 of 10)

Project Address: 337 Railroad Avenue

Date Prepared: 8/15/2024

A. GENERAL INFORMATION

01

Project Location (city)

Pittsburg

05

of Stories (Habitable Above Grade)

1

02

Zipcode

94565

06

Total Conditioned Floor Area (ft2)

2400

03

Climate Zone

12

07

Total Unconditioned Floor Area (ft2)

0

04

Occupancy Types Within Project: (select all that apply): If one occupancy constitutes >= 80% of the conditioned floor area, the entire building envelope may be designed to comply with the provisions of that occupancy per 100.0(f).

08

☐ Project includes unconditioned enclosed space(s) > 5,000 ft2 under a roof with a ceiling height of at least 15 ft.1

1 FOOTNOTE: Enclosed spaces > 5,000 ft2 directly under roof with ceiling height > 15 ft in climate zones 2 through 15 are required to meet the minimum daylighting requirements defined in 140.3(c)/170.2(b). Compliance with 140.3(c)/170.2(b) is documented in Table L. This is the only prescriptive requirement which applies to unconditioned spaces.

B. PROJECT SCOPE

This table specifies project envelope components within the permit application demonstrating compliance using the prescriptive paths outlined in 140.3/170.2 and 141.0(a)1/180.1 and 141.0(b)1 and 2/180.2 for additions and alterations.

My project consists of (check all that apply)

01

02

☐ New Construction or Newly Conditioned Space

☐ One or more enclosed spaces > 5,000 ft2 directly under roof with ceiling height > 15ft

☐ Addition of conditioned space

☐ One or more enclosed spaces > 5,000 ft2 directly under roof with ceiling height > 15ft

☐ Addition is <=700 ft2

☐ Addition is >700 ft2

☒ Alteration of conditioned space

☐ One or more enclosed spaces > 5,000 ft2 directly under roof with ceiling height > 15ft and lighting system installed for the first time

☐ Roof

☐ Roof

☐ Roof Assembly

☐ Roofing Material2

☐ Walls

☐ Floors

☒ Walls

☒ Floors

☐ Exterior Opaque Doors

☐ Fenestration/ Glazed Doors1

☐ Exterior Opaque Doors

☐ Fenestration/ Glazed Doors1

☐ Fenestration

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

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Date Prepared: 8/15/2024

H. WALL ASSEMBLY SCHEDULE

Mass Walls (new walls only)

01

☒

Calculate Area-Weighted Average U-factor for Mass Walls1

02

03

04

05

06

07

08

09

10

11

12

Tag/Plan Detail ID

Occupancy Type

How Design U-factor was determined

Mass Material

Fill Options

Thickness (in)

Frame Material & Thickness

Cavity Insulation per Design

Maximum U-factor Allowed2

U-factor per Design

Net Area3 ft2

Left Wall

Nonresidential/ Relocatable 1 CZ

JA4 Tables

Concrete

Solid Unit

6 in

Wood-3.5 in

13

0.17

per JA4
per Software/ Other

0.086

400

Rear Wall

Nonresidential/ Relocatable 1 CZ

JA4 Tables

Concrete

Solid Unit

6 in

Wood-3.5 in

13

0.17

per JA4
per Software/ Other

0.086

579

Right Wall

Nonresidential/ Relocatable 1 CZ

JA4 Tables

Concrete

Solid Unit

6 in

Wood-3.5 in

13

0.17

per JA4
per Software/ Other

0.086

379

1 FOOTNOTES: If any individual assembly is non-compliant, assemblies may show compliance using an area-weighted calculation. Mass walls are combined with concrete sandwich panel, log and ICF wall types. Mass walls must meet mandatory requirements in 120.7(b), but may area-weight to comply with prescriptive requirements in Table 140.3 for new construction.

2 Mass walls are defined as "light" or "heavy" depending on their Heat Capacity. Heat Capacity is determined in Tables 4.3.5 and 4.3.6 in Joint Appendix 4. Walls with Heat Capacity of 15 or greater are "heavy" while walls with Heat Capacity from 7 to less than 15 are "light". Walls with heat capacity less than 7 would be categorized as "Wood framed and Other" for compliance purposes.

3 Wall area minus any fenestration area

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

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Date Prepared: 8/15/2024

K. FENESTRATION AND GLAZED DOOR SCHEDULE

This table demonstrates compliance with prescriptive fenestration requirements in 140.3(a)5/170.2(a)3 for new constructions, 141.0(a)/180.1 for additions, or 141.0(b)24/180.2 for alterations. Exterior doors that are more than 25% glass in area are considered Glazed Doors and should be documented on this table with fenestration.

01

Indicate fenestration types included in the project:1

☒ Vertical (alterations)

☐ Vertical (new)

☐ Skylights

☐ Glazed Doors (new only)

1 FOOTNOTES: Fenestration types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be checked above and compliance demonstrated within this table.

Vertical Fenestration And Glazed Doors- U-factor, Solar Heat Gain Coefficient (RSHGC/ SHGC), Visible Transmittance (VT)

01

☒

Calculate Area-Weighted Average U-factor for Vertical Fenestration and Glazed Doors1

02

☒

Calculate Area-Weighted Average (R)SHGC for Vertical Fenestration and Glazed Doors1

03

☒

Calculate Area-Weighted Average VT for Vertical Fenestration and Glazed Doors1

Vertical Fenestration And Glazed Doors- U-factor, Solar Heat Gain Coefficient (RSHGC/ SHGC), Visible Transmittance (VT)

04

05

06

07

08

09

10

11

12

13

Tag/Plan Detail ID

Fenestration Type

Occupancy & Status

U-factor/ (R)SHGC Compliance Method

VT Compliance Method

Calculation Method for Performance Values per Design1

Product Performance Unit

Required Product Performance per Design

Product Performance per Design

Area ft2

Window

Fixed window

Nonresidential/ Relocatable 1 CZ : New

Table 140.3-B/C/D

Table 140.3-B/C/D

☐ NFRC Certified

U-factor (max)

0.34

0.3

☐ Overhang/ Slats used for RSHGC

(R)SHGC (max)

0.22

0.22

160

1 FOOTNOTES: If any individual fenestration product is non-compliant, products may show compliance using an area-weighted calculation. Chromogenic glazing is not included in area-weighted calculations. Area-weighted calculation shown in separate area-weighted table below.

1The NAEC Default Calculation can only be used for alterations or dwelling units in buildings with <= 3 habitable stories. Alterations are limited to 200ft2 of site built glazing and dwelling units are limited to 250ft2 or 5% of conditioned floor area. If the fenestration does not meet these conditions, the only options for determining fenestration values are NFRC Certification or the Default Tables in 110.6.

2 Overhangs must extend past the left and right window the same distance as the depth of the overhang or greater to show an effect on the RSHGC. If an overhang does not meet this requirement, the effect of the overhang will be ignored.

3 Projecting includes casement and awning windows.

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Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

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B. PROJECT SCOPE

1 FOOTNOTE: Doors that are more than 25% glass in area are considered Glazed Doors and should be documented on table K with fenestration.

1Roof recovers and replacements must also check "Roof Assembly" box and document compliance with insulation requirements in Table F. Roof recasts may document compliance with roof material only in Table G.

C. COMPLIANCE RESULTS

Results in this table are automatically calculated from data input and calculations in Tables F through L. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see the applicable table referenced below.

Opaque Envelope Components

Roof Assembly

Roofing Materials

Walls

Floors

Doors

Fenestration

Daylighting Spaces > 5,000ft2

Compliance Results

01

02

03

04

05

06

07

08

(See Table F)

(See Table G)

(See Table H)

(See Table I)

(See Table J)

(See Table K)

(See Table L)

COMPLIES

Yes

Yes

Yes

Yes

Yes

Yes

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

F. ROOF ASSEMBLY SCHEDULE

This section does not apply to this project.

G. RATED ROOFING MATERIAL (COOL ROOF)

This section does not apply to this project.

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

Project Name: GRE Investments

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H. WALL ASSEMBLY SCHEDULE

Area-Weighted Average U-factor Compliance Calculation for Mass/ Concrete Sandwich Panel/ Log/ ICF Walls

01

02

03

04

05

06

Wall Type

Total Area of Wall Type (ft2)

Mandatory U-factor Required

Area-weighted U-factor for Wall Type

Area-weighted U-factor for Wall Type

Compliance Results Using Area-Weighted Calculation Option

Light Mass

1358

0.44

0.17

0.086

COMPLIES

Heavy Mass

0

0.69

0

0

COMPLIES

Area-Weighted Average U-factor Compliance Calculation for Wood Framed/ SIPs/ Spandrel/ Curtain/ Metal Panel/ Straw Bale Wall Types

01

02

03

04

05

Wall Type

Total Area of Wall Type (ft2)

Area-weighted U-factor for Wall Type

Area-weighted U-factor for Wall Type

Compliance Results Using Area-Weighted Calculation Option

Framed

440

0.059

0.048

Total for all Wall Types:

440

0.059

0.048

COMPLIES

I. FLOOR ASSEMBLY SCHEDULE

This table demonstrates compliance with prescriptive floor assembly requirements in 140.3(a)4/170.2(a)5 for new construction, 141.0(a)/180.1 for additions, or mandatory floor assembly requirements in 141.0(b)1C/180.2 for alterations.

01

Indicate floor types included in the project:1

☒ Framed

☐ SIPs (new only)

☐ Raised Mass

☐ Heated Slab-on-grade (new only)

1 FOOTNOTES: Floor types indicated above as "new only" do not have Title 24, Part 6 requirements for alterations. New construction and additions do have requirements and should be checked above and compliance demonstrated within this table.

Framed Floors

01

☒

Include Framed Floors In Area-Weighted Average U-factor Calculation1

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STATE OF CALIFORNIA

Envelope Component Approach

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-ENV-E

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K. FENESTRATION AND GLAZED DOOR SCHEDULE

Area-Weighted Average U-factor, SHGC, VT Compliance Calculation for Vertical Fenestration And Glazed Doors

01

02

03

04

05

Product Performance Unit

Total Area of Fenestration (ft2)

Area-weighted Calculation for Fenestration

Compliance Results Using Area-Weighted Calculation Option

U-Factor

160

0.34

0.3

COMPLIES

(R)SHGC

160

0.22

0.22

COMPLIES

VT

160

0.42

0.5

COMPLIES

L. DAYLIGHT IN LARGE ENCLOSED SPACES

This section does not apply to this project.

M. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection have been changed by the permit applicant, an explanation should be included in Table E Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title

Systems/Spaces To Be Field Verified

NRCI-ENV-01-E - Must be submitted for all buildings

Fenestration:

N. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, form user must provide an explanation in Table E Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCA/. Individuals who perform the field testing and verification work, and provide the information required for completion of the fenestration Certificate of Acceptance documentation are not required to be licensed professionals. However, the person who signs the Certificate of Acceptance document to certify compliance with the acceptance requirements shall be licensed as specified in Standards Section 10-103(a)4 and NA7.3.1

Form/Title

Systems/Spaces To Be Field Verified

NRCA-ENV-02-F must be submitted for all new, added or altered site built fenestration.

Fenestration:

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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Schema Version: rev 20220101

Report Generated: 2024-08-15 18:03:12

DESIGNED OR PREPARED BY:

TOMAS A. FERNANDEZ, P.E.

Design and Planning Service
2678 North Main Street Suite 27
Walnut Creek, CA 94596
925-932-6173
Email: tomasfer99@comcast.net

CLIENT NAME:

GRE INVESTMENTS

ADDRESS:

337 RAILROAD AVENUE, PITTSBURG, CA 94565

PROJECT NAME:

SHELL BUILDING REMODEL

SHEET TITLE:

TITLE 24 REPORT

SHEET INFO:

DATE: DEC. 2024

SCALE: AS NOTED

DRAWN BY: RVG

JOB #: DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

T24.2

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STATE OF CALIFORNIA		CALIFORNIA ENERGY COMMISSION	
Mechanical Systems		NRCC-MCH-E	
CERTIFICATE OF COMPLIANCE		NRCC-MCH-E	
Project Name: GRE Investments		Report Page: (Page 2 of 11)	
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C. COMPLIANCE RESULTS											
Table C will indicate if the project data input into the compliance document is compliant with mechanical requirements. This table is not editable by the user. If this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D., or the table indicated as not compliant for guidance.											
01		02		03		04		05		06	
System Summary		Pumps		Fans/ Economizers		System Controls		Ventilation		Terminal Box Controls	
110.1, 110.2, 140.4, 170.2(c)	AND	140.4(k), 170.2(c)(4)	AND	140.4(c), 140.4(e), 170.2(c)	AND	110.2, 120.2, 140.4(f), 170.2(c)	AND	120.3, 140.4(i), 160.2, 160.3	AND	140.4(d), 170.2(c)(4B)	
(See Table F)		(See Table G)		(See Table H)		(See Table I)		(See Table J)		(See Table K)	
Yes	AND	Yes	AND	Yes	AND	Yes	AND	Yes	AND	Yes	COMPLIES
Mandatory Measures Compliance (See Table Q for Details)											

D. EXCEPTIONAL CONDITIONS
This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

F. HVAC SYSTEM SUMMARY (DRY & WET SYSTEMS)					
Space Conditioning System Information					
01	02	03	04	05	06
System Name	Quantity	System Serving	System Status	Space Type	Utilizing Recovered Heat
System 1	1	Single zone	New/ Addition		☐

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Mechanical Systems		NRCC-MCH-E	
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01	02	03	04	05	06	07	08	09	10	11
Fan System Name	Qty	Hours of Operation per Year	Design Supply Airflow Rate	Outdoor Airflow	% Outdoor Air at Full Design Airflow	Exemptions to Exhaust Air Heat Recovery Requirement per 140.4(a) & 170.2(c)(4D)	Exhaust Air Heat Recovery 140.4(a) & 170.2(c)(4D)	Type Of Heat Recovery Rating	Required Recovery Ratio	Energy Recovery Bypass
Fan Energy Index (FEI)										
01			02			03				
Name or Item Tag			FEI Exception			FEI				
System 1			None Applies			1				

I. SYSTEM CONTROLS								
This table is used to demonstrate compliance with mandatory controls in 110.2 and 120.2 and prescriptive controls in 140.4(f) and (n), 170.2(c)(4D), 170.2(c)(4L) or requirements in 141.0(b)(2E), 180.2(b)(2) for altered space conditioning systems.								
01	02	03	04	05	06	07	08	09
System Name	System Zoning	Conditioned Floor Area Being Served (ft²)	Thermostats 110.2(b) & (c), 120.2(a), 160.3(a)(2A) or 141.0(b)(2E) & 180.2(b)(2)	Shut-Off Controls 120.2(e) & 160.3(a)(2D)	Isolation Zone Controls 120.2(g) & 160.3(a)(2F)	Demand Response 110.12, 120.2(b) & 160.3(a)(2B)	Supply Air Temp. Reset 140.4(f) & 170.2(c)(4D)	Window Interlocks per 140.4(n) & 170.2(c)(4D)
System 1	Single zone	<= 25,000 ft²	Setback	Auto Timer Switch	4 Hour Timer		NA: Would increase energy use	Provided

⁴ FOOTNOTES: Gravity gas wall heaters, gravity floor heaters, gravity room heaters, non-central electric heaters, fireplaces or decorative gas appliances, wood stoves are not required to have setback thermostats.

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L. DISTRIBUTION (DUCTWORK and PIPING)			
		Dwelling Units: Total duct leakage of duct system shall not exceed 12% or duct system to outside shall not exceed 6% per RA3.1.4 required for systems?	No
		Duct leakage testing per CMC Section 603.10.1 required for these systems?	Yes
11	No	The scope of the project includes only duct systems serving healthcare facilities	
12	Yes	Duct system provides conditioned air to an occupiable space for a constant volume, single zone, space-conditioning system.	
13	Yes	The space conditioning system serves less than 5,000 ft² of conditioned floor area.	
14	No	The combined surface area of the ducts is more than 25% of the total surface area of the entire duct system.	
15		The scope of the project includes extending an existing duct system, which is constructed, insulated or sealed with asbestos.	
16	No	The scope of the project includes an existing duct system that is documented to have been previously sealed as confirmed through field verification and diagnostic testing in accordance with procedures in the Reference Nonresidential Appendix NA2.	
17		All Ductwork and plenums with pressure class ratings shall be constructed to Seal Class A	
18		All ductwork is an extension of an existing duct system	
19		Ductwork serving individual dwelling unit	
20		< 35 ft of new or replacement space conditioning ducts installed	
21	R-8	Duct Insulation R-value	
22			
23			

M. COOLING TOWERS
This section does not apply to this project.

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F. HVAC SYSTEM SUMMARY (DRY & WET SYSTEMS)										
Dry System Equipment Sizing (Includes air conditioners, condensers, heat pumps, VRF, furnaces and unit heaters and DOAS systems)										
01	02	03	04	05	06	07	08	09	10	11
Name or Item Tag	Equipment Category per Tables 110.2, 140.4(a)(2) and 170.2(c)(3a)(i)	Equipment Type per Tables 110.2 and Title 20	Smallest Size Available ¹ 140.4(a) and 170.2(c)(1)	Equipment Sizing per Mechanical Schedule (kBtu/h) 140.4(a&b), 170.2(c)(1) & 170.2(c)(2)						
				Heating Output ^{2,3}			Cooling Output ^{2,3}		Load Calculations ⁴	
				Per Design (kBtu/h)	Rated (kBtu/h)	Supp. Heating Output (kBtu/h)	Sensible Per Design (kBtu/h)	Rated (kBtu/h)	Total Heating Load (kBtu/h)	Total Sensible Cooling Load (kBtu/h)
System 1	Unitary Heat Pumps	Air-cooled, split (3 phase)	NA: Load Controls	49.97	80	0	0	0	110.03	124.12

¹ FOOTNOTES: Equipment shall be the smallest size, within the available options of the desired equipment line, necessary to meet the design heating and cooling loads of the building per 140.4(a) and 170.2(c)(1). Healthcare facilities are exempted.
² It is common practice to show rated output capacity on the equipment schedule. Sensible cooling output comes from specification sheet tables.
³ If equipment is heating only, leave cooling output and load blank. If equipment is cooling only, leave heating output and load blank.
⁴ Authority Having Jurisdiction may ask for load calculations used for compliance per 140.4(b) and 170.2(c).

Dry System Equipment Efficiency (other than Package Terminal Air Conditioners (PTAC) and Package Terminal Heat Pumps (PTHP), DX-DOAS and Dual Fuel Heat Pumps)								
01	02	03	04	05	06	07	08	09
Name or Item Tag	Size Category (Btu/h)	Heating Mode			Cooling Mode			
		Rating Condition (°F)	Efficiency Unit	Minimum Efficiency Required per Tables 110.2 / Title 20	Design Efficiency	Efficiency Unit	Minimum Efficiency Required per Tables 110.2 / Title 20	Design Efficiency
System 1	<65,000		HSPF2	7.5	7.5	SEER2	14.3	14.3

G. PUMPS
This section does not apply to this project.

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		Date Prepared: 8/15/2024	

J. VENTILATION AND INDOOR AIR QUALITY														
This table is used to demonstrate compliance with mandatory ventilation requirements in 120.1, 120.2(e)(3B) 140.4(a) and 140.4(a) for all nonresidential and hotel/motel and d-24(re)fnolink/160.2, 160.3(a)(3D), 170.2(a)(4N), 170.2(a)(4O) for high-rise residential occupancies. For alterations, only ventilation systems being altered within the scope of the permit application need to be documented in this table. In lieu of this table, the required outdoor ventilation rates and airflow may be shown on the plans or the calculations can be presented in a spreadsheet.														
01	☐	Check the box if the project is showing ventilation calculations on the plans, or attaching the calculations instead of completing this table.												
02	☒	Check this box if the project included Nonresidential, Hotel/Motel Spaces or Multifamily Common Use Spaces												
03	☐	Check the box if the project is using natural ventilation in any nonresidential or hotel/motel spaces to meet required ventilation rates per 120.1(c)(2).												
Nonresidential and Hotel/ Motel Multifamily Common Use Ventilation Systems														
04		05			06				07					
System Name	System 1		System Design OA CFM Airflow ¹		1200		System Design Transfer Air CFM		0		Air Filtration per 120.1(c) 141.0(b)(2) and 160.2(c)(2) ¹⁴			
08	09		10	11	12	13	14	15	16					
		Mechanical Ventilation Required per 120.1(c)(3) ³ & 160.2(c)(3)						Exh. Vent per 120.1(c)(4) & 160.2(c)(4)			DCV or Sensor Controls per 120.1(d)(3), 120.1(d)(5), and 120.1(e)(9) ³ 160.2(c)(5D) 160.2(c)(5E) 160.2(c)(5D)			
Space Name or Item Tag	Occupancy Type ⁴		Conditioned Floor Area (ft ²)	# of Shower heads/ toilets	# of people ⁵	Required Min OA CFM	Required Min CFM	Provided per Design CFM						
Zone 1	Cafeteria/ fastfood dining		2400			1200	0	0		DCV NA: Not required per §120.1(d)(3) Occ Sensor NA: Not required space type				
17	Total System Required Min OA CFM					1200	18	Ventilation for this System Complies?					Yes	

¹ FOOTNOTES: System CFM should include both mechanical and natural ventilation for the zone/system.
² Air filtration requirements apply to the following three system types per 120.1(c)(1A): space conditioning systems utilizing ducts to supply air to occupiable space; supply-only ventilation systems providing outside air to occupiable space; supply side of balanced ventilation systems including heat recovery and energy recovery ventilation systems providing outside air to occupiable space.
³ Uniform Mechanical Code may have more stringent ventilation requirements; the most stringent code requirement takes precedence.
⁴ See Standards Tables 120.1-A and 120.1-B.

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance		Report Version: 2022.0.000 Schema Version: rev 20220101	
Compliance ID: EnergyPro-5096-0824-0018 Report Generated: 2024-08-15 18:03:12			

STATE OF CALIFORNIA		CALIFORNIA ENERGY COMMISSION	
Mechanical Systems		NRCC-MCH-E	
CERTIFICATE OF COMPLIANCE		NRCC-MCH-E	
Project Name: GRE Investments		Report Page: (Page 9 of 11)	
		Date Prepared: 8/15/2024	

N. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION	
Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019_standards/2019_compliance_documents/Nonresidential_Documents/NRCA/	
Form/Title	
NRCA-MCH-01-E - Must be submitted for all buildings	

O. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE	
Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCA/	
Form/Title	Systems/Spaces To Be Field Verified
NRCA-MCH-02-A - Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH-02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap.	Standard Heat Pump;
NRCA-MCH-03-A - Constant Volume Single Zone HVAC Note: This form does not automatically move to "Yes". If Constant Volume Single Zone HVAC Systems are included in the scope, permit applicant should move this form to "Yes".	Standard Heat Pump;
NRCA-MCH-11-A Automatic Demand Shed Controls	Standard Heat Pump;
NRCA-MCH-16-A Supply Air Temperature Reset Controls	Standard Heat Pump;
NRCA-MCH-18-A Energy Management Control Systems	Standard Heat Pump;

STATE OF CALIFORNIA

Mechanical Systems

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-MCH-E	
Project Name:	GRE Investments	Report Page:	(Page 11 of 11)
Project Address:	337 Railroad Avenue	Date Prepared:	8/15/2024

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:		Documentation Author Signature:	
Company: Nestor I. Quiambao, P.E. Consulting Engineer		Signature Date:	
Address:		CEA/ HERS Certification Identification (if applicable):	
City/State/Zip:		Phone:	

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name:		Responsible Designer Signature:	
Company:		Date Signed:	
Address:		License:	
City/State/Zip:		Phone:	

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STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
Project Name:	GRE Investments	Report Page:	(Page 3 of 7)
		Date Prepared:	8/15/2024

F. DOMESTIC HOT WATER EQUIPMENT

This table is used to demonstrate compliance with mandatory equipment requirements in 110.1 and 110.3. Compliance with prescriptive requirements in 140.5(c) / 170.2(d) must also be demonstrated and with 141.0 / 180.1 / 180.2 for addition and alteration scopes.

Equipment Schedule: Water Heating Efficiency and Standby Loss

03		04		05		06			
System Name	Rheem PROPH50 T2 RH375-15 (50 gal, JA13)	Exception to 140.5(c)/ 170.2(d)3		☐	Gas Service Water Heating System >= 1MMBtu/h ¹	Capacity-weighted Average Efficiency %			
07	08	09	10	11	12	13	14	15	
Name or Item Tag	Equipment Type	Volume (gal)	Rated Input Capacity (Btu/h)	Max GPM/ First Hour Rating (FHR)	Rated Efficiency	Minimum Efficiency Required	Efficiency Unit	Designed Standby Loss	Maximum Standby Loss
Rheem PROPH50 T2 RH375-15 (50 gal, JA13)	Heat Pump Water Heater	50	20,000	FHR >=75	3.2	2	UEF		

¹FOOTNOTE: In systems >= 1MMBtu/h with multiple units, gas water heaters with input capacity > 100,000 Btu/h may meet 90% Et requirements via an input capacity-weighted average.

Water Heating Equipment All Occupancies

	Yes	No	Not Applicable	Requirement
18	☐	☐	☒	Unfired storage tank insulation shall have Internal + External >=R-16 OR External >=R-3.5. Label required per 110.3(c)3
19	☐	☐	☒	New state buildings 60% of energy for service water heating from site solar energy or recovered energy per 110.3(c)5
20	☐	☐	☒	Isolation valves for instantaneous water heater with input rating >6.8 kBtUH or 2 kW has been specified per 110.3(c)6
21	☐	☐	☒	School buildings < 25,000 ft² and < 4 stories must install a heat pump water heating system per 140.5(a)1. Water heating systems serving an individual bathroom space may be an instantaneous electric water heater.

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STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
Project Name:	GRE Investments	Report Page:	(Page 6 of 7)
		Date Prepared:	8/15/2024

I. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title

NRCC-PLB-E - Must be submitted for all buildings

J. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

There are no forms required for this project.

K. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION

There are no forms required for this project.

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STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
<i>This document is used to demonstrate compliance for nonresidential occupancies with requirements in 110.1, 110.3, 120.3, and 140.5, and with requirements in 141.0 for additions and alterations, for domestic water heating scopes using the prescriptive path. For high-rise residential and hotel/motel occupancies compliance is demonstrated with requirements in 110.1, 110.3, 160.4 and 170.2(d), and with requirements 180.1 for additions and 180.2 for alterations.</i>			
Project Name:	GRE Investments	Report Page:	(Page 1 of 7)
Project Address:	337 Railroad Avenue	Date Prepared:	8/15/2024

A. GENERAL INFORMATION

01	Project Location (city)	Pittsburg	02	Climate Zone	12
03 Occupancy Types Within Project (select all that apply):					
☒ All Other Occupancies					

B. PROJECT SCOPE

This table includes domestic water heating systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive paths outlined in 140./ 170.2(d) and 141.0(a) / 180.1, or 141.0(b)2N / 180.2 for additions or alterations. Solar water heating systems are documented on the NRCC-SAB compliance document. Combined hydronic water heating systems are documented on the NRCC-MCH compliance document.

01		02		03	
My project consists of (check all that apply):		System Type ^{1,2}		System Components	
☒ New system (DHW system being installed for the first time)	Individual System (serving nonresidential spaces)	☒ Equipment	☒ Distribution	☒ Controls	
☐ System Alteration (equipment, distribution or controls)		☐ Equipment	☐ Distribution	☐ Controls	

¹FOOTNOTES: Point of use water heaters, or other non-central systems used to serve nonresidential spaces, are considered individual systems.
² Dwelling units refers to hotel/motel guest rooms and units in a multifamily residential occupancy.
³ DHW systems serving 2 or more dwelling units are considered "Central Systems" for multifamily occupancies

C. COMPLIANCE RESULTS

Table C will indicate if the project data input into the compliance document is compliant with water heating requirements. If this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D, or the table indicated as not compliant for guidance.

01		02		03		04	
Domestic Hot Water Equipment		Distribution Systems		Controls		Compliance Results	
Table F		Table G		Table H			
Yes		Yes		Yes		COMPLIES	

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with unedittable comments because of selections made or data entered in tables throughout the form.

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Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
Project Name:	GRE Investments	Report Page:	(Page 4 of 7)
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G. DOMESTIC HOT WATER DISTRIBUTION SYSTEM

This table is used to demonstrate compliance for nonresidential occupancies with distribution requirements in 120.3 and 140.5. For multifamily and hotel/motel occupancies, compliance is demonstrated with requirements 110.3(c), 160.4, 170.2(d).

Mandatory Pipe Insulation All Occupancies

13	☐	For systems serving dwelling units, pipe insulation must meet the minimum insulation requirements in Table 160.4-A (see blow) except: - Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. Piping that penetrates metal framing shall use grommets, plugs, wrapping or other insulating material to assure that no contact is made with the metal framing. Insulation shall abut securely against all framing members - Piping installed in interior or exterior walls shall not be required to have pipe insulation if all of the requirements are met for compliance with Quality Insulation Installation (QII) as specified in the Reference Residential Appendix RA3.5. - Piping surrounded with a minimum of 1 inch of wall insulation, 2 inches of crawlspace insulation, or 4 inches of attic insulation, shall not be required to have pipe insulation.
14	☒	For systems serving nonresidential spaces, pipe insulation for the following applications is specified to comply with Table 120.3-A (see below) per 120.3: - Recirculating system piping, including supply and return piping of the water heater - The first 8 ft of hot and cold outlet piping, including between storage tank and heat trap, for a nonrecirculating storage system - Pipes that are externally heated
15	☒	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather shall be installed with a cover suitable for outdoor service per 120.3(b) / 160.4(f). Pipe insulation buried below grade must be installed in a water proof and non-crushable casing or sleeve.

TABLE 120.3-A / 160.4-A PIPE INSULATION THICKNESS

Fluid Temperature Range (°F)	Conductivity Range (Btu-in per hour per ft² per °F)	Insulation Mean Rating Temp (°F)	Nominal Pipe Diameter (in)			
			< 1	1 to < 1.5	1.5 to < 4	1.5 to < 4 Multifamily & Hotel/Motel
Minimum Insulation Required						
105-140	0.22 - 0.28	100	1.0 in or R-7.7	1.5 in or R-12.5	1.5 in or R-11	2.0 in or R-16

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Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
Project Name:	GRE Investments	Report Page:	(Page 7 of 7)
Project Address:	337 Railroad Avenue	Date Prepared:	8/15/2024

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:		Documentation Author Signature:	
Company: Nestor I. Quiambao, P.E. Consulting Engineer		Signature Date:	
Address:		CEA/ HERS Certification Identification (if applicable):	
City/State/Zip:		Phone:	

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name:		Responsible Designer Signature:	
Company:		Date Signed:	
Address:		License:	
City/State/Zip:		Phone:	

Generated Date/Time:

Documentation Software: EnergyPro

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STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
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E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE		NRCC-PLB-E	
Project Name:	GRE Investments	Report Page:	(Page 5 of 7)
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H. DOMESTIC HOT WATER CONTROLS

This table is used to demonstrate compliance with control requirements in 110.3 for all occupancies. For multifamily residential and hotel/motel occupancies, compliance is also demonstrated with requirements in 160.4(e) / 170.2(d).

	Yes	No	Not Applicable	Requirement
01	☒	☐	☐	Construction documents require manufacturer certification that service water-heating systems are equipped with automatic temperature controls capable of adjusting temperature settings per 110.3(a).
02	☐	☐	☒	Systems with capacity > 167,000 BTUH equipped with outlet temperature controls per 110.3(c)1 unless covered by California Plumbing Code 613.0.
03	☐	☐	☒	Controls for circulating pumps or electrical heat trace systems are capable of automatically turning off the system per §110.3(c)2 unless systems serves healthcare facility.
04	☐	☐	☒	For recirculation systems serving multiple dwelling units, design includes automatic pump controls per 170.2(d) or 180.1(b)3 for additions.
05	☐	☐	☒	For recirculation systems serving individual dwelling units, design includes manual on/off controls as specified in Reference Appendix RA4.4.9 per 170.2(d).
06	☐	☐	☒	Combustion air positive shut-off shall be provided per 160.4(3), on all newly installed commercial boilers as follows: - Boilers with input capacity >= 2.5 MMBtu/h, in which the boiler is designed to operate with a nonpositive vent static pressure - Boilers where one stack serves two or more boilers with a total combined input capacity per stack of 2.5 MMBtu/h.
07	☐	☐	☒	Boiler combustion air fans with motor >= 10 hp shall meet one of the following - The fan motor shall be driven by a variable speed drive OR - The fan motor shall include controls that limit the fan motor demand to <=30% of the total design wattage at 50% of the design air volume.
08	☐	☐	☒	Newly installed boilers with an input capacity (d-gte/) 5MMBtu/h and a steady state full-load combustion efficiency < 90% shall maintain excess (stack-gas) oxygen concentrations <= 5% by volume on a dry basis over firing rates of 20-100%. Combustion air volume shall be controlled with respect to firing rate or flue gas oxygen concentration. Use of a common gas and combustion air control linkage or jack shaft is prohibited.

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DESIGNED OR PREPARED BY:

TOMAS A. FERNANDEZ, P.E.

Design and Planning Service
2678 North Main Street Suite 27
Walnut Creek, CA 94596
925-932-6173
Email: tomasfer99@comcast.net

CLIENT NAME:

GRE INVESTMENTS

ADDRESS:

337 RAILROAD AVENUE, PITTSBURG, CA 94565

PROJECT NAME:

SHELL BUILDING REMODEL

SHEET TITLE:

TITLE 24 REPORT

SHEET INFO:

DATE:	DEC. 2024
SCALE:	AS NOTED
DRAWN BY:	RVG
JOB #:	DU19-23

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLAN CHECK COMMENTS	01-13-2022
2	FIELD REVISIONS	07-31-2024

SHEET NUMBER:

T24.5

45

STRUCTURAL NOTES AND SPECIFICATIONS

STRUCTURAL NOTES AND SPECIFICATIONS

A. GENERAL

1. The Contractor shall examine and check all existing conditions, dimensions, levels and materials and notify the Owner, Architect or Engineer of any discrepancies before proceeding with the work. Should a discrepancy appear in the Specifications or Drawings, or in the work done by others from the contract documents that affect any work, notify the Architect or Engineer at once for instruction on how to proceed.

2. All construction and materials shall be as specified and as required by the latest edition of the California Building Code, The California Building Code Standards, locally enforced codes and authorities. All articles, materials and equipment shall be installed, applied, connected as directed by the manufacturer's latest written specifications except where otherwise noted. Material notes on the drawings shall take precedence over the Specifications.

3. In the event certain features of the construction are not fully shown, their construction shall be as shown for similar features. All dimensions shall take precedence over scale shown on the Plans.

4. It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, formwork, etc., as required for the protection of life and property during construction.

5. All material stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

6. See architectural, electrical and mechanical drawings for size and location of pipe, vent, duct and other openings and details not shown on the structural drawings. All structural drawings, details, dimensions, etc. shall be checked and verified, by the Contractor, with the architectural drawings. All discrepancies shall be brought to the attention of the Engineer for resolution before proceeding with the work.

B. FOUNDATION

A Geotechnical Engineering Report has not been prepared for this site. The Foundation Recommendations for Load Bearing Values Table 1806.2 (2022 CBC) was used as a basis for the design for the foundation system. The foundation stem wall footing shall be founded on undisturbed native soil that is reviewed and approved by the Engineer—Of—Record prior to placing of the concrete. Slabs on grade shall be constructed over subbase as specified on the project structural plans compacted to 95% maximum dry density. All earthwork and site drainage shall be constructed in accordance with all applicable local and regional building codes and standards.

C. CONCRETE

1. Poured in place concrete work shall be constructed of normal weight, five sack Portland Cement Concrete, having a minimum 28-day compressive strength of 2,500 psi for slabs on grade and grade beams or be constructed of normal weight four sack Portland cement concrete having a minimum 28-day compressive strength of 2,500 psi for cast-in-place piers. All portland cement concrete shall conform to the requirements of ACI 318, "Building Code Requirements for Reinforced Concrete", latest edition. The concrete shall be placed with a maximum of 312 pounds of water per cubic yard. Maximum slump shall be 4 inches. The use of any admixture in the concrete must be approved by the Engineer.

2. All newly placed concrete shall be cured in accordance with the provisions in ACI 308, "Standard Practice for Curing Concrete", latest edition. Method of curing shall be at the option of the Contractor with approval of the Owner.

3. All metal anchorage devices, anchor bolts, etc. shall be secured in place and inspected prior to placing concrete.

4. All work done under this section shall conform with the applicable portions of ACI 318, latest edition.

D. REINFORCEMENT

1. Use Grade 40 deformed reinforcing for #4 and smaller bars and Grade 60 for #5 and larger bars conforming to the requirements of ASTM A615. Staggered reinforcing bar contact splices shall lap 48 diameters. Support horizontal steel at bottom on mortar blocks. Maintain a minimum of 3 inch clearance for surfaces poured against earth; minimum 1.5 inch elsewhere U.N.O.

2. All reinforcing shall be secured in place and inspected prior to placing of concrete or grout.

3. All work done under this section shall conform with the applicable portions of ACI 318, latest edition, particularly Chapter 7, "Details of Reinforcement".

E. WOOD FRAMING

1. No structural member shall be cut or notched unless specifically shown, noted, or approved by the Engineer. Holes in wood sills or plates of shear or bearing walls shall be placed in the center of the piece. Holes in excess of 1 inch diameter are not permitted in any member of a shear wall nor in any 2x4 double top plates. 2x6 double top plates may have up to two-inch diameter holes unless noted otherwise. Holes larger than noted above may be bored in sills providing the sill is considered cut in two and anchor bolts placed accordingly.

2. All wood framing shall be Douglas Fir or California Redwood and shall be of the grade specified in these specifications unless noted otherwise in the plans, manufactured and graded per WMPA Grading Rules, latest edition.

Sill..... PTDF No. 2
Joists, Rafters, Beams, Header..... up to 4x – DF No. 2
Studs and Blocking..... 6x –DF No. 1
Posts and Double Top Plates..... DF Standard, No. 2 or Better
DF No. 1

Timber framing shall have a moisture content of 19% or less at the time of connection installation.

Glulam beams shall conform to the requirements of ANSI/AITC Standards A/90.1–1903 for combination symbol 24F–V4 U.N.O. in the plans. Furnish glulam beams with standard camber, U.N.O. Provide AITC certificate for all glulams to the Architect or the Engineer.

3. All plywood sheathing shall be APA Rated Sheathing, Exterior Exposure 1 conforming to the latest edition of APA PRP–108, Performance Standards and Policies for Structural–Use Panels. All plies shall be group 1 or 2 species. Space panel ends and edges 1/8" minimum. Where wet or humid conditions prevail double this spacing.

4. For shear wall nailing, anchor bolts, and shear transfer devices, see shear wall schedule and details.

5. For other exterior wall, minimum anchor bolt is 5/8 inch diameter embedded at least 7 inches into the concrete @ 5 feet O.C. with a minimum of two bolts per sill piece placed within 12 inches of each end. Minimum end distance of 7 A.B. Diam. Anchor bolts less than 1 1/2 inches from sill edge shall be replaced with an epoxy bolt of the same diameter. All sill bolts shall have 3x3x0.229 in steel plate washers. Exterior walls other than designated shear walls shall consist of 2x4 studs spaced 16" O.C. with 15/32" exterior grade plywood or equivalent wood siding fastened with 8d nails at 6" O.C. along supported edges and 12" in the field.

6. Stud walls supporting beams shall have posts with a minimum width equal to the width of the beam located below the beam, unless noted otherwise.

7. All metal framing devices shall be as manufactured by Simpson Strong–Tie Company or approved equal, installed in conformance with the manufacturer's specifications.

8. Bolts shall conform to ASTM grade 307 U.N.O. Bolt holes shall be 1/16 inch larger than the nominal size of the bolt. Cut flat washers shall be provided at all heads and nuts which would otherwise bear directly on wood. All bolts shall be tightened to a snug condition and retightened upon job completion or immediately before constructing work which will make them inaccessible.

9. Use common type nails U.N.O. Nails shall be hot dipped galvanized where exposed to the weather. Where not specified otherwise, the nailing requirements for CBC Table 2304.9.1 shall apply (latest edition).

10. All TJI Floor Joist, Microlam LVL and Parallam Members shall be as manufactured by Truss Joist Mfg/Innovative Corporation. Install all TJI Floor Joists, Microlam LVL and Parallam Members in accordance with the Manufacturer's Latest Recommended Installation Details and Specifications.

F. EPOXY GROUT ANCHORS & DOWELS

1. Holes may be cut by either rotary percussion drilling followed by air blow out with oil free compressed air or by diamond core boring followed by water flush. The hole must be free of water, dust, oil, or other contaminants before epoxy grouting. (Special Inspection is Required)

2. The diameter of the hole shall be 1/4" larger than that of the bar.

3. Pour a measured amount of epoxy bonding agent into the hole. Insert the bar, displacing the bonding agent, then secure the bar in the center of the hole before it hardens. Epoxy grout for anchors or dowels shall be Simpson SET–XP Epoxy System as manufactured by Simpson Strong–Tie or a substitute approved by the Engineer.

G. STRUCTURAL STEEL AND MISCELLANEOUS IRON

1. All work done under this section shall conform to the requirements of the AISC Specifications and Code of Standard Practice, latest edition. Steel shall conform to the following requirements:

Moment Frames ASTM A992 or ASTM A913 or ASTM A572, Grade 50

Shapes and Plates ASTM A36

Fasteners ASTM A325 or A490

Tube Steel Members ASTM A500 Grade B

Bolts/Nuts ASTM A307

2. All steel assemblies and fasteners exposed to earth or weather in the completed structure shall be hot dipped galvanized after fabrication. All other steel fabrications shall be painted with one coat zinc chromate primer.

3. Welding shall be done by welders certified for the welds to be made using E70XX electrodes in conformance with the requirements of AWS D1.1 Structural Welding Code – Steel Latest Edition. Full penetration welds are to be inspected during welding by a special inspector approved by the local building department.

4. Contractor to determine all dimensions in the field prior to steel fabrication.

5. Provide Shop Drawing Fabrication Showing all the weldings and specifications. Special Inspection is required per CBC 2016, Section 1701.

ABBREVIATIONS

A.B. Anchor Bolt
ALT. Alternate
APA. American Plywood Association
ARCH. Architect
BFW. Ballon Framed Wall
BLKG. Blocking
BM. Beam
BN. Block Nailing
BOT. Bottom
BRG. Bearing
CANT. Cantilever
CL. Center Line
CLG. Ceiling
CLR. Clear
CMU. Concrete Masonry Unit
COL. Column
COLL. Collector
CONC. Concrete
CONT. Continuous
CTRS. Centers
DBL. Double
DF. Douglas Fir
DIM. Dimension
DET. Detail
DWG. Drawing
(E) Existing
EN. Edge Nailing
EA. Each
FLR. Floor
FN. Field Nailing
FND. Foundation
FTG. Footing
F.O.S. Face of Stud

GLB. Glulam Beam
HD. Holdown
HDR. Header
MB. Machine Bolt
MIN. Minimum
MBR. Member
MTL. Metal
NTS. Not to Scale
OC. On Center
PL. Plate
PLY. Plywood
PTDF. Preservative Treated Douglas Fir
REINF. Reinforcement
REQD. Required
RF. Roof
RR. Roof Rafter
SAD. See Architectural Drawings
SB. Solid Blocking
SCH. Schedule
SHRWL. Shear Wall
SHTG. Sheathing
SIM. Similar
SMF. Steel Moment Frame
SN. Sill Nailing
STL. Steel
T.&B. Top and Bottom
TJI. Truss Joist Floor Joist
TS. TUBE STEEL
TYP. Typical
C.B.C. California Building Code, latest edition
U.O.N. Unless Otherwise Noted
V.I.F. Verify In Field
W/ With
WWF. Welded Wire Fabric

WOOD HORIZONTAL DIAPHRAGM SCHEDULE

DESIGNATION	STRUCTURAL PANEL ^{2,3}	EDGE NAILING (E.N.) ¹	FIELD NAILING (F.N.) ¹	BLOCK NAILING (B.N.) ¹	ALLOWABLE SHEAR (LBS.)	ROOF EAVE/FLOOR BLOCK ANCHOR
R1	1/2" CDX	8d @ 6"	8d @ 12"	N/A	180	LS50 @ 24" O.C.
F1	3/4" CDX	10d @ 6"	10d @ 12"	N/A	215	A35 @ 16" O.C.

- USE COMMON NAILS ONLY. EIGHT GAGE SCREWS MAY BE SUBSTITUTED FOR 10d AND 12d NAILS.
- FLOOR SHEATHING SHALL BE PLYWOOD OR OSB APA-RATED EXTERIOR 1 SHEATHING 23/32" OR 1–1/8" WITH A MINIMUM SPAN RATING OF 48/24 BONDED TO FLOOR JOIST ASSEMBLY WITH EXTERIOR RATED GLUE. EXTERIOR RATED SHEATHING SHALL BE USED FOR EXTERIOR CONDITIONS.
- ROOF STRUCTURAL PANELS SHALL BE PLYWOOD OR OSB APA-RATED EXTERIOR 1 SHEATHING 15/32" WITH MINIMUM SPAN RATING OF 32/16. PROVIDE (1) PSCL CLIP AT ALL UNSUPPORTED PANEL EDGES. EXTERIOR RATED SHEATHING SHALL BE USED FOR EXTERIOR CONDITIONS.

WOOD SHEAR WALL SCHEDULE

DESIGNATION ⁵	STRUCTURAL PANEL ^{6,10}	EDGE NAILING (E.N.) ^{1,3}	FIELD NAILING (F.N.) ^{1,2,3}	ALLOWABLE SHEAR (PLF.)	FLOOR SOLE PLATE NAILING ¹ (S.N.)	FLOOR SOLE PLATE NOMINAL SIZE	FLOOR BLOCK NAILING (B.N.)	FLOOR BLOCKING NOMINAL SIZE	FOUNDATION SILL PLATE NOMINAL SIZE ^{7,11}	5/8" FOUNDATION SILL PLATE ANCHOR BOLT SPACING ^{8,9,11}
A	1/2" CDX	8d @ 6"	8d @ 8"	264	16d @4.5"O.C.	2X	(1) A35 @ 18" O.C.	2X	2X	36" O.C.
B	1/2" CDX	8d @ 4"	8d @ 8"	384	SDS1/4"x6" @ 6"O.C.	2X	(1) A35 @ 14" O.C.	2X	3X	24" O.C.
C	1/2" CDX	8d @ 3"	8d @ 8"	492	SDS1/4"x6" @ 8"O.C.	2X	(1) A35 @ 11" O.C.	2X	3X	19" O.C.
D	1/2" CDX	8d @ 2"	8d @ 8"	552	SDS1/4"x6" @ 6"O.C.	3X	(1) A35 @ 8.5" O.C.	4X	3X	19" O.C.

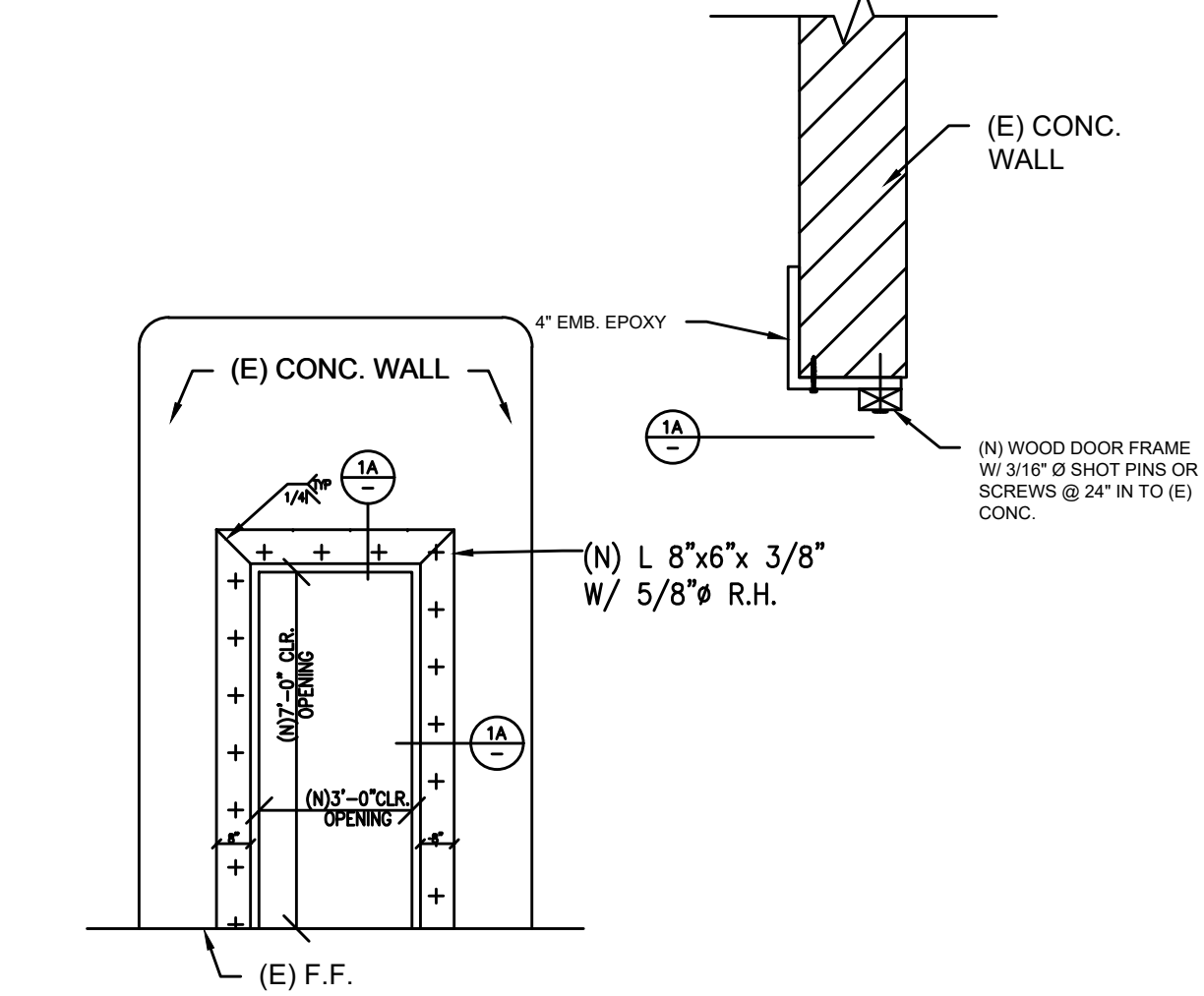
- USE COMMON NAILS ONLY. ALL PANEL EDGES SHALL BE BLOCKED. PANELS MAY BE INSTALLED HORIZONTALLY OR VERTICALLY. OVERDRIVEN NAILS THAT BREAK THE FACE OF THE SHEAR WALL PANEL SHEATHING ARE NOT ALLOWED.
- SPACE NAILS AT 6 INCHES ON CENTER ALONG PANEL EDGES (FIELD NAILING) FOR STUDS SPACED 24" O.C.
- ALL FRAMING MEMBERS RECEIVING EDGE NAILING FOR DOUBLE-SIDED SHEAR WALLS SHALL BE 3X. FOR DESIGNED SHEAR WALLS WHERE THE ALLOWABLE SHEAR VALUE EXCEEDS 350 PLF, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANEL EDGES SHALL BE 3X. PLYWOOD JOINT AND SILL PLATE NAILING OR BOLTING SHALL BE STAGGERED IN ALL CASES.
- LAG BOLTS TO BE 3/8"x6" AND INSTALLED WITH 3x3x0.229 INCH SQUARE WASHERS. SUBSTITUTE 20d FOR 16d NAILS AT SILL PLATE NAILING WHEN 1–1/8" FLOOR SHEATHING USED. PRE-DRILL ALL LAG BOLTS WITH 1/4" HOLES AND 20d NAILS WITH 1/8" Ø HOLES.
- 5/8" CDX MAY BE SUBSTITUTED WITH 1/2" STRUCTURAL I RATED PANEL.
- WOOD SILL PLATE MUST BE PRESERVATIVE-TREATED DOUGLAS FIR.
- ALL ANCHOR BOLTS OR NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED HOT-DIPPED OR TUMBLED.
- SILL PLATE ANCHOR BOLTS SHALL BE LOCATED A MINIMUM OF 5 INCHES AND A MAXIMUM OF 10 INCHES FROM SILL PLATE ENDS, NOTCHES OR CUTS IN SILL PLATE. A 3 INCH BY 0.229 INCH SQUARE WASHER SHALL BE USED AT ALL ANCHOR BOLT LOCATIONS. FOUNDATION SILL PLATES AT NON-SHEAR WALLS SHALL BE BOLTED WITH 5/8" ANCHOR BOLTS AT 60 INCHES ON CENTER MAX.
- WALL STRUCTURAL PANELS SHALL BE CDX (PLYWOOD APA RATED SHEATHING EXPOSURE 1)
- WHERE SHEAR WALL DESIGN SHEAR DOES NOT EXCEED 600 POUNDS PER FOOT, 2X NOMINAL SILL PLATE MAY BE USED PROVIDED TWICE THE NUMBER OF ANCHOR BOLTS GIVEN IN THE TABLE ARE USED.
- ALL ANCHOR BOLTS INTO P.T. MUSSILL SHALL BE HOT DIPPED ZINC-COATED GALVANIZE STEEL, STAINLESS STEEL SECT. 2304.9.5
- PLYWOOD OR OSB SHALL BE TYPE "CDX" OR BETTER.

NAILING SCHEDULE

CONNECTION	NAILING *
JOIST TO SILL/SOLE OR GIRDER, TOE NAIL	(3) 8d
BRIDGING TO JOIST, TOE NAIL EACH END	(2) 8d
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	(2) 8d
WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	(3) 8d
2"x SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	(2) 16d
SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d @ 16" O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	(3) 16d per 16"
TOP PLATE TO STUD, END NAIL	(2) 16d
STUD TO FLOOR SOLE PLATE, TOE NAIL	(4) 8d
STUD TO FLOOR SOLE PLATE, END NAIL	(2) 16d
DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d @ 16" O.C.
DOUBLED TOP PLATES (LAP SPLICE), FACE NAIL	(8) 16d @ EA. SIDE OF SPLICE
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	(3) 8d
RIM JOIST TO TOP PLATE, TOE NAIL	8d @ 6" O.C.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	(2) 16d
CONTINUOUS (2) 2X HEADER, FACE NAIL	16d @ 16" O.C. ALONG EA. EDGE
CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d
CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
CEILING JOISTS PARALLEL TO RAFTERS, FACE NAIL	(3) 16d
RAFTER TO PLATE, TOE NAIL	(3) 8d
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	(2) 8d
1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	(2) 8d
WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	(3) 8d
BUILT UP CORNER STUDS	16d @ 24" O.C.
* USE COMMON NAILS UNLESS OTHERWISE NOTED	

STRUCTURAL DESIGN INFORMATION

LATERAL DESIGN SYSTEM INFORMATION	DEAD LOAD/LIVE LOADS DATA	
OCCUPANCY, IMPORTANCE FACTOR II, 1.0 BASIC WIND SPEED (3 Sec. gust) 110mph WIND EXPOSURE CATEGORY B LATITUDE-LONGITUDE = 38.033 N-121.883 W SEISMIC DESIGN FACTORS : SS=2.318, S1=0.735, SDS=1.000, SD1=0.735 R=6.5 CD=4, CS=0.154 SITE CLASS=D, DESIGN CATEGORY=D LATERAL SYSTEM=WOOD FRAMED SHEARWALLS ANALYSIS PROCEDURE=EQUIV. LATERAL FORCE PROJECT DESIGN BASE SHEAR= 0.154W	DEAD LOAD / LIVE LOAD	
	ROOF	15 PSF 20 PSF
	VAULT ROOF	15 PSF 20 PSF
	CEILINGS	7 PSF 10 PSF
	FLOORS	15 PSF 40 PSF
	DECKS	10 PSF 60 PSF
	EXT. WALLS	15 PSF
	INT. WALLS	10 PSF



NEW DOOR @ CMU WALL DETAIL

REQUIRED SUBMITTALS

1. Pre-manufactured roof truss shop drawings stamped by a duly licensed Engineer shall be submitted to the Engineer for review and approval prior to fabrication. The truss shop drawing submittal shall include 2 copies of the truss layout and truss calculations showing all loads and details showing axial and bending stresses and joint designs, indicating to conform to the CBC 2303.4

Those shop drawings noted as deferred submittals shall, upon the Engineer review and together with the Engineer letter indicating general conformance to be submitted to the Building Official at least 2 weeks prior to frame inspection so that he may approve them for construction and make them a part of the official records.

ROOF TRUSS	ASPHALT SHINGLES
TOP CHORD DL	8 PSF
BOT CHORD DL	5 PSF
BOT CHORD LL	10 PSF (NON CONC. W TOP CHORD)
MAX. TOTAL (DL+LL)	SPAN/240 NOT GREATER THAN 1"
LOAD VERTICAL DEFLECTION	

SITE OBSERVATIONS

THE ENGINEER OF RECORD SHALL BE RETAINED TO PROVIDE THE FOLLOWING SITE OBSERVATION SERVICES. A MINIMUM OF 48-HOUR ADVANCE NOTICE SHALL BE PROVIDED TO THE ENGINEER PRIOR TO THE SITE VISIT.

- AFTER COMPLETION OF ALL FORMWORK, REBAR PLACEMENT, HOLDOWN ANCHOR BOLTS, ETC., BUT PRIOR TO THE POURING OF THE CONCRETE FOR THE FOOTINGS.

SPECIAL INSPECTIONS

SPECIAL INSPECTION PER CBC. 1704 REQUIRED FOR THE FOLLOWING ITEMS:
1. EPOXY INSTALLATION OF ANCHOR BOLTS CBC. (1701.5.15)
2. CONCRETE STEEL REINFORCEMENT (CBC 1704.4)



TOMAS A. FERNANDEZ, P.E.

2878 North Main St., Ste. # 27, Walnut Creek, CA 94596
Telephone: (925) 932-6173 Fax: (925) 932-6130
Email: tomasfer99@comcast.net

DATE

DESCRIPTION

REV.

GRE INVESTMENTS
SHELL BUILDING REMODEL
337 RAILROAD AVE.
PITTSBURGH, CA 94585



STRUCTURAL NOTES
SHEAR-WALL SCHEDULE
DIAPHRAGM SCHEDULE
INDEX OF DRAWINGS

JOB # DU19-23

DATE: DEC. 2024

DRAWN BY: RVL

ENGINEER: TAF

SCALE: N.T.S.

CAD FILE: DU19-23

SHEET

SN



Community and Economic Development Department – Planning Division

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the **PLANNING COMMISSION** of the City of Pittsburg will conduct a public hearing on:

DATE: March 25, 2025
TIME: 7:00 p.m.
PLACE: City Council Chamber at City Hall
65 Civic Avenue, Pittsburg, California

Concerning the following matter:

BLUE Sports Bar & Lounge, AP-25-0007 (UP)

This is a public hearing on a request for approval of a Use Permit to establish a Full-Service Restaurant with Alcohol Sales and Live Entertainment within an existing 2,400-square-foot structure located at 337 Railroad Avenue in the Pedestrian Commercial (CP) District.
Assessor's Parcel Number: 085-108-016.

Environmental Determination

The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Existing Facilities," of the CEQA Guidelines, section 15301. The proposed project qualifies for a Class 1 categorical exemption because the project site is an existing, private structure and the applicant is not proposing any expansion of the existing structure. Therefore, the proposed project will not have a significant effect on the environment and is exempt from the provisions of CEQA.

PROJECT PLANNER: Alison Spells, (925) 252-6987 or aspells@pittsburgca.gov

Why am I receiving this notice? You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a 300-ft. radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project? The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

What can I do if I have comments on the project? Comments or objections to the project can be made by writing or through e-mailed testimony prior to the meeting or provided orally during the meeting. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565.

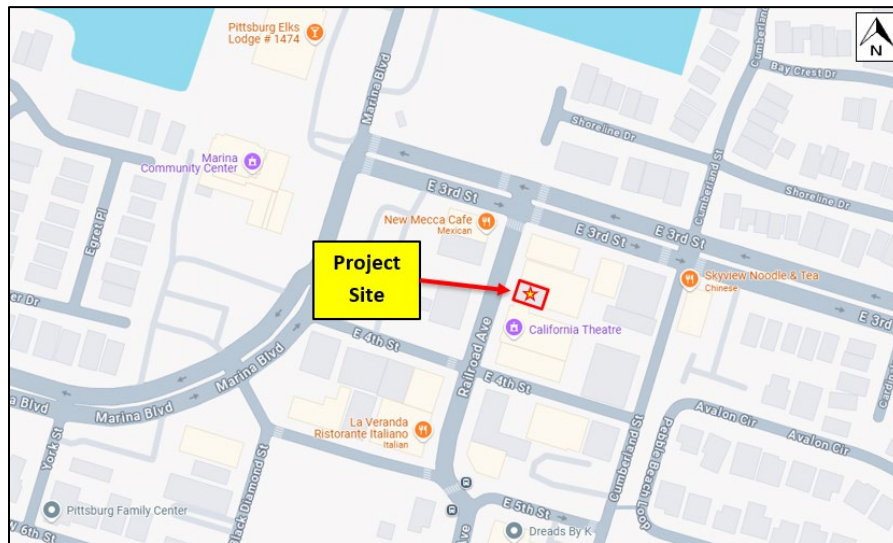
Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body's action on the matter will become a part of the administrative record.

*Para información en
español:
(925) 252-4920*

JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION

Project Title: Blue Sports Bar & Lounge, AP-25-0007 (UP)

Location: 337 Railroad Avenue, Assessor's Parcel Number: 085-108-016



City of Pittsburg
California

Community and Economic Development Department
Planning Division
65 Civic Avenue
Pittsburg, CA 94565



NOTICE OF PUBLIC HEARING

**CITY OF PITTSBURG
PLANNING COMMISSION
STAFF REPORT
March 25, 2025**

ITEM: Notice of Intent to Exercise Delegated Design Review Authority

ORIGINATED BY: City of Pittsburg, Zoning Administrator, 65 Civic Avenue, Pittsburg, CA 94565

SUBJECT: The Zoning Administrator submits one Notice of Intent to Exercise Delegated Design Review Authority

RECOMMENDATION:

Staff recommends that the Commission acknowledge receipt of the attached Notice of Intent to Exercise Delegated Design Review Authority

BACKGROUND:

Delegated Design Review Authority

Delegated Design Review Authority: Planning Commission Resolution No. 9444, as later amended by Resolution No. 9918, allows for delegation of nine categories of design review applications from the Planning Commission to the Zoning Administrator, as follows:

1. Freestanding signs: Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
2. Wireless Communication Equipment: New or replacement antennas on existing poles and their related equipment.
3. Minor Building Remodels: Limited to changes in building colors, awnings, fenestration, and finishes.
4. Changes to Existing Parking Lots.
5. Changes to Existing Landscaping.
6. Additions to Existing Buildings: Additions must be smaller than 2,500 square feet and designed to complement existing building architecture.
7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.

Planning Commission Staff Report

8. Ancillary Structures: Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in the Industrial Districts.

The intent of the delegation is to allow a more efficient approval process for non-controversial design review applications, without compromising the integrity of the design review process or removing from public scrutiny those projects that would be most visible or of high interest to the general public. Prior to approving any delegated design review application, the Zoning Administrator must notify the Commission of his or their intent to exercise delegated design review authority. Copies of resolutions approving any delegated design review application must also be provided to the Commission.

PROJECT DESCRIPTION:

Since the last Commission meeting, staff has received one application requiring Delegated Design Review Authority under Resolution No. 9918:

1. HCL Absorption Process Relocation, AP-25-0006 (ADR)

This is an application for Administrative Design Review (ADR) approval to relocate the anhydrous HCL (Hydrogen Chloride) absorption process and eliminate approximately 3500 feet of anhydrous HCL piping at Corteva Agriscience campus located at 901 Loveridge Road, Pittsburg, California, 94565.

The site is classified "Industrial" in the Pittsburg General Plan land use map and zoned "IG – General Industrial" where pursuant to PMC Section 18.54.100, Design Review (Section 18.36) is required for additions to existing facilities.

Assessor's Parcel Nos. 073-220-049

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

GENERAL PLAN/CODE COMPLIANCE:

Delegated Design Review Authority: Resolution No. 9918 established nine categories of design review applications upon which the Commission would authorize the Zoning Administrator to act. Resolution No. 9918, and PMC section 18.10.100, direct staff to notify the Planning Commission of intent to exercise delegated design review authority on any application that falls within one of those nine categories, prior to approving the application. Upon receiving such notification, a majority of the Commission may direct that the matter be scheduled for future consideration by the entire Commission.

Resolution No. 9918 also directs staff to keep the Commission informed about delegated design review application approvals by providing copies of resolutions adopted by the Zoning Administrator.

Planning Commission Staff Report

ANALYSIS:

Not applicable.

ACTION REQUIRED:

Acknowledge receipt of the attached Notice of Intent.

ATTACHMENTS:

1. HCL Absorption Process Relocation, AP-25-0006 (ADR), NOI
2. PC Resolution No. 9918

Prepared by: John Funderburg, Zoning Administrator

**NOTICE OF INTENT
TO EXERCISE DESIGN REVIEW AUTHORITY DELEGATED TO STAFF PURSUANT
TO PLANNING COMMISSION RESOLUTION NO. 9918**

HCL Absorption Process Relocation, AP-25-0006 (ADR)

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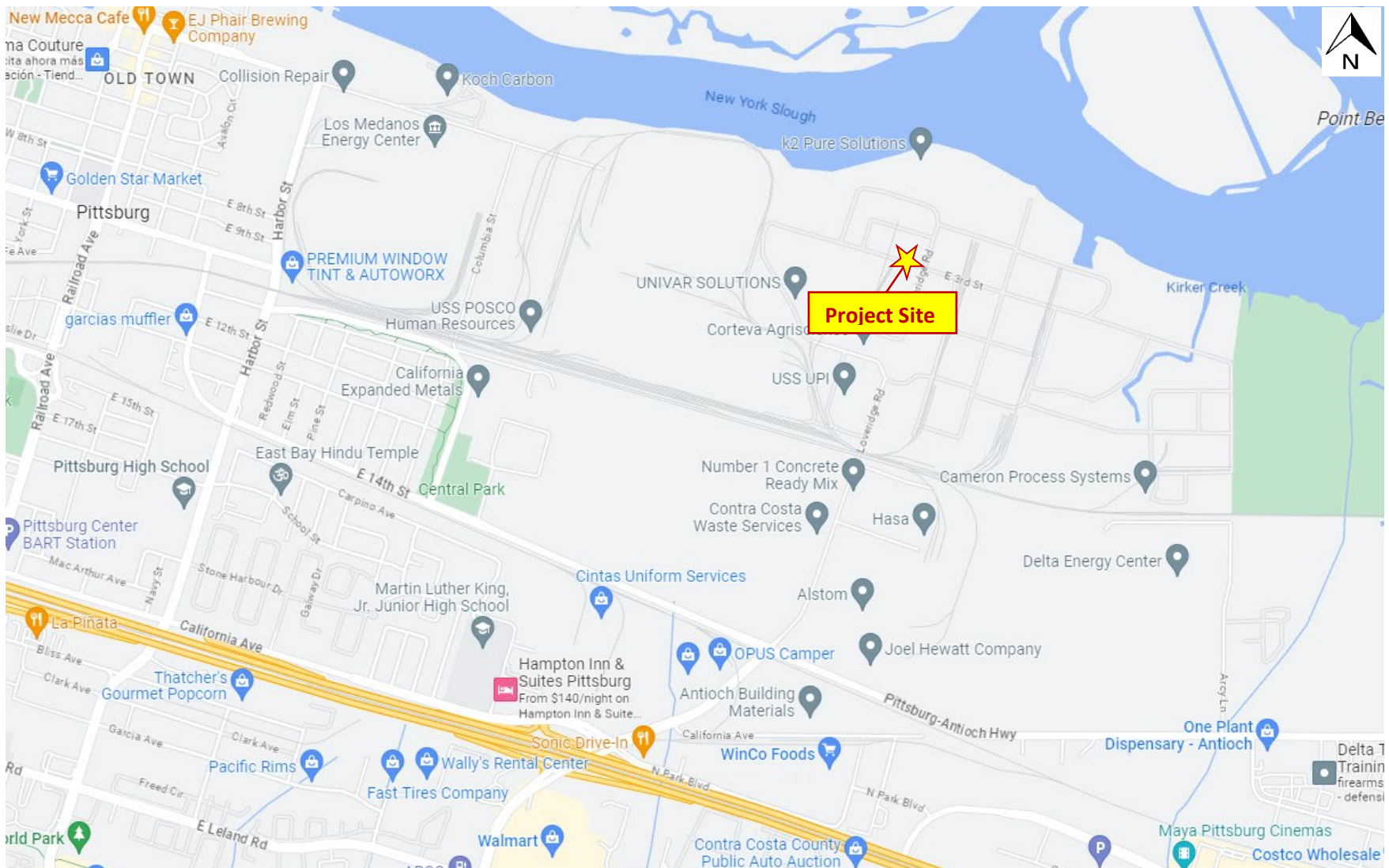
Assessor's Parcel Nos. 073-220-049

This project is delegated to staff under Category 3 (Minor Building Remodels) of Planning Commission Resolution No. 9918.

HCL Absorption Process Relocation - Vicinity Map

Administrative Design Review (ADR)

AP-24-0006	901 Loveridge Roads, Pittsburg, CA 94565
Administrative Design Review (ADR)	Assessor's Parcel Nos. 073-220-049



HCL Absorption Process Relocation - Vicinity Map

Administrative Design Review (ADR)

AP-24-0006	901 Loveridge Roads, Pittsburg, CA 94565
Administrative Design Review (ADR)	Assessor's Parcel Nos. 073-220-049



HCL Absorption Reconfiguration Project Scope Overview

Planning Department Review

FEBRUARY 4, 2025

Proposed Change

- The purpose of the HCL Absorption Reconfiguration Project is to minimize the footprint of the HCL absorption process on site as Corteva ceases production and transitions to an I-Park.
- Corteva currently converts anhydrous HCL (A CalARP Regulated Substance) produced on site to aqueous HCL in our 520 Block Manufacturing Services Unit. After Corteva production operations cease, the only source of anhydrous HCL on the Corteva site will be from Douglas Products.
- Corteva proposes to move the acid absorption process from Manufacturing Services to the AFTF process structure, which is located adjacent to Douglas Products.

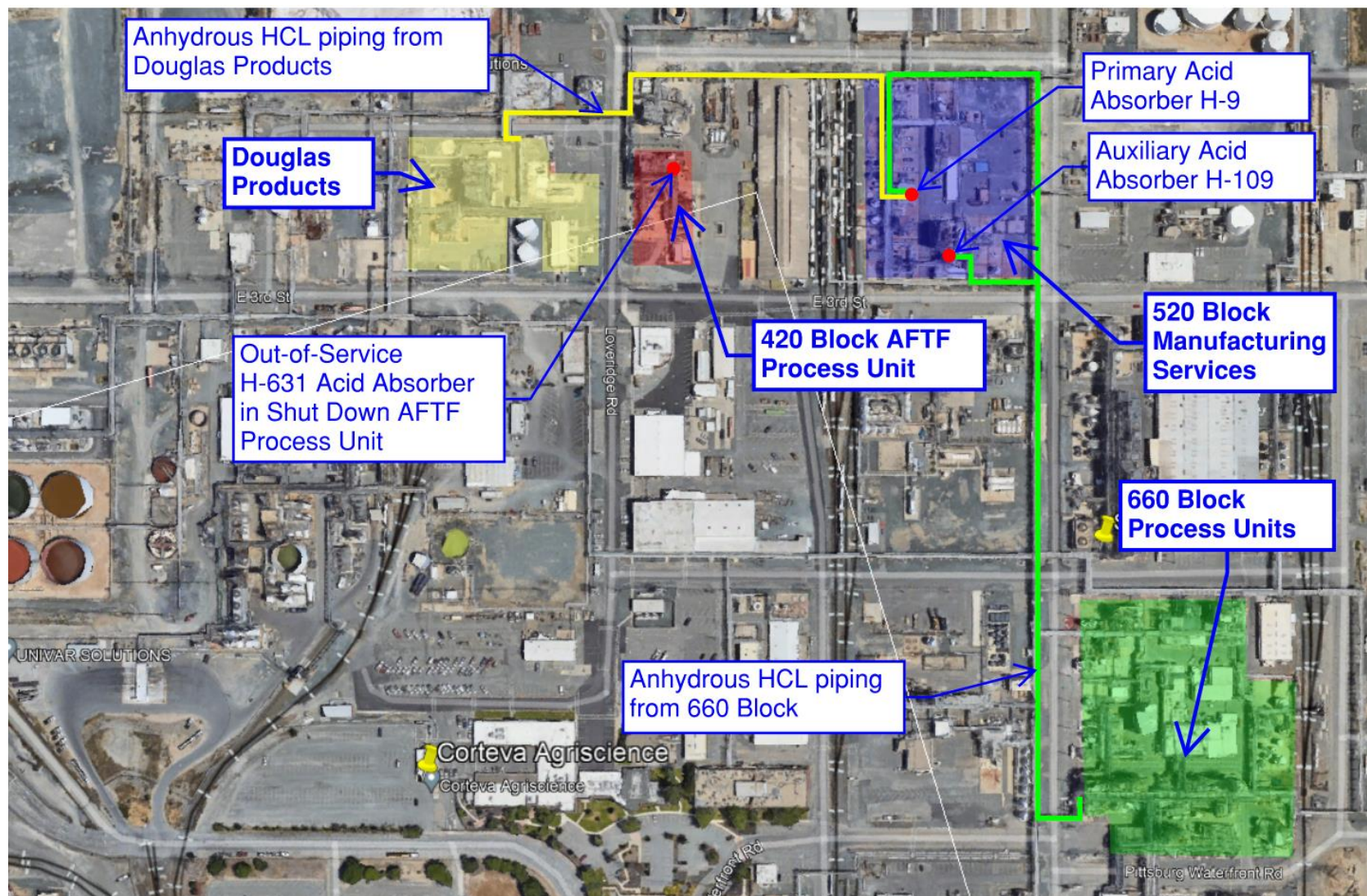
Benefits of HCL Absorption Reconfiguration

- With the closure of the 660 Block production units there will be a net reduction in anhydrous HCL production and absorption on site.
- The reconfigured HCL absorption will occur much closer to the source of anhydrous HCL, eliminating approximately 3500 feet of CalARP Program regulated anhydrous HCL piping on the Corteva site.
- The AFTF structure and pipe racks that will support the relocated acid absorber and new piping are much newer than those currently being used in 520 Block, are already subject to CalARP 5-yr seismic assessments, and will continue to meet current CalARP seismic regulations with these changes.
- There will be no new construction other than relatively minor structural modifications to the former AFTF process structure necessary to accommodate the larger HCL absorber, and installation of new anhydrous HCL piping on existing structures.
- Project will not add any new process equipment to the site.

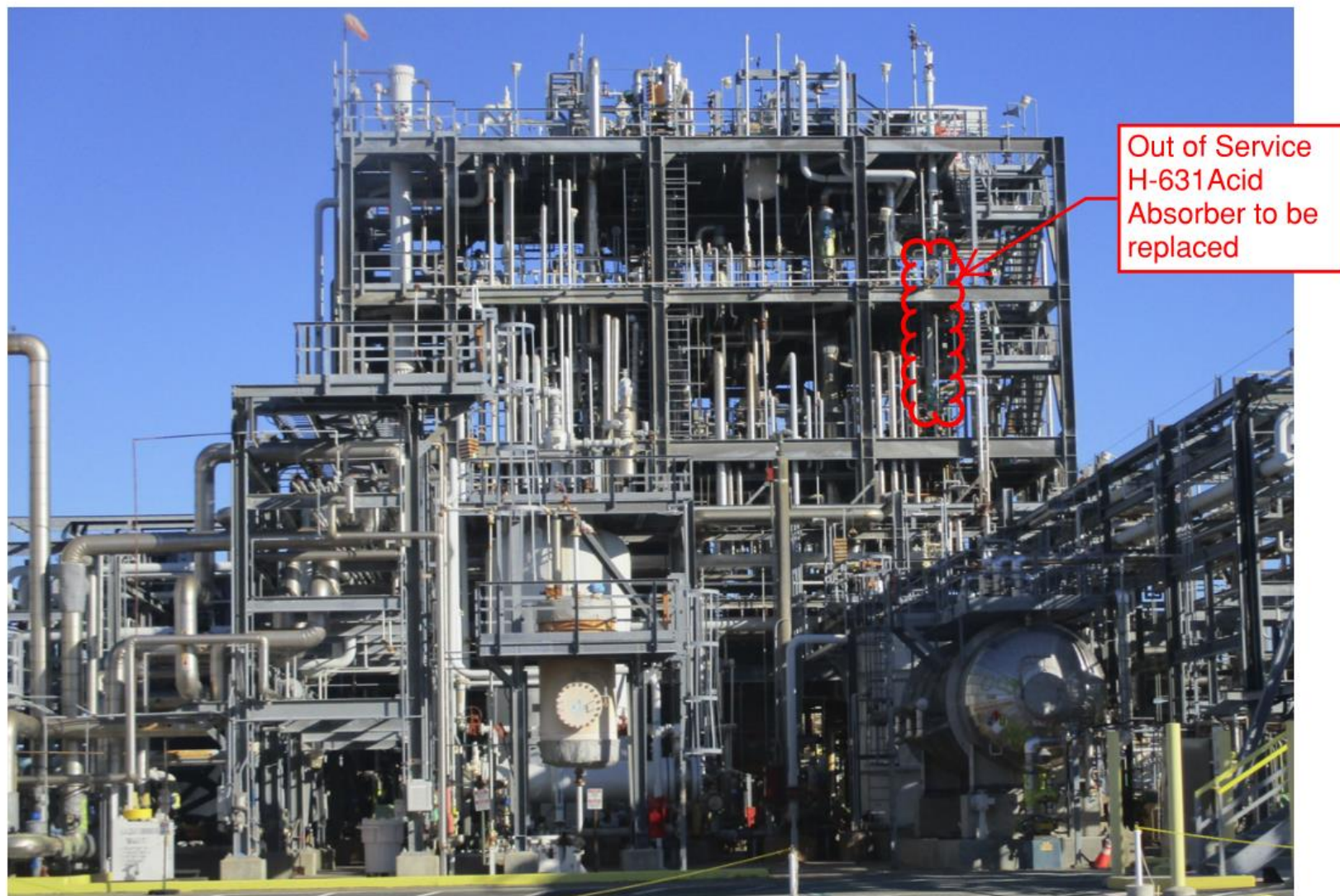
Details of Current Condition

- Anhydrous HCL is currently produced on site by Douglas Products in 320 Block and by Corteva's process units within 660 Block. The anhydrous HCL from both sources is sent via pipeline to 520 Block "Manufacturing Services" for conversion to aqueous HCL.
- The conversion of anhydrous HCL to aqueous HCL is accomplished using the H-9 Primary Acid Absorber and the H-109 Auxiliary Acid Absorber in Manufacturing Services.
- See next two slides illustrating the current condition.

Current Anhydrous HCL Absorption



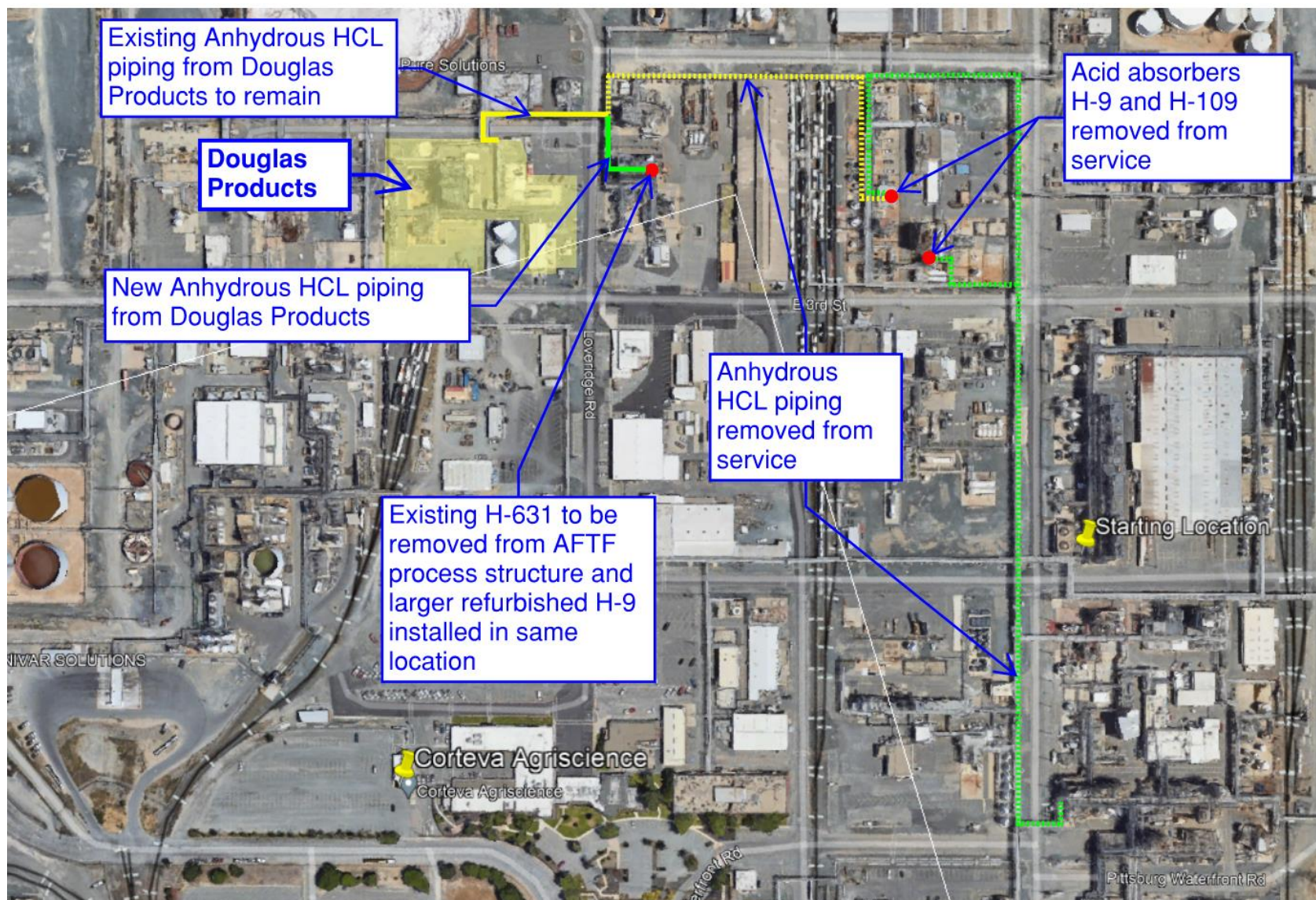
Location of Existing Acid Absorber in AFTF Structure



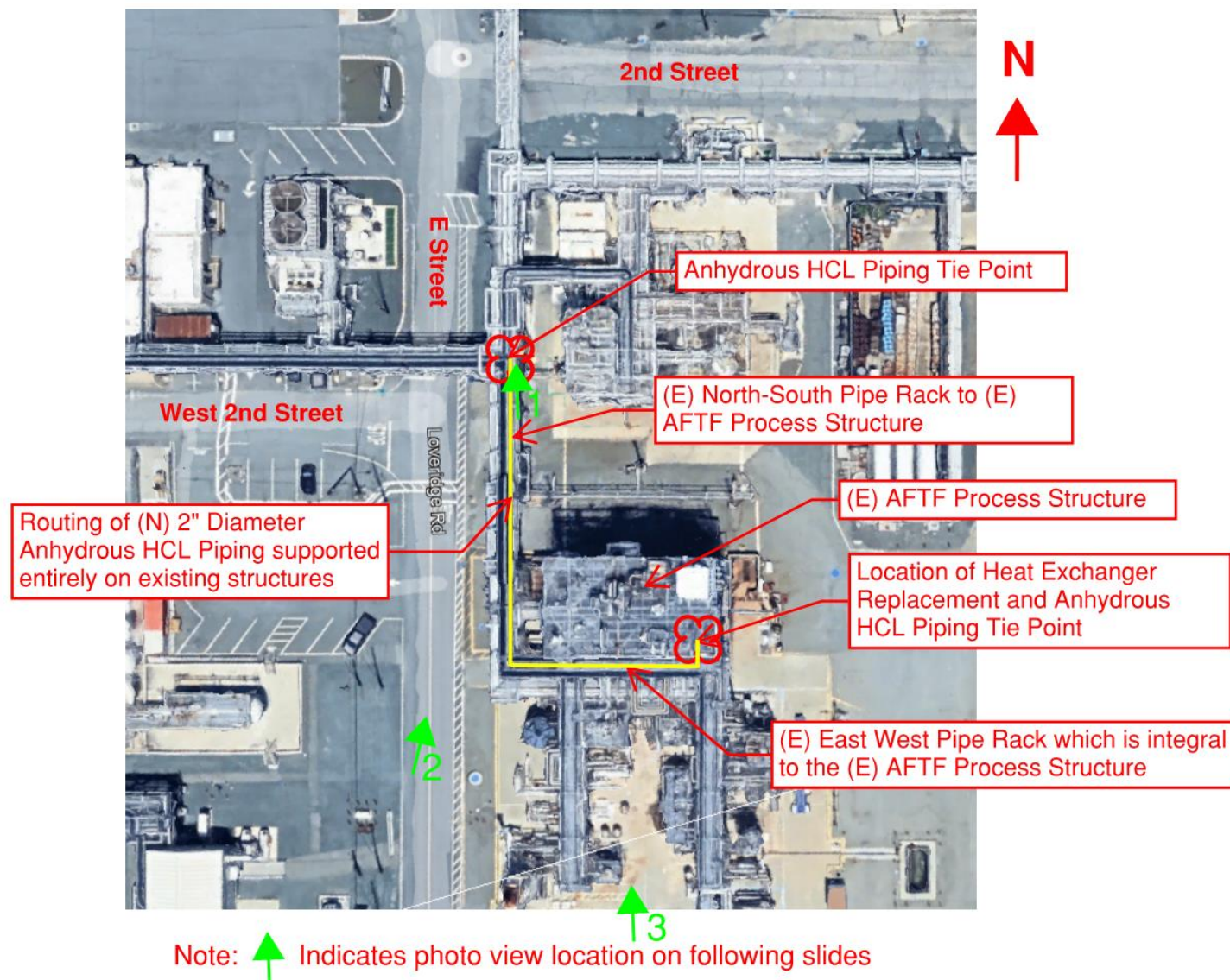
Details of Proposed Change

- Corteva is proposing to replace an out-of-service HCL absorber (H-631) within the shut down AFTF process structure in 420 Block with a larger, recently refurbished, HCL absorber (H-9) and add piping to re-direct anhydrous HCL from Douglas Products to H-9. The refurbished H-9 was previously in service in 520 Block; however, it was replaced with a new identical H-9 that is currently in service.
- Modifications to the former AFTF process structure will be implemented as required to accommodate the larger absorber. H-631 could not be repurposed since it did not have enough capacity to meet demand from Douglas Products.
- Once the refurbished H-9 acid absorber and associated piping is installed in 420 Block, the H-9 and H-109 acid absorbers currently in 520 Block will be removed from service along with the anhydrous HCL piping from the 320 and 660 Blocks.
- The H-9 acid absorber currently in 520 Block will be retained as a spare.
- See illustration of changes on the following slides.

Proposed Changes to Anhydrous HCL Absorption



Proposed Changes to Anhydrous HCL Absorption at AFTF



Conceptual Routing of New Anhydrous HCL Piping

- Piping will be supported on (E) AFTF pipe racks and Process Structure. No new structures required.

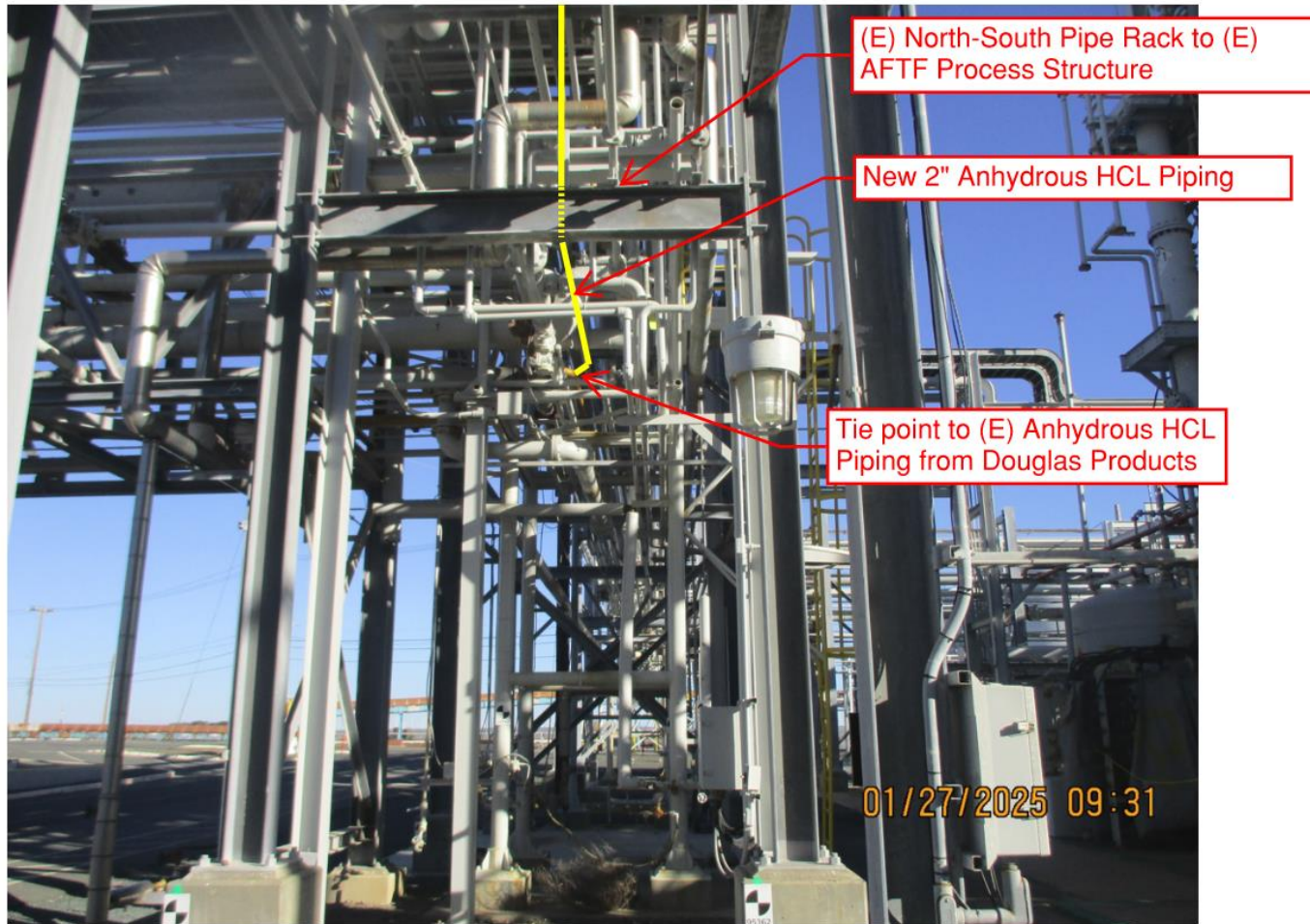


Photo 1: Piping Routing

Conceptual Routing of New Anhydrous HCL Piping (Continued)

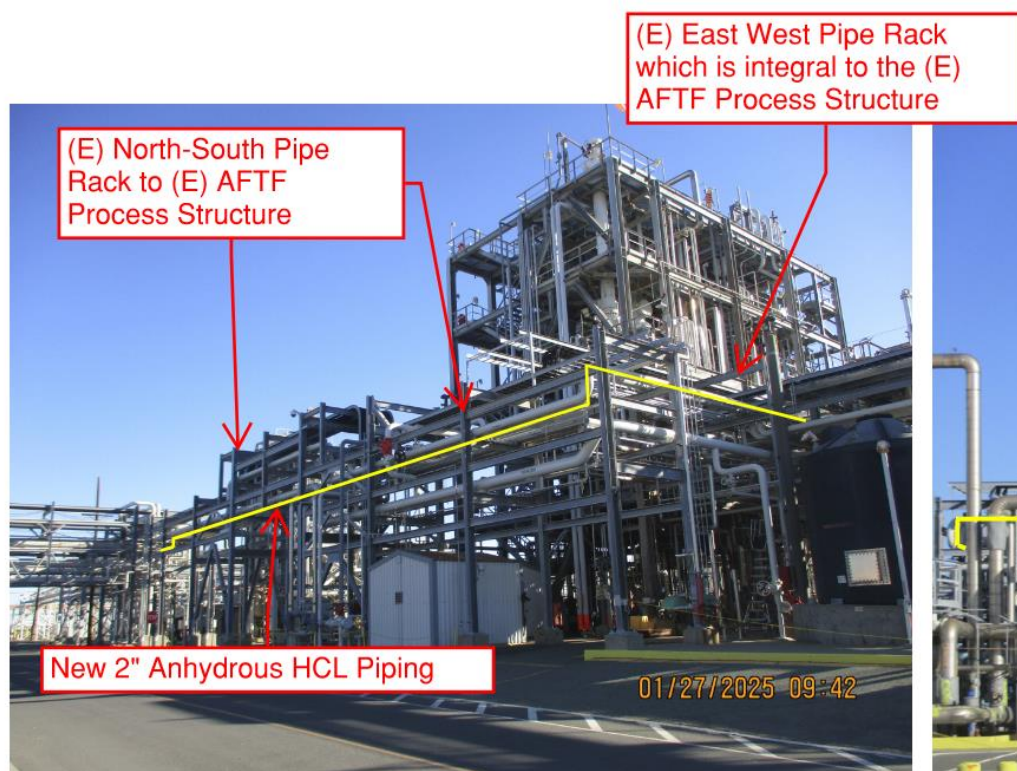


Photo 2: Piping Routing

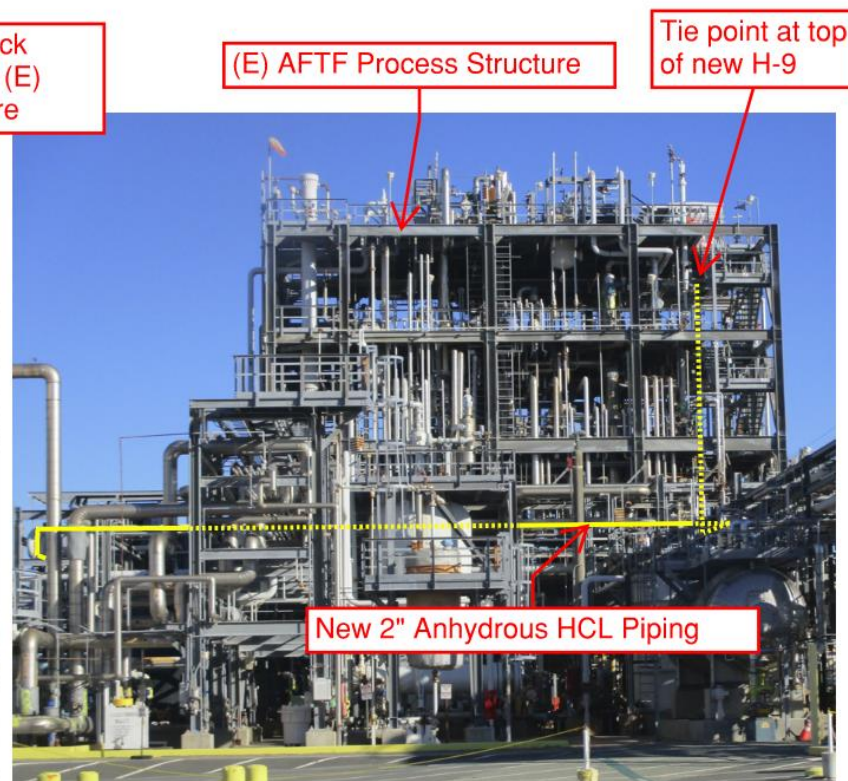
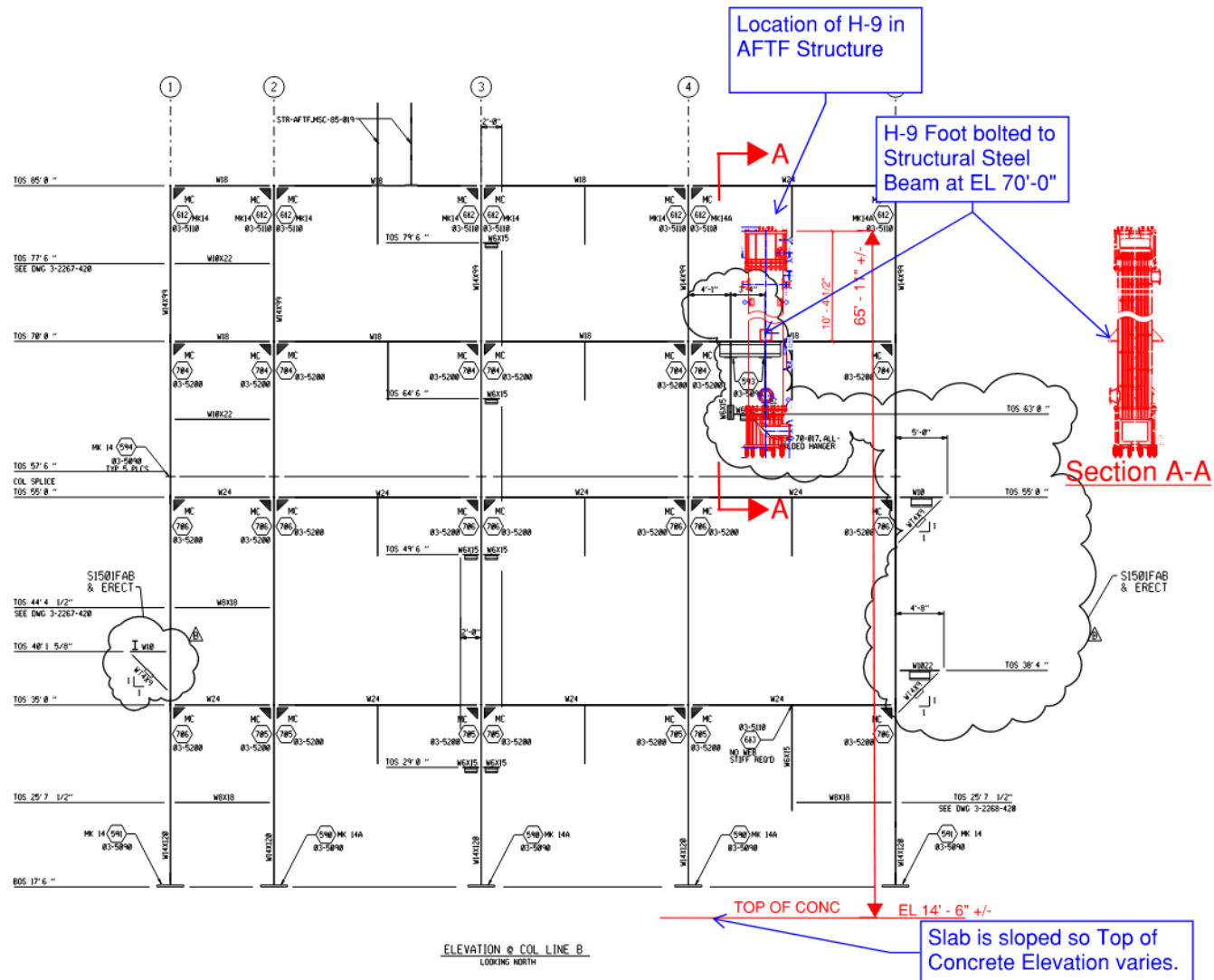


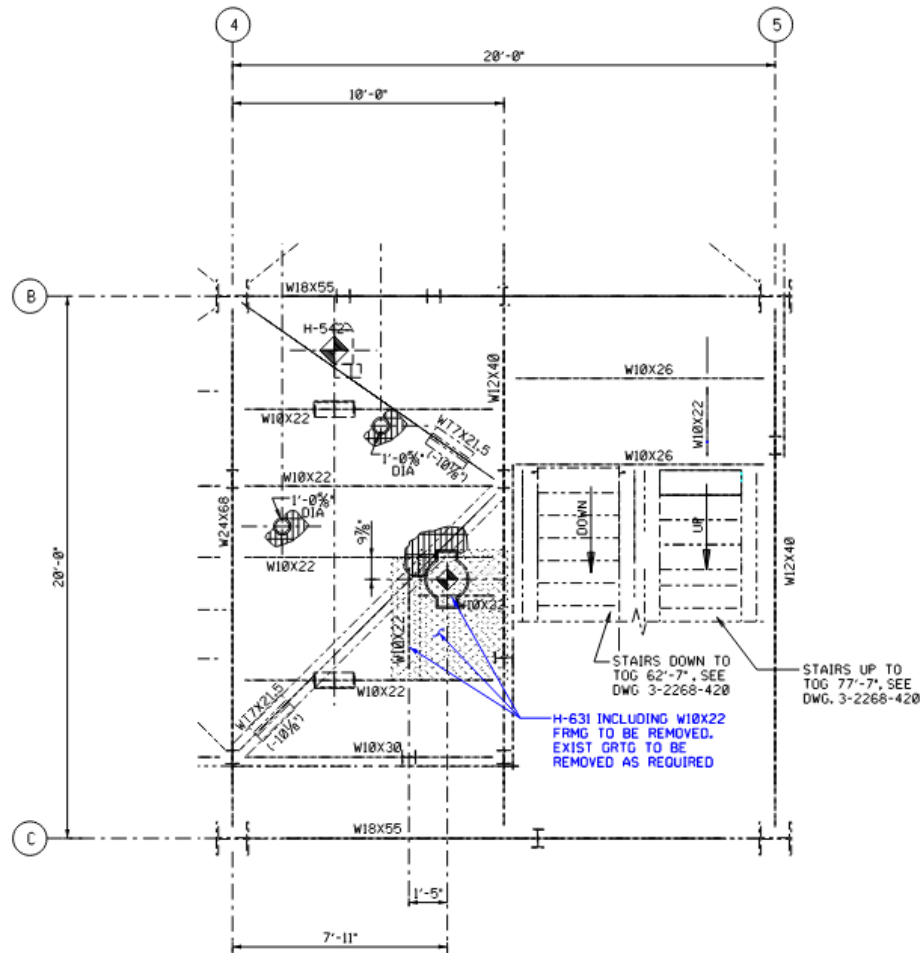
Photo 3: Piping Routing

- Elevation View Showing Location of H-9 (former location of H-631):



Conceptual Structural Changes to Accommodate New H-9

- Demo Scope:



PLATF FRMG PLAN @ TOS EL 70'-0"
DEMOLITION PLAN

Conceptual Structural Changes to Accommodate New H-9

- New Construction:

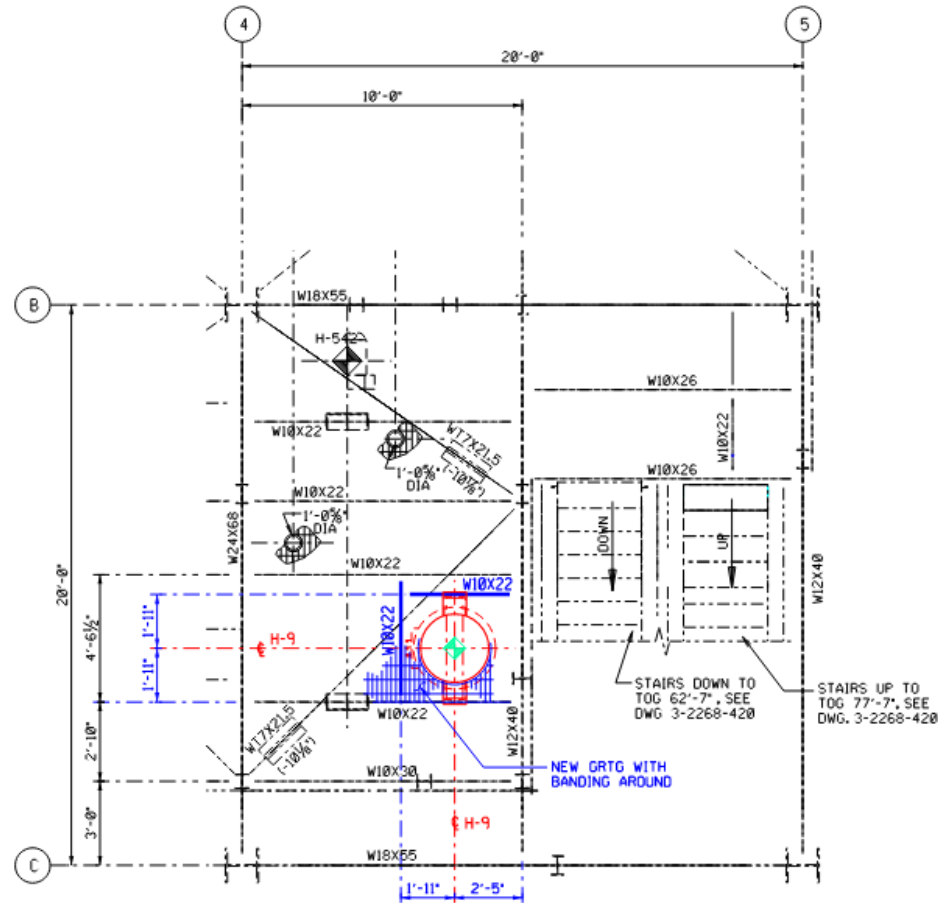


PLATE FRMG PLAN @ TOS EL 70'-0"
MODIFIED FRAMING PLAN

BEFORE THE PLANNING COMMISSION OF THE CITY OF PITTSBURG

In the Matter of:

Resolution Amending the Categories of Eligible)
Projects and Revising the Procedures for) Resolution No. 9918
Delegating Design Review Authority of Certain)
Types of Projects to the Zoning Administrator)

The Planning Commission DOES RESOLVE as follows:

Section 1. Background

- A. On August 26, 2003, the Planning Commission adopted Resolution No. 9444 in an effort to streamline the planning review process for certain projects that the Commission had determined to be routine in nature and have minimal visual impacts on the surrounding community. This resolution authorized various types of projects to be reviewed by the Zoning Administrator rather than the Planning Commission, including "Wireless Communication Antennas, Monopoles and Related Structures and Equipment."
- B. On August 14, 2012, in response to recent Commission concerns regarding the approval process for wireless telecommunication equipment, a study session was conducted with the Planning Commission to review proposed updates to the existing design review delegation procedures. At this study session, the consensus of a majority of Commissioners was to keep all staff proposed changes, with an added clarification on the recommended voting process (Section B) for calling up items to be reviewed by the Commission.
- C. Proposed changes to the existing staff delegated design review authority (as presented during the August 14, 2012, study session) generally include: 1) a modification to the text of category 2, "Wireless Communication Antennas, Monopoles and Related Structures and Equipment," intended to separate out construction of new wireless telecommunications facilities from requests for modifications to existing facilities, with the only latter retaining eligibility for delegated review by the Zoning Administrator; 2) a revision to Category 3 to clarify that it applies to all minor building remodels and not just 'storefront' remodels; 3) a consolidation of Category 7 (changes in building colors) into Category 3; 4) a clarification to Category 9 to confirm application within all districts, not just Industrial areas; and 5) a clarification within Section B clarifying that a Commissioner's request to rescind delegated authority for a specific application, otherwise eligible for Zoning Administrator review, must be supported by a majority of the Commissioners present.
- D. Pittsburgh Municipal Code (PMC) Section 18.10.020, *Powers and Duties of the Planning Commission*, grants primary design review authority to the Planning

Commission. In 2003 the Planning Commission delegated its review and approval authority of certain routine and non-controversial application types to the Zoning Administrator through the adoption of Resolution No. 9444. Changes or revisions to Resolution No. 9444 fall within the same category as the original delegation, which the Commission has authority to approve under PMC 18.10.020.

- E. PMC Section 18.10.030 identifies the City Planner as the Zoning Administrator, and in accordance with PMC Section 18.10.100, the City Planner will continue to give notice to the Planning Commission of intent to exercise any authority that the Commission previously granted, including the authority to review and approve staff delegated design review applications.
- F. Staff would continue to be responsible for reviewing delegated applications for compliance with the General Plan, City Codes and adopted Design Guidelines, and the Zoning Administrator would continue to be required to make findings for approval and identify evidence to support the required findings, consistent with PMC Section 18.36.220(B). Approved resolutions would continue to be signed by the Zoning Administrator and no separate staff reports would be prepared on these items.
- G. Copies of all Zoning Administrator approved resolutions would continue to be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- H. The proposed action delegating certain Planning Commission discretionary authority to the Zoning Administrator is not considered a project, as defined by the Public Resources Code section 21065, of the California Environmental Quality Act (CEQA).
- I. On September 25, 2012, the Planning Commission considered the proposed revisions to the staff delegated design review authority process as previously established by adoption of Resolution No. 9444.

Section 2. Decision

- A. The Planning Commission hereby delegates discretionary Design Review Authority to the Zoning Administrator, for the following types of applications, when categorically or statutorily exempt from the provisions of CEQA:
 - 1. Freestanding Signs. Applicable to signs not already part of a sign program; must be consistent with sign standards and architecturally compatible with associated building.
 - 2. Wireless Communication Equipment. New or replacement antennas on existing poles and their related equipment.

3. Minor Building Remodels. Limited to changes in building colors, awnings, fenestration, and finishes.
 4. Changes to Existing Parking Lots.
 5. Changes to Existing Landscaping.
 6. Additions to Existing Buildings. Additions must be smaller than 2,500 sq. ft. and designed to complement existing building architecture.
 7. New Model Homes in Approved Subdivisions. Must be consistent with the general size, quality of architecture and materials, and general character of the originally approved models. Must comply with approved zoning development standards.
 8. Ancillary Structures. Structures in any district where visual impacts are minimal, including miscellaneous mechanical equipment associated with legal uses in Industrial Districts.
- B. In compliance with PMC Section 18.10.100, staff shall prepare a list and brief description along with a copy of the project plans when applicable, of new pending applications for which the Zoning Administrator intends to exercise delegated design review authority, and submit it to the Commission at a Commission meeting prior to taking any action on the applications. Any member of the Planning Commission may then request at that time to have the matter scheduled for future consideration by the entire Commission. The Commission must approve the request as a group through a majority vote, prior to scheduling the item for future consideration.
- C. Staff shall continue to prepare resolutions of approval, when appropriate, describing the project, project location, applications being filed, required findings to approve the project and identifying evidence to support the required findings. Resolutions shall be signed by the Zoning Administrator and continue to have conditions of project approval, where applicable.
- D. To keep the Commission informed about what applications are processed under this proposal, copies of all Zoning Administrator approved resolutions shall be forwarded to the Commission in its packet for the next regularly scheduled meeting.
- E. If the Zoning Administrator does not believe he/she can make the required design review findings to approve a project, and the applicant is unwilling or unable to make the changes requested, the application shall automatically be referred to the Commission for action on the design review application.

Section 3. Effective Date

This resolution shall take effect immediately upon its adoption.

On motion by Commissioner Wirick, seconded by Commissioner Gargalikis, the foregoing resolution was passed and adopted the 25th day of September, 2012, by the Planning Commission of the City of Pittsburg, California by the following vote:

AYES: Fardella, Fogleman, Gargalikis, Kelley, Ohlson, Wirick

NAYES:

ABSTAIN:

ABSENT: Diokno

I hereby certify that the above Resolution No. 9918 was adopted by the Planning Commission of the City of Pittsburg on September 25, 2012.



KRISTIN VAHL POLLOT, SECRETARY
PITTSBURG PLANNING COMMISSION

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG HISTORIC RESOURCES COMMISSION**

March 12, 2024

A meeting of the Pittsburg Historic Resources Commission was called to order by Chair Kobata at 7:39 p.m. on Tuesday, March 12, 2024, following the Planning Commission meeting in the Council Chamber at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Chair Kobata, Vice-Chair Foster, Commissioners Gordon, Popova, Smith, Stokes, Robinson

Staff: Assistant Director of Community and Economic Development John Funderburg, Senior Planner Maurice Brenyah-Addow, Administrative Analyst I Candace Hatch

REORGANIZATION

Per the by-laws, as the current sitting Vice-Chair, Commissioner Kobata assumed the role of Chair. In the order of seniority, Commissioner Foster assumed the role of Vice-Chair.

DELETIONS / WITHDRAWALS / CONTINUANCES

There were no deletions, withdraws or continuances.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

STAFF COMMUNICATIONS

Chair Kobata and Commissioner Popova thanked staff and the Planning Commissions.

ADJOURNMENT

The meeting was adjourned at 7:41 p.m. to an undetermined date at this time.

Respectfully Submitted,

John Funderburg, Secretary

**MINUTES
OF A REGULAR MEETING
OF THE
PITTSBURG HISTORIC RESOURCES COMMISSION**

March 14, 2023

A meeting of the Pittsburg Historic Resources Commission was called to order by Acting Chair Popova at 7:27 p.m. on Tuesday, March 14, 2023, following the Planning Commission meeting in the Council Chamber at City Hall, 65 Civic Avenue, Pittsburg, California.

ROLL CALL

Present: Vice-Chair Popova, Commissioners Foster, Jackson, Kobata, Smith

Absent: Chair Robinson

Staff: Director of Community and Economic Development Jordan Davis, Assistant Director of Planning John Funderburg, Senior Planner Maurice Brenyah-Addow, Administrative Coordinator Candace Hatch

REORGANIZATION

Per the by-laws, as the current sitting Vice-Chair, Commissioner Popova assumed the role of Chair. In the order of seniority, Commissioner Kobata assumed the role of Vice-Chair.

DELETIONS / WITHDRAWALS / CONTINUANCES

There were no deletions, withdraws or continuances.

COMMENTS FROM THE AUDIENCE

There were no comments from the audience.

CONSENT

There were no consent items on the agenda.

ADJOURNMENT

The meeting was adjourned at 7:35 p.m. to an undetermined date at this time.

Respectfully Submitted,

John Funderburg, Secretary